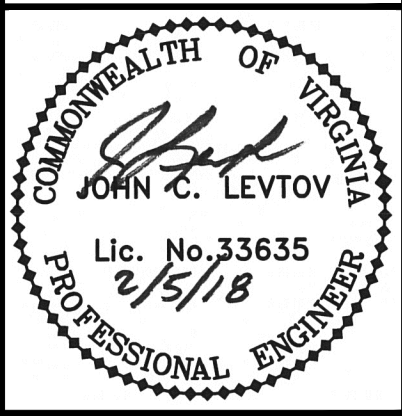


DATE	REVISION
2017-11-15	REVISED PER CITY COMMENTS
2018-02-05	REVISED PER CITY COMMENTS

christopher consultants
 9900 main street (suite 400) · fairfax, va 22031
 phone 703.273.6820 · fax 703.273.6820



COVER SHEET

MASTER DEVELOPMENT PLAN
PAUL VI.
 FAIRFAX CITY, VIRGINIA

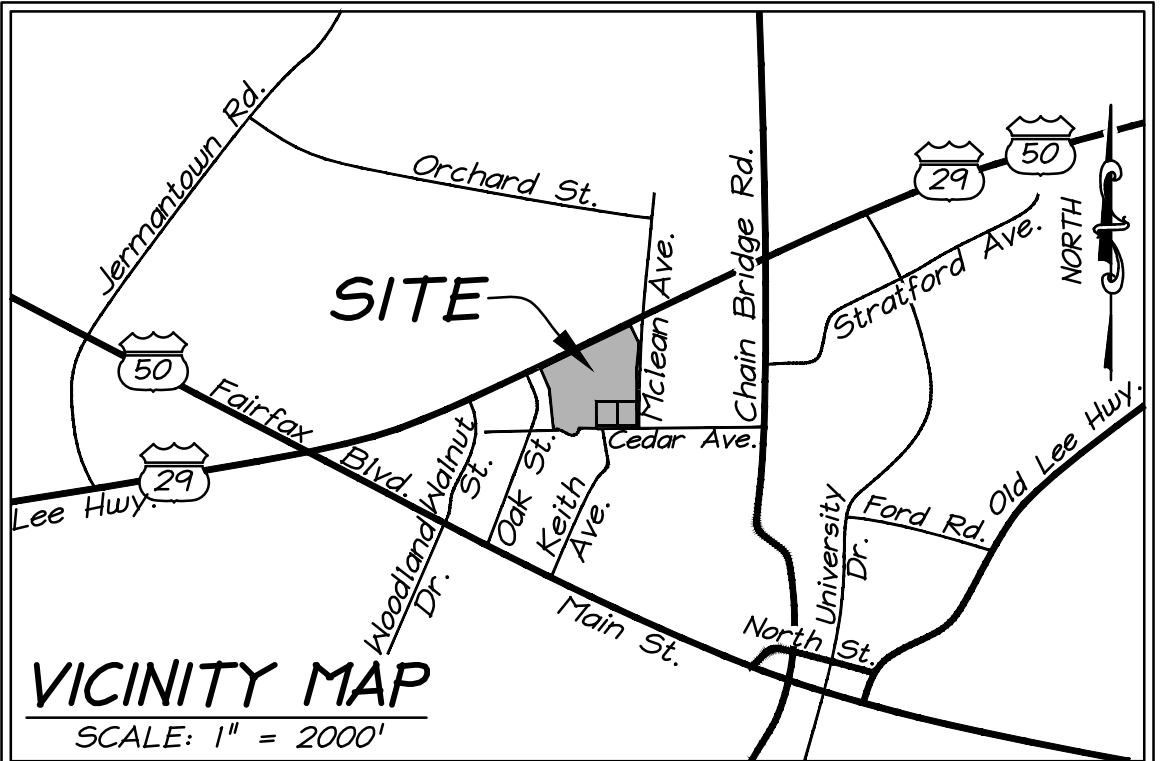
PROJECT NO.	15010.002.00
SCALE:	1"=2000'
DATE:	04-14-2017
DESIGN:	JR, JM
DRAWN:	JM
CHECKED:	
SHEET No.	

MASTER DEVELOPMENT PLAN PAUL VI. FAIRFAX CITY, VIRGINIA

GENERAL NOTES
 1. THE SUBJECT PROPERTY SHOWN HEREON IS COMPRISED OF 3 PARCELS OF APPROXIMATELY ±18.51 ACRES AND RECORDED IN THE LAND RECORDS OF FAIRFAX CITY, VIRGINIA AS FOLLOWS (SITE ACREAGE IS PROVIDED AS PER THE ZONING PLAT):

PARCEL ID	OWNER	ADDRESS	ACREAGE	EXISTING ZONING
57 01 02 112	THE MOST REVEREND MICHAEL BURBIDGE, BISHOP	10675 FAIRFAX BLVD FAIRFAX, VA 22030	16.099	SPLIT ZONED CR AND RM
57 01 02 113	THE MOST REVEREND MICHAEL BURBIDGE, BISHOP	10600 CEDAR AVE FAIRFAX, VA 22030	1.146	RM RESIDENTIAL
57 01 02 114	THE MOST REVEREND MICHAEL BURBIDGE, BISHOP	10606 CEDAR AVE FAIRFAX, VA 22030	1.265	RM RESIDENTIAL, JOHN C WOOD HOUSE HISTORIC DISTRICT

2. THIS GDP SUBMISSION IS AN APPLICATION TO REZONE THE SUBJECT PROPERTY FROM RM, CR AND JOHN C WOOD HOUSE HISTORIC OVERLAY DISTRICT TO PDM (PLANNED DEVELOPMENT MIXED USE DISTRICT) TO DEVELOP A MIXED USE DEVELOPMENT HOUSING COMMUNITY COMPRISED OF A TOTAL OF 321 DWELLING UNITS, INCLUDING 137 FOR-SALE TOWNHOMES, AND 184 CONDOMINIUM MULTI-FAMILY UNITS. THIS MIXED USE DEVELOPMENT ALSO INCLUDES 20,000 SF OF COMMERCIAL AND 24,000 SF OF COMMUNITY USES.
3. THE BOUNDARY AND PHYSICAL IMPROVEMENTS SHOWN HEREON ARE BASED UPON A FIELD SURVEY DONE BY THIS FIRM BETWEEN THE DATES OF DECEMBER 22nd AND FEBRUARY 24th, 2016.
4. A.) HORIZONTAL DATUM SHOWN HEREON IS REFERENCED TO THE VIRGINIA COORDINATE SYSTEM (VCS) 1983 - NORTH AS ESTABLISHED FROM A CURRENT GPS SURVEY.
 B.) THE VERTICAL DATUM SHOWN HEREON IS REFERENCED TO THE NATIONAL GEODETIC VERTICAL DATUM (NGVD 29) AS ESTABLISHED FROM A CURRENT GPS SURVEY.
5. THE AREA SHOWN HEREON IS LOCATED ON THE FLOOD INSURANCE RATE MAPS (FIRM), COMMUNITY PANEL NO. 5155240001 D AND 5155240002 D, BOTH WITH AN EFFECTIVE DATE OF JUNE 2, 2006. BY GRAPHICAL DEPICTION ONLY, THE PROPERTY SHOWN HEREON IS SHOWN IN:
 * FLOOD ZONE "AO" (SPECIAL FLOOD HAZARD AREAS (SFHA'S) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD), FLOOD DEPTHS OF 1 TO 3 FEET (USUALLY SHEET FLOOD ON SLOPING TERRAIN); AVERAGE DEPTHS DETERMINED. FOR AREAS OF ALLUVIAL FAN FLOODING, VELOCITIES ALSO DETERMINED.
 * FLOOD ZONE "X" (OTHER AREAS), AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
 * WITH THE SUBMISSION OF THIS APPLICATION A SPECIAL USE PERMIT FOR THE FLOODPLAIN STUDY WILL BE SUBMITTED CONCURRENTLY.
6. A TITLE REPORT WAS FURNISHED AND HAS BEEN INCORPORATED AND SHOWN ON A BOUNDARY SURVEY DONE BY THIS FIRM AND ENTITLED "THE MOST REVEREND MICHAEL BURBIDGE, BISHOP OF THE CATHOLIC DIOCESE OF ARLINGTON, VIRGINIA AND HIS SUCCESSORS IN OFFICE", DATED APRIL 12th, 2017.
7. THE SUBJECT PROPERTY IS CURRENTLY SERVED BY PUBLIC WATER AND PUBLIC SEWER PROVIDED BY FAIRFAX CITY.
8. TO THE BEST KNOWLEDGE OF THE ENGINEER AND DEVELOPER, THERE ARE NO EXISTING GRAVES OR BURIAL SITES LOCATED ON THE PROPERTY. THE SUBJECT PROPERTY IS NOT LISTED UNDER THE NATIONAL REGISTER OF HISTORIC PLACES.
9. TO THE BEST KNOWLEDGE OF THE ENGINEER AND DEVELOPER, NO HAZARDOUS OR TOXIC SUBSTANCES ARE KNOWN TO BE PRESENT ON SITE.
10. THIS DEVELOPMENT PROPOSAL IS COMPATIBLE WITH THE EXISTING DEVELOPMENT IN THE VICINITY OF THIS SITE IN TERMS OF USE, TYPE AND INTENSITY. NO ADVERSE EFFECTS TO NEIGHBORING PROPERTIES ARE ANTICIPATED WITH THIS PROJECT.
11. TO THE BEST KNOWLEDGE OF THE ENGINEER AND DEVELOPER, THIS DEVELOPMENT PLAN CONFORMS TO ALL APPLICABLE ORDINANCES, REGULATIONS AND ADOPTED STANDARDS, UNLESS OTHERWISE SPECIFICALLY NOTED.
12. NOTWITHSTANDING THE IMPROVEMENTS AND TABULATIONS SHOWN ON THIS PLAN, THE APPLICANT RESERVES THE RIGHT TO MAKE MODIFICATIONS TO THE FINAL DESIGN TO COMPLY WITH FINAL ENGINEERING AND NEW CRITERIA AND REGULATIONS WHICH MAY BE ADOPTED BY FAIRFAX CITY SUBSEQUENT TO THE SUBMISSION OF THIS APPLICATION, PROVIDED THAT SUCH MODIFICATIONS ARE SUBSTANTIALLY CONSISTENT WITH THE APPROVED DEVELOPMENT PLAN.
13. THE PROPOSED BUILDING FOOTPRINTS AND SITE IMPROVEMENTS SHOWN HEREIN ARE PRELIMINARY. THE PROPOSED SQUARE FOOTAGE FOR THE PROPOSED BUILDINGS IS APPROXIMATE ONLY AND MAY BE SUBJECT TO REVISIONS AT THE TIME OF SITE PLAN, SUBJECT TO MARKET CONDITIONS, BUT SUBSTANTIALLY CONSISTENT WITH THE APPROVED DEVELOPMENT PLAN.
14. ALL EXISTING UTILITY EASEMENTS HAVING A WIDTH GREATER THAN 25 FEET ARE SHOWN ON THE EXISTING CONDITIONS PLAN.
15. SITE LIGHTING WITHIN THE PROJECT SITE AREA (I.E. ALONG SIDEWALKS AND PATHWAYS) WILL BE DETERMINED DURING FINAL SITE PLAN REVIEW AND SHALL BE IN GENERAL CONFORMANCE WITH SECTION 4.8 OF THE ZONING ORDINANCE.
16. ONSITE STORMWATER MANAGEMENT AND BEST MANAGEMENT PRACTICES SHALL BE PROVIDED AS REQUIRED BY CITY ENGINEER AT THE TIME OF FINAL SITE PLAN. DETENTION TO PROVIDE THE REQUIRED STORMWATER QUANTITY CONTROLS AND ONSITE BEST MANAGEMENT PRACTICES (BMPs) TO MEET THE STORMWATER QUALITY REQUIREMENTS ARE SHOWN ON SHEET 5.
17. MODIFICATIONS AND WAIVERS FOR THIS MASTER DEVELOPMENT PLAN INCLUDE THE FOLLOWING:
 1) A MODIFICATION HAS BEEN REQUESTED FOR THE PERIMETER BUFFER TRANSITIONAL YARD (TY3) ALONG WESTERN PROPERTY LINE, AS REQUIRED PER SECTION 3.8.4.C.2 OF THE ZONING ORDINANCE. APPLICANT PROPOSES A 6 FEET FENCE ON THE PROPERTY LINE WITH APPROPRIATE LANDSCAPING WITHIN A 6 FEET WIDE AREA. ALSO SOME ADDITIONAL LANDSCAPING TO BE PROVIDED OVER THE DRAINAGE EASEMENT INCLUDING SHRUBS IN VARIOUS HEIGHTS.
 2) A MODIFICATION HAS BEEN REQUESTED FOR THE STREET TREES AS REQUIRED PER SECTION 4.5.6.B OF THE ZONING ORDINANCE. ALONG ALL PRIVATE STREETS, A MODIFICATION HAS BEEN REQUESTED FOR THE REQUIREMENT TO PROVIDE STREET TREES AT THE RATE OF ONE CANOPY TREE FOR EVERY 40 FEET AND SPACED A MAXIMUM OF 50 FEET APART. THE REQUIRED STREET TREE SPACING AND PLANTING AREA WIDTH CANNOT BE CONSISTENTLY MET DUE TO REQUIRED ON-STREET PARALLEL PARKING AND VARIOUS PROPOSED UTILITIES. HOWEVER, STREET TREES HAVE BEEN PLANTED TO MEET AND EXCEED THE REQUIRED TOTAL FOR EACH PRIVATE STREET. THESE STREET TREES, COMBINED WITH THE TREES PLANTED ON INDIVIDUAL TOWNHOME LOTS, WILL STILL CREATE A WALKABLE AND TREE-LINED STREETScape NETWORK FOR BOTH PEDESTRIAN AND VEHICULAR TRAFFIC. ALONG ALL PRIVATE ALLEYS, A WAIVER HAS BEEN REQUESTED NOT TO PROVIDE ANY STREET TREES. ALONG McLEAN AVENUE, A MODIFICATION HAS BEEN REQUESTED TO REDUCE THE BUFFER WIDTH FROM 10 TO 8 FEET AND FOR PROVIDING 1 TREE FOR EVERY 40 FEET DUE TO UTILITY CONFLICTS. HOWEVER, THE STREET TREES PLANTED, COMBINED WITH TREES PLANTED ON INDIVIDUAL TOWNHOME LOTS, WILL STILL CREATE A TREE-LINED STREETScape NETWORK FOR BOTH PEDESTRIAN AND VEHICULAR TRAFFIC.
 3) A MODIFICATION HAS BEEN REQUESTED FOR THE PARKING SPACES FOR THE CONDOMINIUM MULTI-FAMILY UNITS AS PER SECTION 4.2.3.E OF THE ZONING ORDINANCE TO REDUCE THE REQUIRED PARKING SPACES FOR 2 OR MORE BEDROOM UNITS FROM 2 SPACES PER UNIT TO 1.6 SPACES PER UNIT.
 4) A MODIFICATION HAS BEEN REQUESTED FOR SECTION 1.1.10.B.3 OF THE CITY OF FAIRFAX PDM FOR THE SMALL PORTION OF THE WESTERN SIDE OF THE CONDOMINIUM BUILDING THAT DOESN'T HAVE 5 FEET SEPARATION FROM THE DRAINAGE EASEMENT.
 5) A WAIVER FROM THE STANDARDS OF THE PUBLIC FACILITIES MANUAL (PFM) HAS BEEN REQUESTED FOR FRONTAGE IMPROVEMENTS FOR McLEAN AND CEDAR AVENUE AS PER SECTION 2.1 OF PFM.
 6) A MODIFICATION HAS BEEN REQUESTED FOR SECTION 4.4.4.B.1 OF THE ZONING ORDINANCE TO ALLOW THE SIDEWALK ADJACENT TO THE NORTHERN SIDE OF THE CONDOMINIUM BUILDING. IN THIS AREA, PROVIDING THE SIDEWALK ADJACENT TO THE BUILDING IS MORE PRACTICAL AND EFFICIENT BASED ON THE VARIATIONS IN THE BUILDING FACADE, THE LOCATION OF THE PROPOSED LOADING SPACE AND THE MAIN ENTRY OF THE BUILDING.
 7) A WAIVER HAS BEEN REQUESTED FOR SECTION 4.2.6.B.3 OF THE ZONING ORDINANCE TO ALLOW THE SERVICE LANE, SHARED USE PATH AND / OR OTHER PAVEMENT TO BE LOCATED WITHIN 6 FEET OF A RIGHT OF WAY ALONG FAIRFAX BOULEVARD. THE SERVICE LANE AND SHARED USE PATH ARE PART OF THE ROAD IMPROVEMENTS IN THE VICINITY OF THE ENTRANCES TO THE PROPERTY.
 8) A WAIVER OF TYPICAL CURB AND GUTTER STREET SECTION 401-01 HAS BEEN REQUESTED TO ALLOW FOR PRIVATE ACCESSWAYS THAT ARE LESS THAN 30 FEET FROM FACE OF CURB OR EDGE OF PAVEMENT.
 9) A WAIVER OF SECTION 2.4.1 OF THE FAIRFAX PDM HAS BEEN REQUESTED TO ALLOW FOR PRIVATE ACCESSWAYS TO HAVE A HORIZONTAL RADIUS OF LESS THAN 175 FEET.
 10) A WAIVER OF SECTION 2.4.2.3 OF THE FAIRFAX PDM HAS BEEN REQUESTED TO ALLOW FOR INTERSECTIONS WITH ARTERIAL STREETS TO BE LESS THAN 600 FEET APART.
 11) A WAIVER HAS BEEN REQUESTED FOR SECTION 4.5.7.D.1 OF THE ZONING ORDINANCE FOR THE PARKING LOT ACCESSED BY PANTHER PLACE. IN AN EFFORT TO KEEP PARKING SPACES OUTSIDE OF THE RPA BOUNDARY THE INTERIOR PARKING ISLANDS AND CANOPY TREES HAVE BEEN REMOVED FROM A ROW OF PARKING SPACES. THIS ROW OF PARKING SPACES STILL PROVIDES CANOPY TREES AT EACH END OF THE ROW AND CANOPY TREES ALONG THE EDGE OF THE PARKING SPACES TO PROVIDE SHADING.
 18. THE EXISTING FLOODPLAIN WILL BE MODIFIED AS PER THE FLOODPLAIN STUDY. A SPECIAL USE PERMIT FOR THE FLOODPLAIN STUDY WAS SUBMITTED CONCURRENTLY WITH THIS FIRST SUBMISSION OF THIS APPLICATION.
 19. A COMPREHENSIVE PLAN AMENDMENT WILL BE SUBMITTED WITH THIS APPLICATION.
 20. ALL SIGNAGE WILL BE IN CONFORMANCE WITH SECTION 4.6 OF THE ZONING ORDINANCE.
 21. SITE SPECIFIC RPA STUDY COMPLETED BY WETLAND STUDIES AND SOLUTIONS, INC. DATED AUGUST 11, 2017.



OWNER
**THE MOST REVEREND
 MICHAEL BURBIDGE, BISHOP
 OF THE CATHOLIC DIOCESE
 OF ARLINGTON, VIRGINIA AND
 HIS SUCCESSORS IN OFFICE**
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CATHOLIC DIOCESE OF ARLINGTON
 By: Michael F. Burbidge
 Most Rev. Michael F. Burbidge, Bishop

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 By: IDI Manager, L.C., Manager
 By: Enrico Cecchi
 Enrico Cecchi, Manager

PROJECT TEAM:
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 14026 THUNDERBOLT PLACE, SUITE 100
 CHANTILLY, VA 20151

CONSTRUCTION CONSULTANT
MCKEEVER SERVICES CORPORATION
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 FAIRFAX, VA 22030

STRUCTURAL ENGINEER
LINTON ENGINEERING
 46090 LAKE CENTER PLAZA
 POTOMAC FALLS, VA 20165

SHEET INDEX

- COVER SHEET
- EXISTING CONDITIONS PLAN
- TREE PRESERVATION PLAN
- TREE PRESERVATION SCHEDULE
- MASTER DEVELOPMENT PLAN
- LANDSCAPE PLAN
- OPEN SPACE
- GRADING PLAN
- TRUCK TURNING MOVEMENTS
- TYPICAL LOT LAYOUT
- TYPICAL LOT DETAIL LANDSCAPING
- VERTICAL CROSS SECTIONS

DATE OF FIRST SUBMISSION: APRIL 18, 2017
 DATE OF SECOND SUBMISSION: NOVEMBER 15, 2017
 DATE OF THIRD SUBMISSION: FEBRUARY 5, 2018

CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	TANGENT	BEARING	CHORD
C1	69.00'	149.41'	124°04'05"	129.96'	S 54°47'11" W	121.89'
C2	657.00'	48.47'	4'13'38"	24.25'	N 65°17'35" W	48.46'
C3	349.00'	51.46'	8°26'54"	25.78'	N 71°37'51" W	51.41'

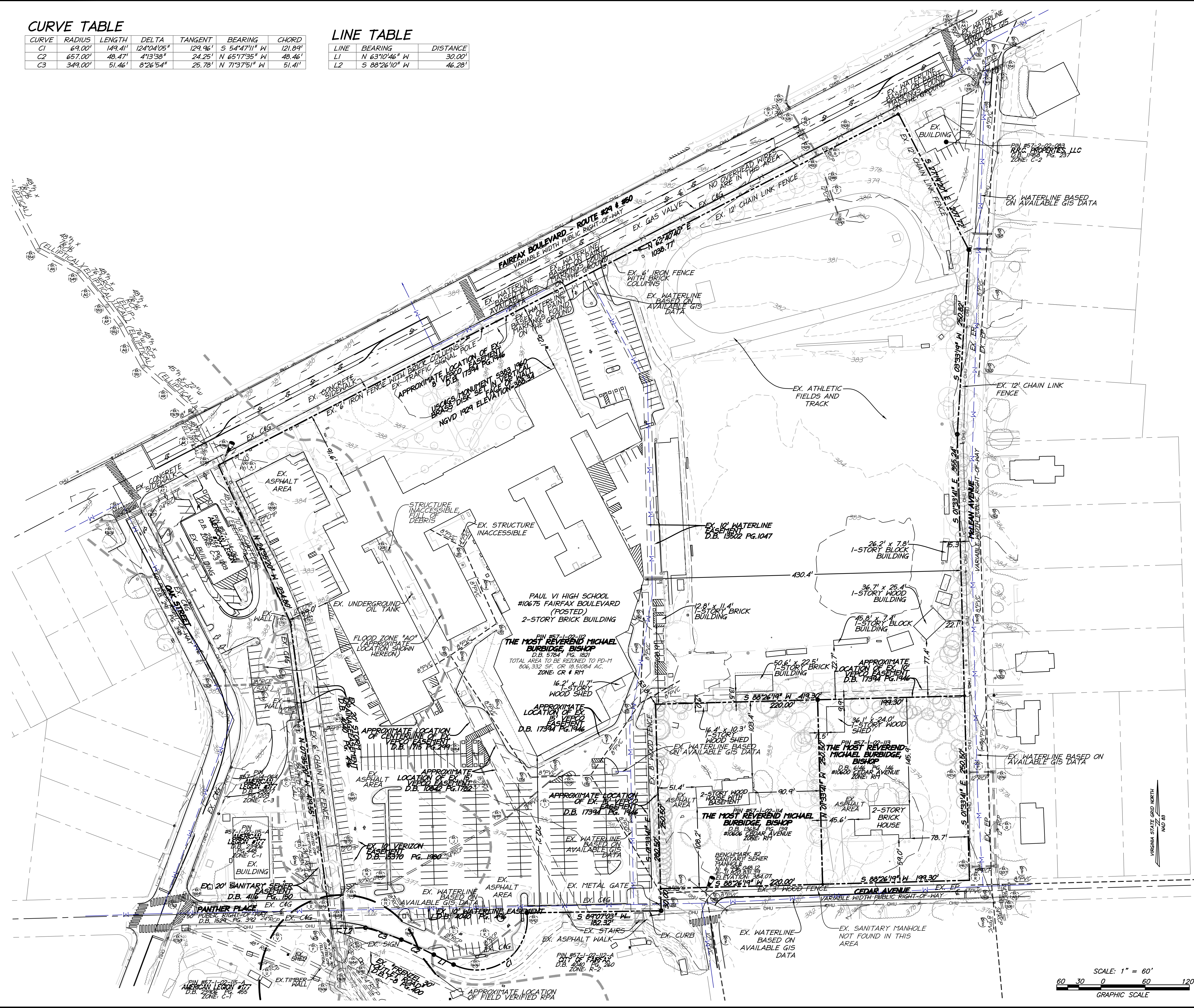
LINE TABLE

LINE	BEARING	DISTANCE
L1	N 63°10'46" W	30.00'
L2	S 88°26'10" W	46.28'

DATE	REVISION
2017-11-15	REVISED PER CITY COMMENTS
2018-02-05	REVISED PER CITY COMMENTS

LEGEND

- EXISTING TREE LINE
- EX. DECIDUOUS TREE
- EX. EVERGREEN TREE
- 250 EXISTING ONE FOOT CONTOUR
- 260 EXISTING TEN FOOT CONTOUR
- 100 YEAR FLOOD PLAIN LIMITS
- RIGHT OF WAY
- EXISTING FENCE
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- EXISTING WATER LINE
- EXISTING UTILITY LINE
- EXISTING UTILITY POLE
- EXISTING EDGE OF PAVEMENT
- EXISTING CURB & GUTTER



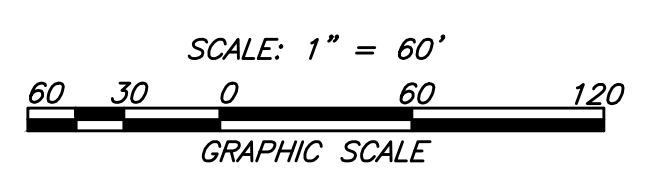
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COMMONWEALTH OF VIRGINIA
 JOHN C. LEVTOV
 Lic. No. 33635
 1/5/18
 PROFESSIONAL ENGINEER

EXISTING CONDITIONS
 PLAN





MASTER DEVELOPMENT PLAN
 PAUL VI.
 FAIRFAX CITY, VIRGINIA

PROJECT NO. 15010.002.00
 SCALE: 1"=60'
 DATE: 04-14-2017
 DESIGN: JR, JM
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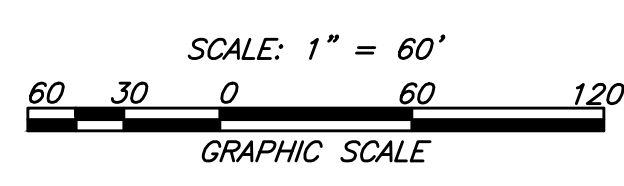
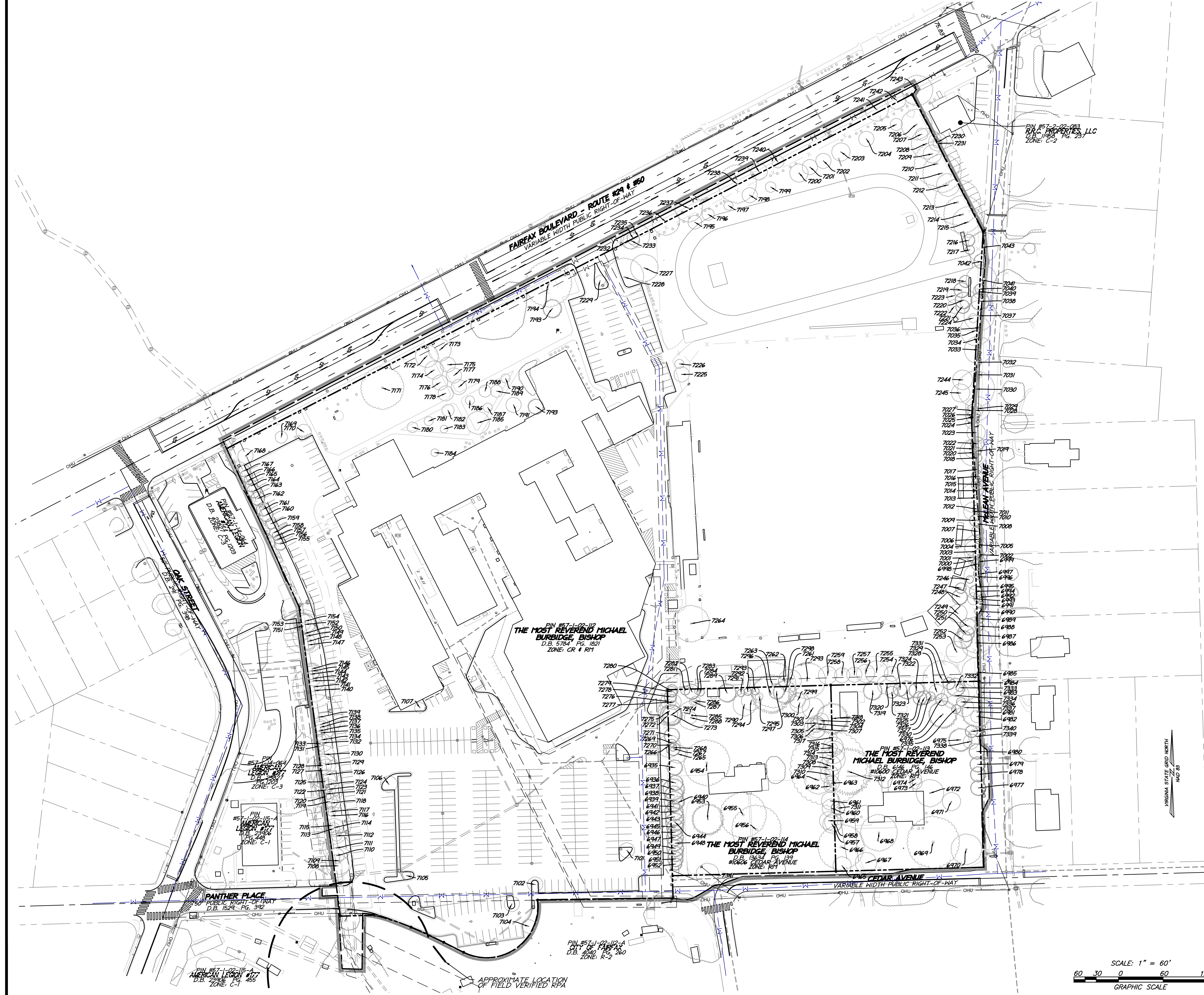


DATE	REVISION
2017-11-15	REVISED PER CITY COMMENTS
2018-02-05	REVISED PER CITY COMMENTS

LEGEND

-  : EX. DECIDUOUS TREE
-  : EX. EVERGREEN TREE
-  : EXISTING TREE LINE
-  : LIMITS OF CONSTRUCTION

NOTE:
SEE NEXT SHEET FOR TREE PRESERVATION SCHEDULE.



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COMMONWEALTH OF VIRGINIA
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1/5/18
PROFESSIONAL ENGINEER

TREE PRESERVATION PLAN

MASTER DEVELOPMENT PLAN
PAUL VI.
FAIRFAX CITY, VIRGINIA

PROJECT NO. 15010.002.00
SCALE: 1" = 60'
DATE: 04-14-2017
DESIGN: JR, JM
DRAWN: JM
CHECKED:
SHEET No.
3 of 12

TREE PRESERVATION SCHEDULE

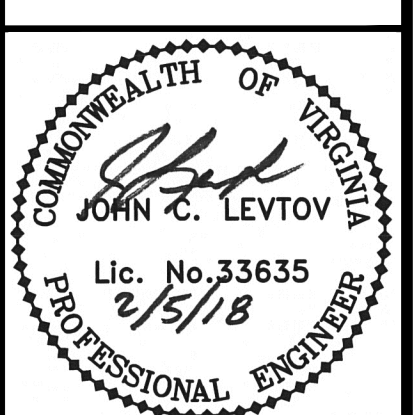
Table with 7 columns: TREE #, BOTANICAL NAME, COMMON NAME, TRUNK DIAMETER (INCHES), CROWN RADIUS (FEET), CONDITION RATING, PROCEDURE. Contains tree data from 6935 to 7108.

Table with 7 columns: TREE #, BOTANICAL NAME, COMMON NAME, TRUNK DIAMETER (INCHES), CROWN RADIUS (FEET), CONDITION RATING, PROCEDURE. Contains tree data from 7109 to 7225.

Table with 7 columns: TREE #, BOTANICAL NAME, COMMON NAME, TRUNK DIAMETER (INCHES), CROWN RADIUS (FEET), CONDITION RATING, PROCEDURE. Contains tree data from 7226 to 7341.

Table with 2 columns: DATE, REVISION. Shows dates 2017-11-15 and 2018-02-05 with corresponding revision notes.

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TREE PRESERVATION SCHEDULE

MASTER DEVELOPMENT PLAN PAUL VI. FAIRFAX CITY, VIRGINIA

PROJECT NO: 15010.002.00 SCALE: NOT TO SCALE

DATE: 04-14-2017

DESIGN: JR, JM DRAWN: JM CHECKED:

SHEET No.

REQUIREMENTS FOR PD-M PLANNED DEVELOPMENT MIXED USE DISTRICT
 AREA: MINIMUM OF 2 ACRES

RECREATION AND OPEN SPACE: 20%

PERIMETER BUFFER: 15 FEET WIDE TRANSITIONAL YARD TY3, EXCLUDING PUBLIC OR PRIVATE STREETS

STREET TREES: MINIMUM 10 FEET WIDE LANDSCAPE STRIP ALONG ALL STREETS

TREE CANOPY: MINIMUM OF 10%

PROPOSED TABULATIONS FOR DEVELOPMENT PROGRAM
 SUBJECT AREA (GROSS): 806,332 SF (±18.51 AC)

RECREATION AND OPEN SPACE: ±24% (±22% PER CODE DEFINITION)

PERIMETER BUFFER: MODIFICATION REQUESTED (SEE SHEET 1 NOTE 17.1)
 STREET TREES: MODIFICATION REQUESTED (SEE SHEET 1 NOTE 17.2)

TREE CANOPY: ±10%

BUILDING HEIGHT: 3 STORY TOWNHOUSE 40' HIGH TO MID POINT OF ROOF ALONG MCLEAN AVENUE AND CEDAR AVENUE, ALL OTHER TOWNHOUSES ON SITE ARE 3.5 STORY 45' HIGH TO MID POINT, AND CONDOMINIUM BUILDING IS 5 STORIES 60 FEET HIGH.

PROPOSED 321 DWELLING UNITS WITH 17.3 DENSITY AND 44,000 SF OF COMMERCIAL AND COMMUNITY WITH 0.05 FAR

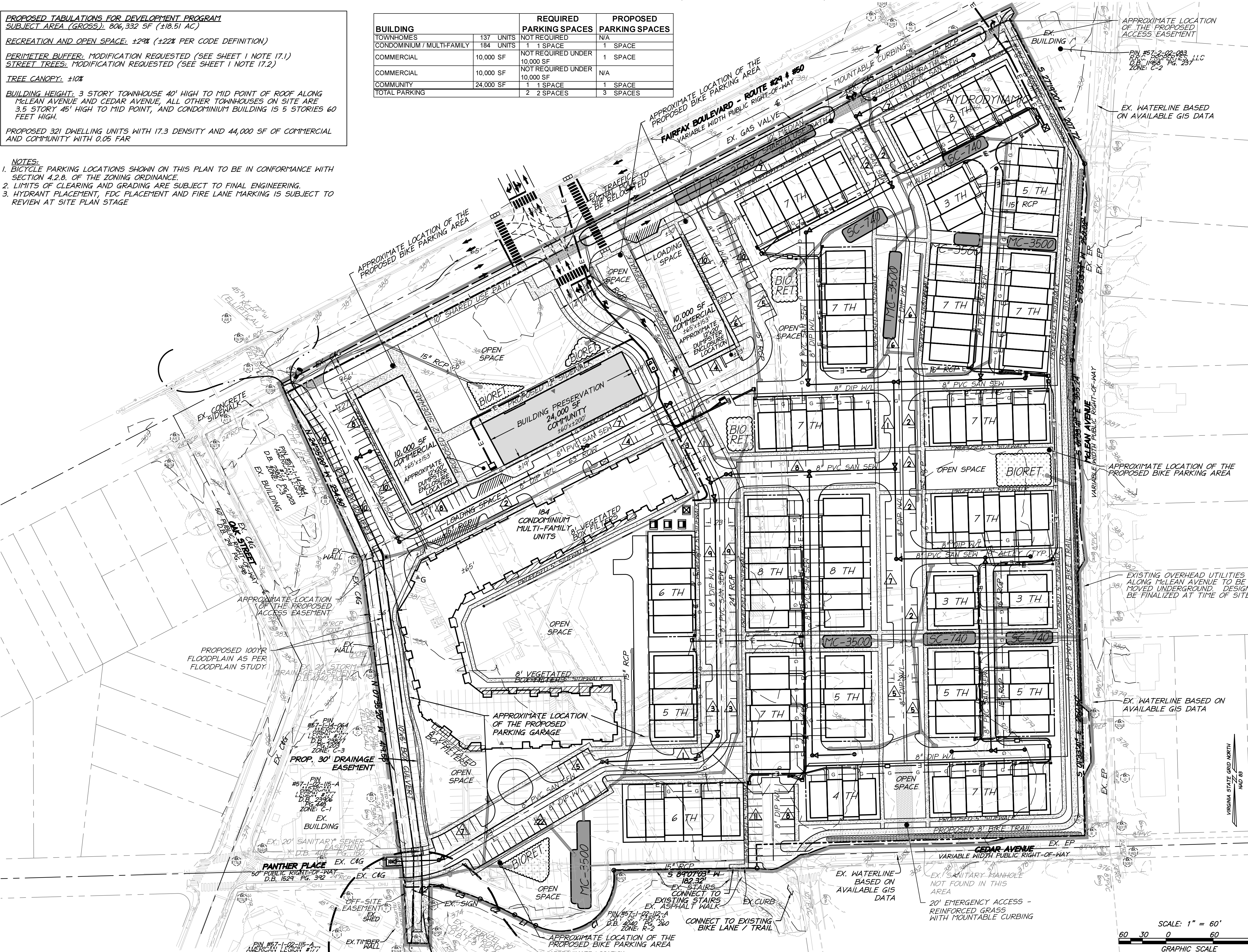
- NOTES:
- BICYCLE PARKING LOCATIONS SHOWN ON THIS PLAN TO BE IN CONFORMANCE WITH SECTION 4.2.8. OF THE ZONING ORDINANCE.
 - LIMITS OF CLEARING AND GRADING ARE SUBJECT TO FINAL ENGINEERING.
 - HYDRANT PLACEMENT, FDC PLACEMENT AND FIRE LANE MARKING IS SUBJECT TO REVIEW AT SITE PLAN STAGE

PROPOSED PARKING TABULATION

PROPOSED USE	REQUIRED PARKING SPACES	MODIFIED PARKING SPACES	PROPOSED PARKING SPACES
TOWNHOMES	137 UNITS 2 SPACES PER UNIT - 274 SPACES		454 (3.3 SPACES PER UNIT, 274 OWNER & 180 GUEST SPACES)
CONDOMINIUM	83 UNITS 1.5 SPACES PER UNIT - 125 SPACES	1.6 SPACES PER UNIT - 294 SPACES	294 GARAGE SPACES
MULTI-FAMILY	101 UNITS 2 SPACES PER UNIT - 202 SPACES		
COMMERCIAL	20,000 SF 1 SPACE PER 200 SF - 100 SPACES		239 SURFACE SPACES INCLUDING SPACES FOR BALL FIELD USE
COMMUNITY	24,000 SF 1 SPACE PER 300 SF - 80 SPACES		
TOTAL PARKING	781 SPACES	748 SPACES	987 SPACES

NOTE: * INCLUDES MODIFIED PARKING SPACES WITH REST OF THE REQUIRED PARKING SPACES (SEE SHEET 1 NOTE 17.3 FOR MODIFICATIONS)

BUILDING	REQUIRED PARKING SPACES	PROPOSED PARKING SPACES
TOWNHOMES	137 UNITS NOT REQUIRED	N/A
CONDOMINIUM / MULTI-FAMILY	184 UNITS 1 SPACE	1 SPACE
COMMERCIAL	10,000 SF NOT REQUIRED UNDER 10,000 SF	1 SPACE
COMMERCIAL	10,000 SF NOT REQUIRED UNDER 10,000 SF	N/A
COMMUNITY	24,000 SF 1 SPACE	1 SPACE
TOTAL PARKING	2 SPACES	3 SPACES



DATE	REVISION
2017-11-15	REVISED PER CITY COMMENTS
2018-02-05	REVISED PER CITY COMMENTS

LEGEND

- 258 --- EXISTING ONE FOOT CONTOUR
 - 260 --- EXISTING TEN FOOT CONTOUR
 - --- RIGHT OF WAY
 - --- LIMITS OF CLEARING AND GRADING
 - --- PROPOSED CURB
 - △ --- PROPOSED PARKING SPACE
 - --- PROPOSED CONCRETE SIDEWALK
 - --- PROPOSED BIKE TRAIL
 - --- PROPOSED SHARED USE PATH CROSSING
 - △ G --- PROPOSED GARAGE ENTRANCE
 - △ --- APPROXIMATE LOCATION OF THE PROPOSED BUILDING ENTRANCE TO BE FINALIZED AT THE TIME OF SITE PLAN
 - --- BIORETENTION FACILITY
 - --- FILTERRA
 - --- UNDERGROUND DETENTION/ISOLATOR ROW
 - --- GRASS CHANNEL
 - --- LID PLANTER BOX
 - --- PROPOSED SANITARY SEWER #
 - --- PROPOSED STORM SEWER #
 - --- PROPOSED WATER LINE #
 - --- PROPOSED ELECTRIC LINE #
 - --- PROPOSED TRANSFORMER #
 - G --- PROPOSED GAS LINE #
- * THESE PRELIMINARY UTILITIES TO BE FINALIZED AT THE TIME OF SITE PLAN

STORMWATER MANAGEMENT & BEST MANAGEMENT PRACTICE (SWM/BMP) NARRATIVE

SWM WATER QUANTITY FOR THIS PROJECT WILL BE PROVIDED IN ACCORDANCE WITH STATE CODE 9VAC25-870-66-WATER QUANTITY AND THE CITY OF FAIRFAX STORMWATER ORDINANCE. THIS BEING A REDEVELOPMENT, THE IMPROVEMENT FACTOR WILL BE UTILIZED TO MEET CHANNEL PROTECTION FOR THE 1-YEAR 24 HOUR STORM AND THE POST-DEVELOPMENT 10-YEAR 24-HOUR STORM EVENT WILL BE CONFINED TO RELEASE AT RATE LESS THAN PRE-DEVELOPED CONDITIONS TO MEET FLOOD PROTECTION.

TO MEET THESE WATER QUANTITY REQUIREMENTS, A SERIES OF UNDERGROUND DETENTION FACILITIES WILL BE UTILIZED. PRELIMINARY LOCATIONS ARE SHOWN ON THE DEVELOPMENT PLAN.

ADEQUATE OUTFALL THE EXISTING SITE DISCHARGES CONCENTRATED RUNOFF TO THREE OUTFALL POINTS.

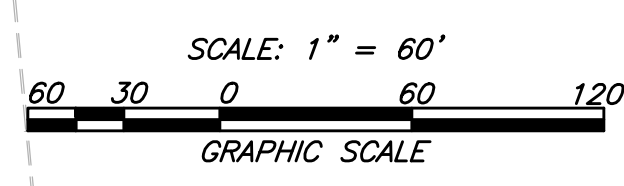
EXISTING OUTFALL A TO THE SOUTHWEST DRAINS INTO AN STORM SEWER SYSTEM AND OUTFALLS TO THE SOUTH JUST BELOW PANTHER PLACE INTO A 100 YEAR FLOODPLAIN.

EXISTING OUTFALL B TO THE NORTH DRAINS INTO AN EXISTING STORM SYSTEM ALONG FAIRFAX BOULEVARD THAT EVENTUALLY DISCHARGES INTO A 100 YEAR FLOODPLAIN NORTHEAST OF THE SITE.

EXISTING OUTFALL C TO THE SOUTHEAST DRAINS INTO AN EXISTING STORM SEWER SYSTEM ALONG MCLEAN AVENUE AND FLOWS SOUTH ACROSS CEDAR AVENUE ULTIMATELY DISCHARGING IN A 100 YEAR FLOODPLAIN SOUTHEAST OF THE SITE.

BMP THIS PROJECT WILL USE THE VIRGINIA RUNOFF REDUCTION METHOD (VRRM) REDEVELOPMENT TO MEET THE STATE, PART IIB CRITERIA (9VAC25-870-65) AND CITY WATER QUALITY DESIGN CRITERIA. THE PROJECT SITE AREA FOR WATER QUALITY CALCULATION WILL INCLUDE ALL AREA WITHIN THE LIMITS OF CLEARING AND GRADING. TO MEET WATER QUALITY DESIGN CRITERIA AND PHOSPHORUS REMOVAL, A COMBINATION OF BOTH PROPRIETARY AND NON-PROPRIETARY BMP FACILITIES MAY BE USED. THESE FACILITIES MAY INCLUDE; ISOLATOR ROWS, HYDRODYNAMIC SEPARATORS, FILTERRAS, PERMEABLE PAVEMENT, & BIORETENTIONS. PRELIMINARY LOCATIONS ARE SHOWN ON THE DEVELOPMENT PLAN.

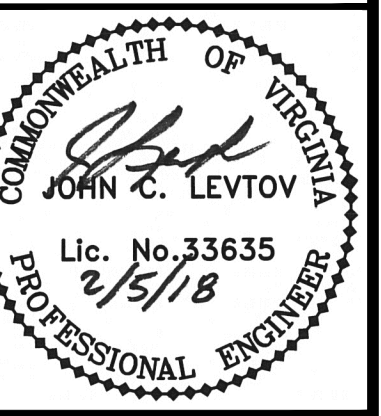
NOTE: LOCATIONS AND SIZING OF BMP/SWM FACILITIES SHOWN ARE BASED ON A PRELIMINARY STUDY TO ENSURE COMPLIANCE WITH STATE AND CITY REQUIREMENTS; THE LOCATION AND TYPE OF FACILITY IS SUBJECT TO CHANGE WITH FINAL DESIGN.



- LEGEND**
- LIMITS OF CLEARING AND GRADING
 - PROPOSED GARAGE ENTRANCE
 - ENTRANCES FOR MULTI-FAMILY COMMERCIAL, AND COMMUNITY BUILDINGS (APPROXIMATE LOCATIONS TO BE FINALIZED AT THE TIME OF SITE PLAN)
 - PROPOSED PARKING SPACE
 - BIORETENTION FACILITY
 - FILTERRA
 - UNDERGROUND DETENTION/ISOLATOR ROW
 - GRASS CHANNEL
 - LID PLANTER BOX
 - PROPOSED SANITARY SEWER
 - PROPOSED STORM SEWER
 - PROPOSED WATER LINE
 - PROPOSED ELECTRIC LINE
 - PROPOSED TRANSFORMER
 - PROPOSED GAS LINE
- * THESE PRELIMINARY UTILITIES TO BE FINALIZED AT THE TIME OF SITE PLAN

DATE	REVISION
2017-11-15	REVISED PER CITY COMMENTS
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LANDSCAPE PLAN

MASTER DEVELOPMENT PLAN
PAUL VI.
 FAIRFAX CITY, VIRGINIA

PROJECT NO. 15010.002.00
 SCALE: 1"=60'
 DATE: 04-14-2017
 DESIGN: JR, JM
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- LANDSCAPE LEGEND**
- : PROPOSED DECIDUOUS TREE CATEGORY IV (250 SF)
 - : PROPOSED DECIDUOUS TREE CATEGORY IV (250 SF) INTERIOR PARKING LOT TREE
 - : PROPOSED DECIDUOUS TREE CATEGORY IV (250 SF) STREET TREE ALONG McLEAN AVENUE AND CEDAR AVENUE
 - : PROPOSED DECIDUOUS TREE CATEGORY IV (250 SF) WITHIN ROW STREET TREE ALONG FAIRFAX BOULEVARD (NOT COUNTED TOWARDS 10-YR TREE CANOPY)
 - : PROPOSED DECIDUOUS TREES CATEGORY III (150 SF)
 - : PROPOSED DECIDUOUS TREE CATEGORY II (100 SF)
 - : PROPOSED EVERGREEN TREE CATEGORY III (175 SF)
 - : PROPOSED EVERGREEN TREE CATEGORY II (100 SF)
 - : PROPOSED SHRUB

NOTES:
 1. PROPOSED TRANSFORMERS WILL BE SCREENED WITH SHRUBS AS SHOWN ON THIS PLAN.
 2. DETAILED LANDSCAPE PLANTINGS, HARDSCAPE DESIGN, AND LIGHTING FOR THE PROPOSED OPEN SPACE AREAS SHOWN WILL BE PROVIDED AT THE TIME OF SITE PLAN.

STREET TREES REQUIRED: MINIMUM 10 FEET WIDE LANDSCAPE STRIP ALONG ALL STREETS (1 CANOPY TREE FOR EVERY 40 FEET)
STREET TREES PROVIDED: FOR FAIRFAX BOULEVARD, McLEAN AVENUE AND CEDAR AVENUE 1 TREE PER 40 LF IF THERE ARE NO CONFLICTS WITH UTILITIES.
 MODIFICATION REQUESTED TO ALLOW STREET TREE BUFFER WIDTH OF 8 FEET FOR McLEAN AVENUE AND FOR THE REQUIREMENT TO PROVIDE STREET TREES AT THE RATE OF ONE CANOPY TREE FOR EVERY 40 FEET AND SPACED A MAXIMUM OF 50 FEET APART (SEE SHEET 1 NOTE 17.2).
 MODIFICATION REQUESTED ALONG PRIVATE STREETS FOR THE REQUIREMENT TO PROVIDE STREET TREES AT THE RATE OF ONE CANOPY TREE FOR EVERY 40 FEET AND SPACED A MAXIMUM OF 50 FEET APART (SEE SHEET 1 NOTE 17.2).

INTERIOR PARKING LOT LANDSCAPING REQUIRED: NEW ON-SITE SURFACE PARKING LOT WITH MORE THAN 10 SPACES REQUIRES A MINIMUM OF 1 CANOPY TREE FOR EVERY 10 SPACES
 PROPOSED 130 HEAD-IN PARKING SPACES REQUIRE 13 CANOPY TREES
INTERIOR PARKING LOT LANDSCAPING PROVIDED: 19 CANOPY TREES
 MODIFICATION REQUESTED FOR THE PARKING LOT ACCESSED BY PANTHER PLACE (SEE SHEET 1 NOTE 17.1)

PERIMETER PARKING LOT LANDSCAPING REQUIRED: PER SECTION 4.5.7.C OF THE ZONING CODE, NO PERIMETER LANDSCAPING IS REQUIRED.

Transitional Yard 3

Required:	Provided:
Linear feet along western property line:	615
Width of landscape strip (feet):	15
Fence or wall height (feet):	6
3"-3.5" caliper Canopy Trees (4 per 100 feet):	25
1" caliper Understory Tree (4 per 100 feet):	25
Shrub (4 per 100 feet):	25

Note: * Modification Requested (See Sheet 1 Note 17.1)

10-Year Tree Cover Calculations

Tree Cover Required:	
Site Area	806,332 SF
Percent of tree cover required:	10 %
Total area of tree cover required:	80,633 SF
Tree Cover Provided:	
219 - 3"-3.5" Caliper Deciduous Category IV (250 SF):	54,750
103 - 2" Caliper Deciduous Category III (150 SF):	15,450
53 - 2" Caliper Deciduous Category II (100 SF):	5,300
24 - 10'-12' Height Evergreen Category III (175 SF):	4,200
28 - 8'-10' Height Evergreen Category II (100 SF):	2,800
165 - 24"-30" Height Shrubs:	0
97 - 30"-36" Height Shrubs:	0
Total Proposed Tree Planting:	82,500 SF
Tree Cover Requirement Met	10.23 %

PROPOSED VEGETATION
 PROPOSED TREE SPECIES MAY INCLUDE BUT NOT BE LIMITED TO: RED MAPLE, SWAMP WHITE OAK, SHADBUSH SERVICEBERRY, AMERICAN HOLLY, AND EASTERN RED CEDAR.
 PROPOSED SHRUB SPECIES MAY INCLUDE BUT NOT BE LIMITED TO: REDOSIER DOGWOOD, WINTERBERRY HOLLY, VIRGINIA SWEETSPIRE, SWEET PEPPERBUSH, AND NORTHERN SPICEBUSH.
 THESE NATIVE SPECIES ARE SUBJECT TO CHANGE BASED ON AVAILABILITY AT THE TIME OF THE SITE PLAN PROCESS AND FINAL ENGINEERING. TREE AND SHRUB LOCATIONS ARE SUBJECT TO CHANGE AT THE TIME OF THE SITE PLAN PROCESS AND FINAL ENGINEERING.

THIS SHEET IS FOR LANDSCAPE PURPOSES ONLY!

DATE	REVISION
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LEGEND

50' WIDE OPEN SPACE AND GREATER
±180,000 SF (±22%)

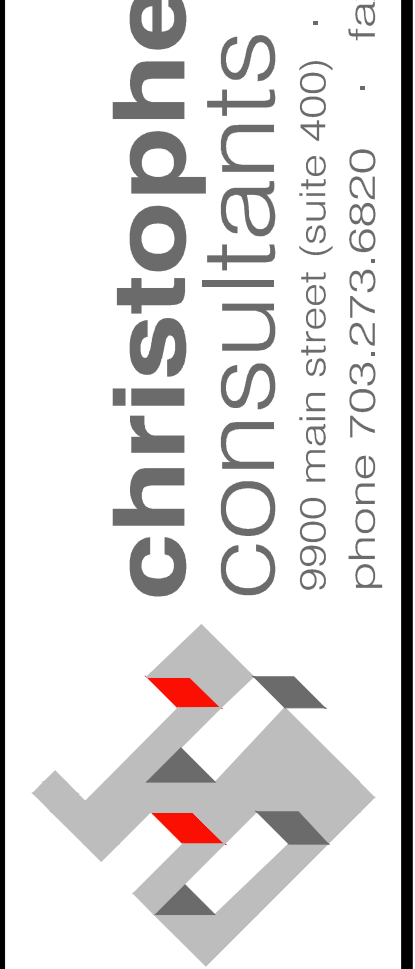
17'-49' WIDE OPEN SPACE
±58,000 SF (±7%)

OPEN SPACE REQUIRED: 20%
OPEN SPACE PROVIDED: ±24% (±238,000 SF), ±22% PER CODE DEFINITION

PRELIMINARY LOCATIONS FOR MULTI-FAMILY BUILDING AMENITIES (MAY INCLUDE POOL, SEATING AREAS, FITNESS CENTER, MULTI-PURPOSE CLUB ROOMS, ETC.)

PRELIMINARY LOCATIONS FOR COMMUNITY AMENITIES (MAY INCLUDE POCKET PARKS, WALKING TRAILS, SEATING AREAS, GATHERING AREAS, OUTDOOR GRILL AREAS, GAME/PLAY AREAS, ETC.)

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OPEN SPACE PLAN

MASTER DEVELOPMENT PLAN
PAUL VI.
FAIRFAX CITY, VIRGINIA

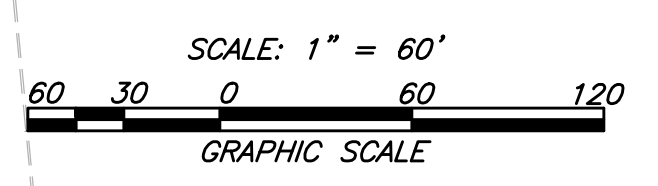
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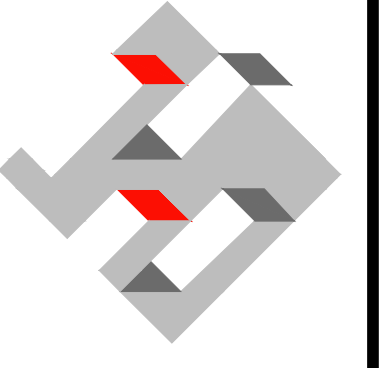


- LEGEND**
- 250 --- EXISTING ONE FOOT CONTOUR
 - 260 --- EXISTING TEN FOOT CONTOUR
 - --- RIGHT OF WAY
 - --- LIMITS OF CLEARING AND GRADING
 - --- PROPOSED CURB
 - △ PROPOSED PARKING SPACE
 - --- PROPOSED CONCRETE SIDEWALK
 - --- PROPOSED BIKE TRAIL
 - ◀ G PROPOSED GARAGE ENTRANCE
 - ▲ APPROXIMATE LOCATION OF THE PROPOSED BUILDING ENTRANCE TO BE FINALIZED AT THE TIME OF SITE PLAN
 - BIOTERRA FACILITY
 - FILTERRA
 - UNDERGROUND DETENTION/ISOLATOR ROW
 - --- GRASS CHANNEL
 - --- LID PLANTER BOX
 - --- PROPOSED SANITARY SEWER *
 - --- PROPOSED STORM SEWER *
 - --- PROPOSED WATER LINE *
 - * THESE PRELIMINARY UTILITIES TO BE FINALIZED AT THE TIME OF SITE PLAN
 - --- PROPOSED CONTOUR
 - ▲ PROPOSED SPOT ELEVATION

NOTE: THIS IS A PRELIMINARY GRADING PLAN ONLY AND IS SUBJECT TO CHANGE AT THE TIME OF SITE PLAN.



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COMMONWEALTH OF VIRGINIA
 JOHN C. LEVTOV
 Lic. No. 33635
 1/5/18
 PROFESSIONAL ENGINEER

PRELIMINARY GRADING PLAN

MASTER DEVELOPMENT PLAN
PAUL VI.
 FAIRFAX CITY, VIRGINIA

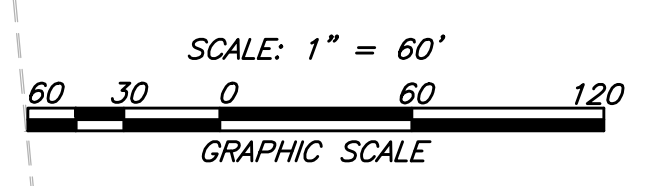
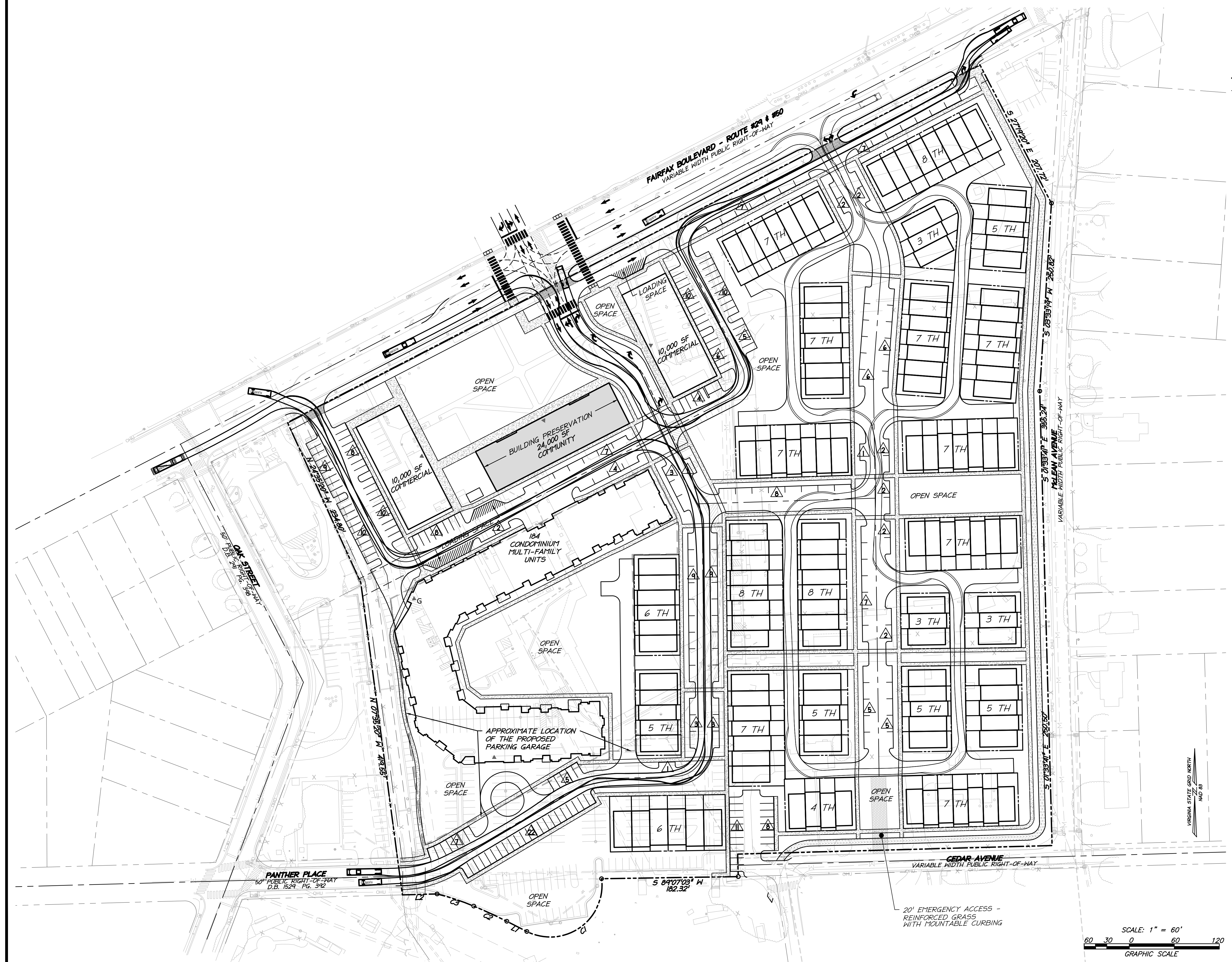
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LEGEND

- RIGHT OF WAY
- PROPOSED CURB
- △ PROPOSED PARKING SPACE
- ▭ PROPOSED CONCRETE SIDEWALK
- ▨ PROPOSED BIKE TRAIL
- ◀ G PROPOSED GARAGE ENTRANCE
- ◀ APPROXIMATE LOCATION OF THE PROPOSED BUILDING ENTRANCE TO BE FINALIZED AT THE TIME OF SITE PLAN



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COMMONWEALTH OF VIRGINIA
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 PROFESSIONAL ENGINEER

TRUCK TURNING MOVEMENTS

MASTER DEVELOPMENT PLAN
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 FAIRFAX CITY, VIRGINIA

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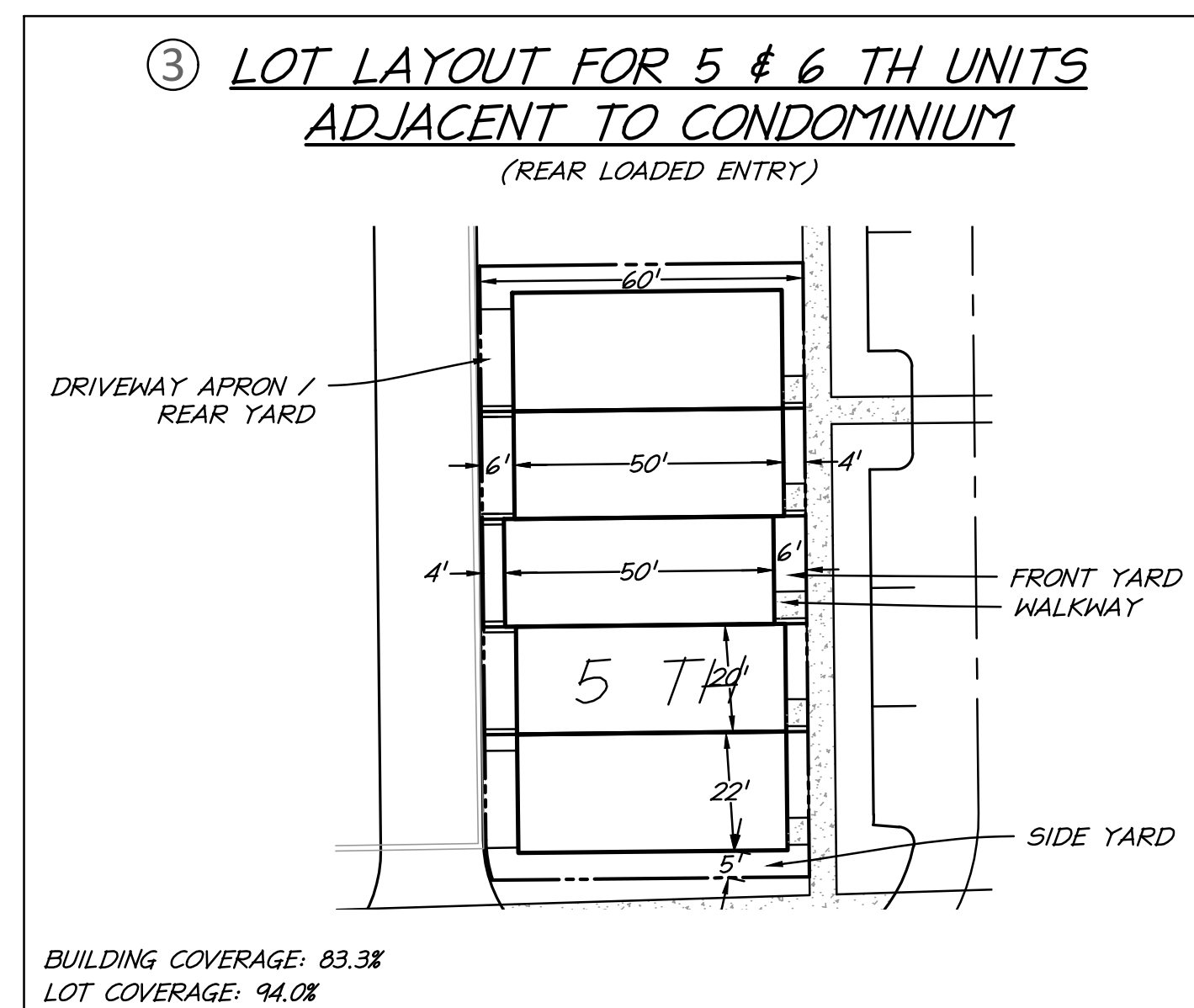
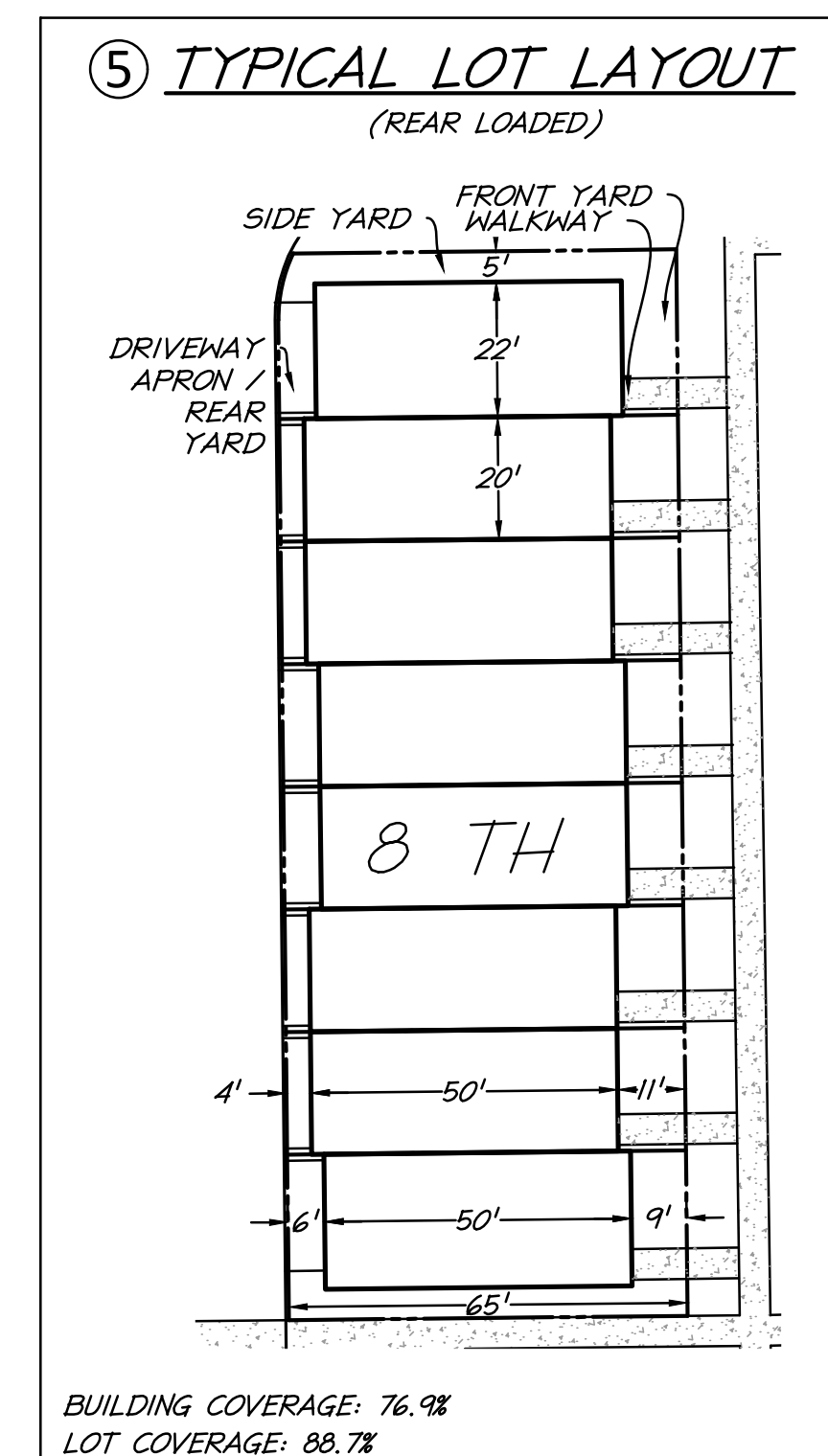
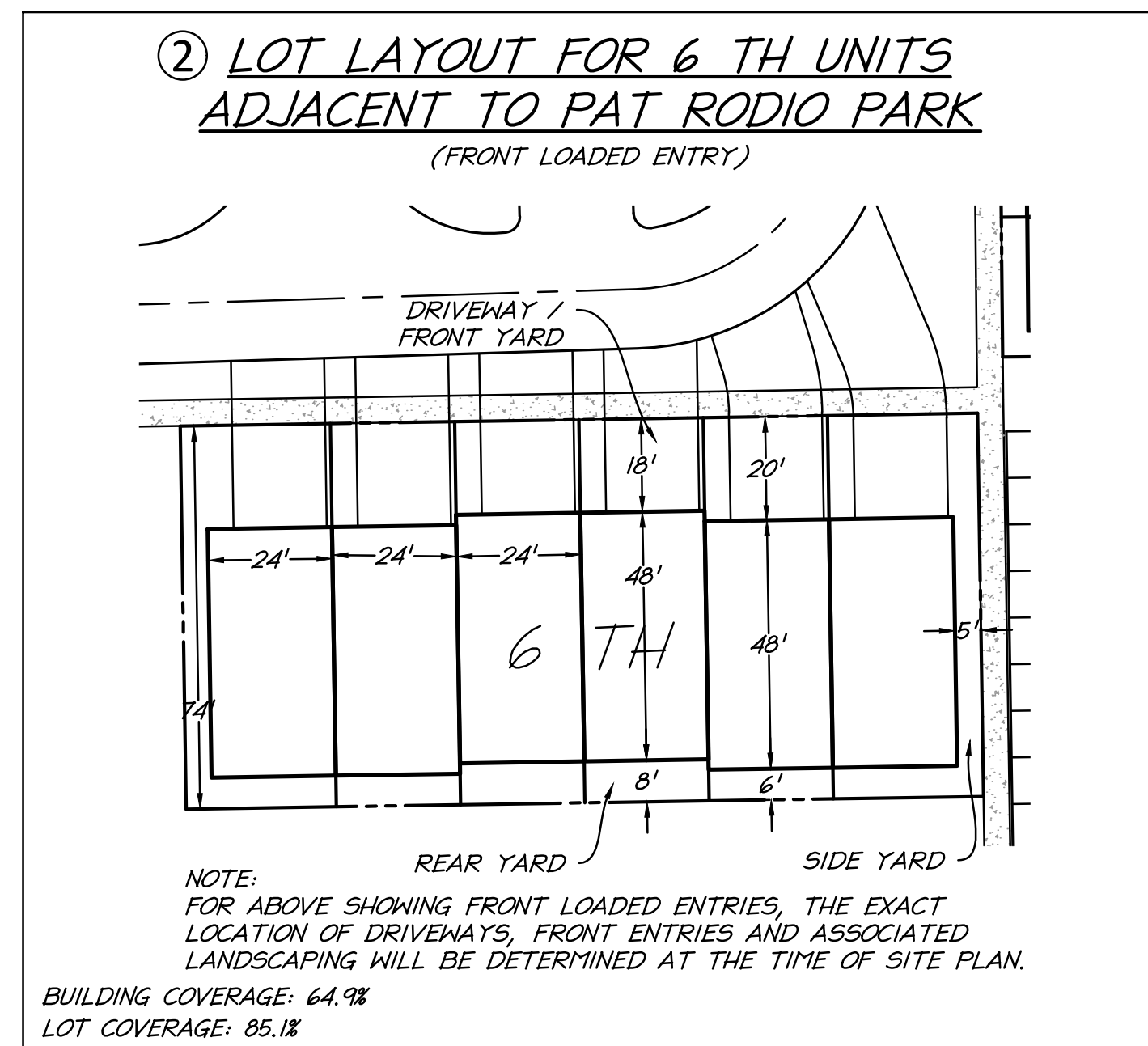
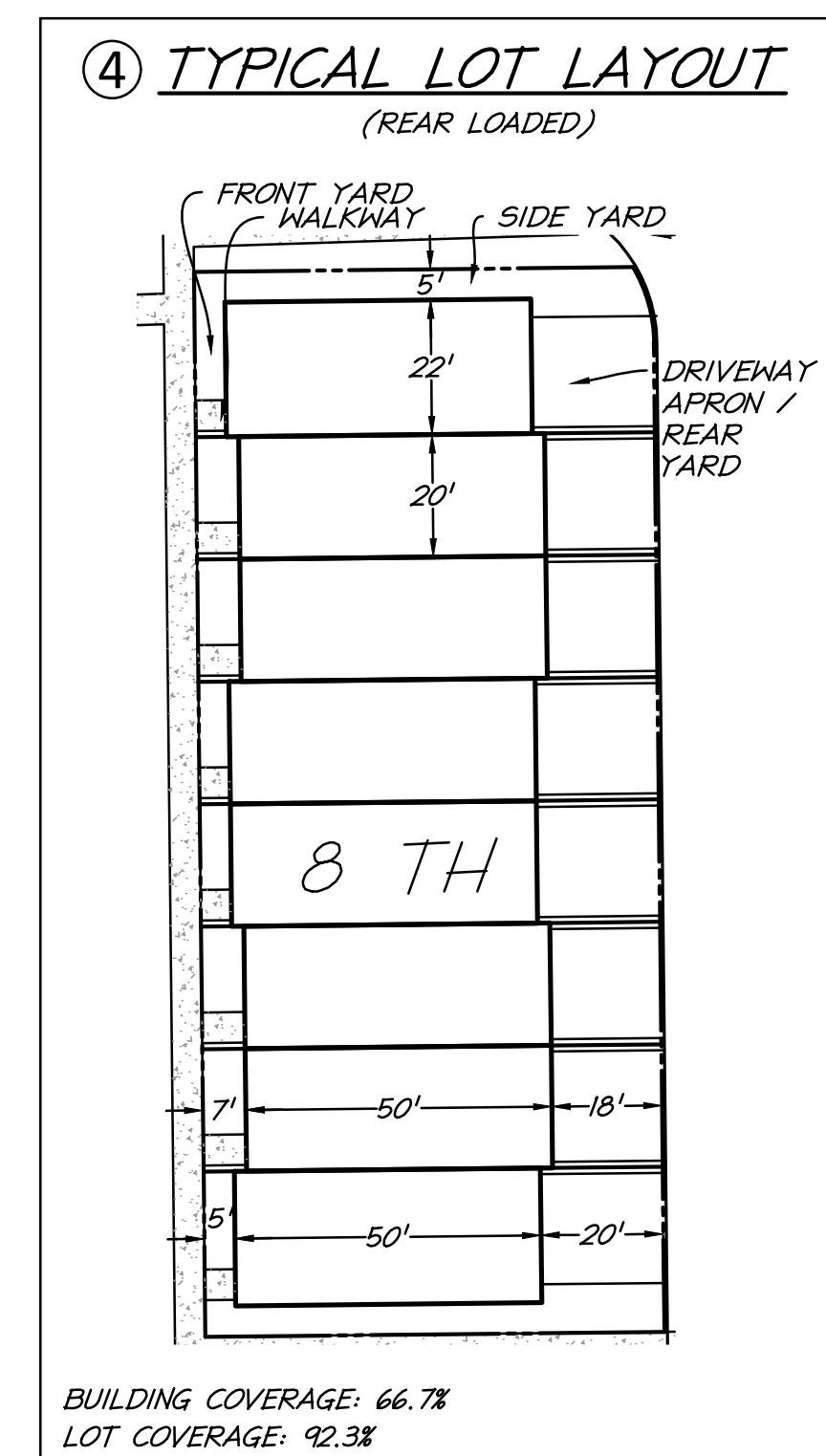
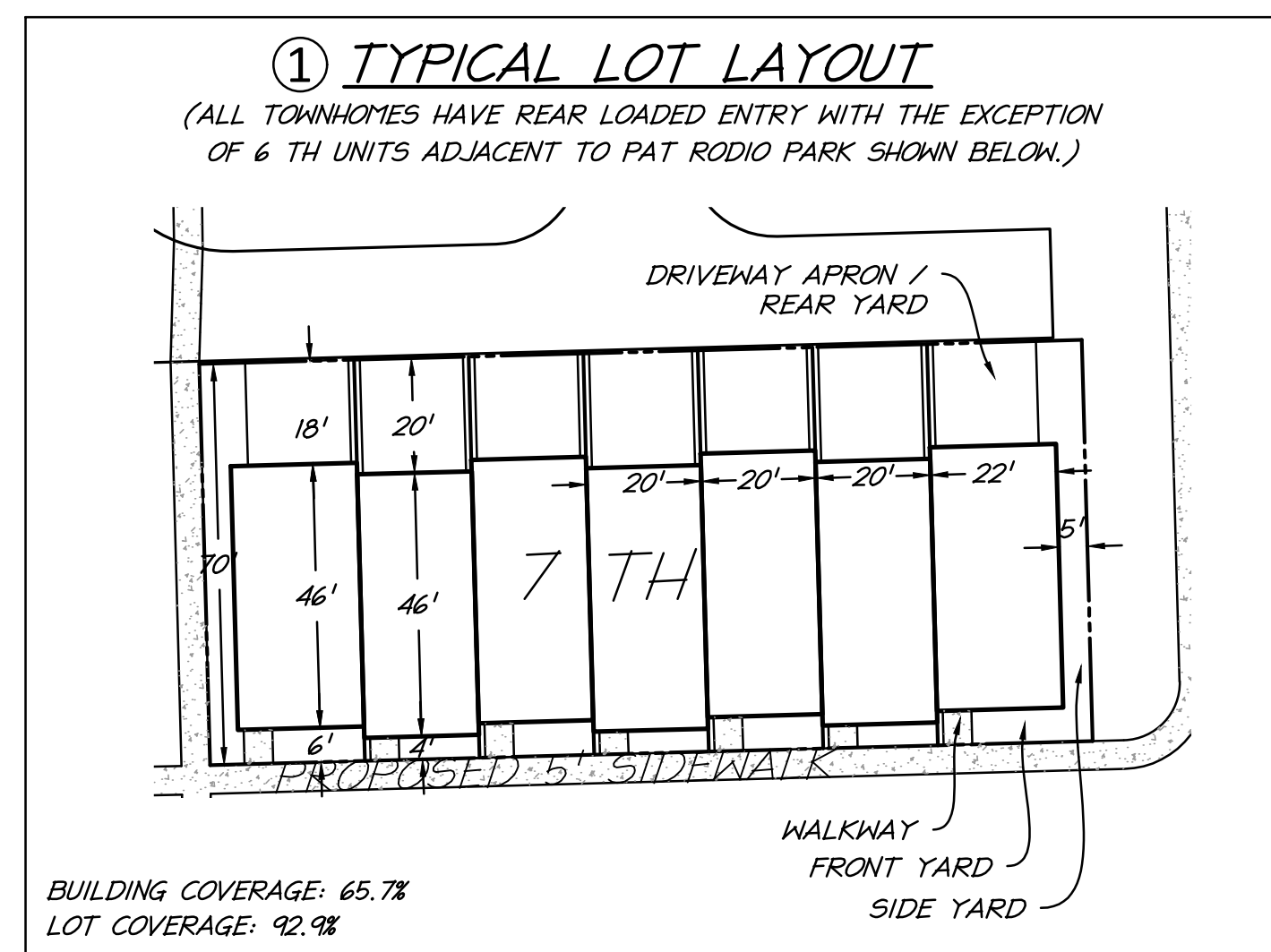
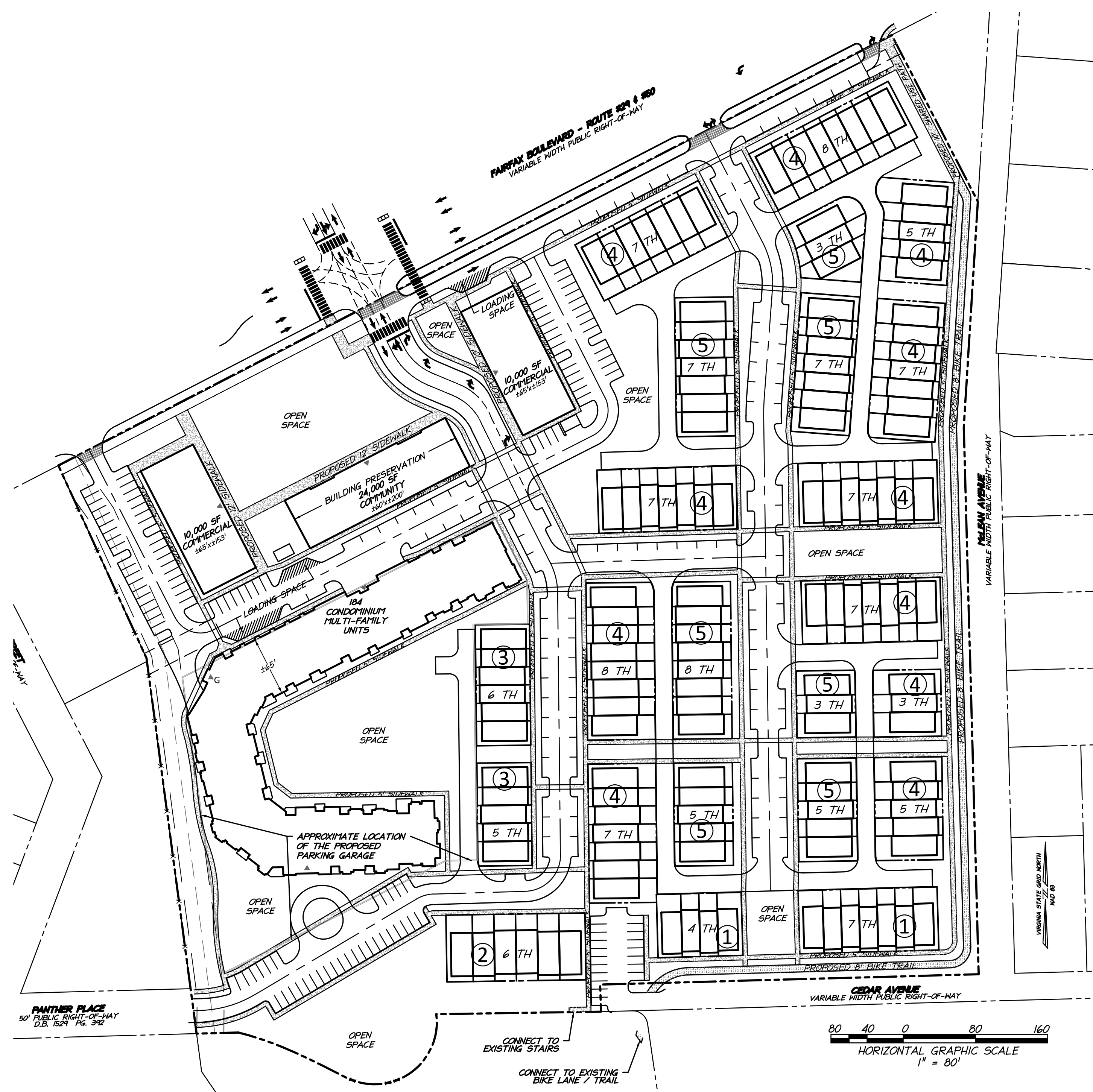
PROPOSED DIMENSIONAL STANDARDS

RESIDENTIAL		
	TOWNHOMES	CONDOMINIUM MULTI-FAMILY
LOT AREA/UNIT, MINIMUM (SQ.FT.)	1,200	N/A
REQUIRED YARDS, MINIMUM (FT.)		
FRONT	4' min. - 6' max.	N/A
SIDE (STREET)	5'	N/A
SIDE (INTERIOR)	0'	N/A
REAR	4' min. - 6' max.	N/A
LOT WIDTH, MINIMUM (FT.)		
INTERIOR LOTS	20'	N/A
CORNER LOTS	20'	N/A
HEIGHT, MAXIMUM (STORIES/FEET)		
ADJACENT TO RL, RM OR RH DISTRICT	3 / 40'	5 / 60'
NOT ADJACENT TO RL, RM OR RH DISTRICT	3.5 / 45'	5 / 60'

NOTES:
FOR MAXIMUM BUILDING COVERAGE AND MAXIMUM LOT COVERAGE PERCENTAGES, REFER TO THE TYPICAL LOT LAYOUTS ON THIS SHEET.

NONRESIDENTIAL		
	COMMERCIAL	COMMUNITY
LOT AREA, MINIMUM (SQ.FT.)	N/A	N/A
REQUIRED YARDS (FT.)		
FRONT & SIDE (STREET)		
MAXIMUM	88'	155'
MINIMUM	20'	20'
SIDE (INTERIOR), MIN. ADJACENT TO A RESIDENTIAL DISTRICT	25'	25'
SIDE (INTERIOR), MIN. NOT ADJACENT TO A RESIDENTIAL DISTRICT	10'	10'
REAR, MIN. ADJACENT TO A RESIDENTIAL DISTRICT	25'	25'
REAR, MIN. NOT ADJACENT TO A RESIDENTIAL DISTRICT	0'	0'
BUILD-TO LINE, MANDATORY (%)	N/A	N/A
LOT WIDTH, MINIMUM (FT.)	N/A	N/A
BULK PLANE REQUIREMENTS (DEGREES)		
FRONT	N/A	N/A
SIDE (INTERIOR), ADJACENT TO A RESIDENTIAL DISTRICT	45	45
SIDE (INTERIOR), NOT ADJACENT TO A RESIDENTIAL DISTRICT	N/A	N/A
REAR, ADJACENT TO A RESIDENTIAL DISTRICT	45	45
REAR, NOT ADJACENT TO A RESIDENTIAL DISTRICT	N/A	N/A
HEIGHT, MAXIMUM (STORIES/FEET)	5 / 60'	5 / 60'
FLOOR AREA, MAXIMUM (SQ.FT.)	N/A	N/A

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NOTE: BUILDING & LOT COVERAGE TABULATIONS ARE BASED ON THE MOST STRINGENT CONDITIONS FOUND WITHIN EACH TYPICAL LOT LAYOUT.

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COMMONWEALTH OF VIRGINIA
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1/5/18
PROFESSIONAL ENGINEER

TYPICAL LOT LAYOUT

MASTER DEVELOPMENT PLAN
PAUL VI.
FAIRFAX CITY, VIRGINIA

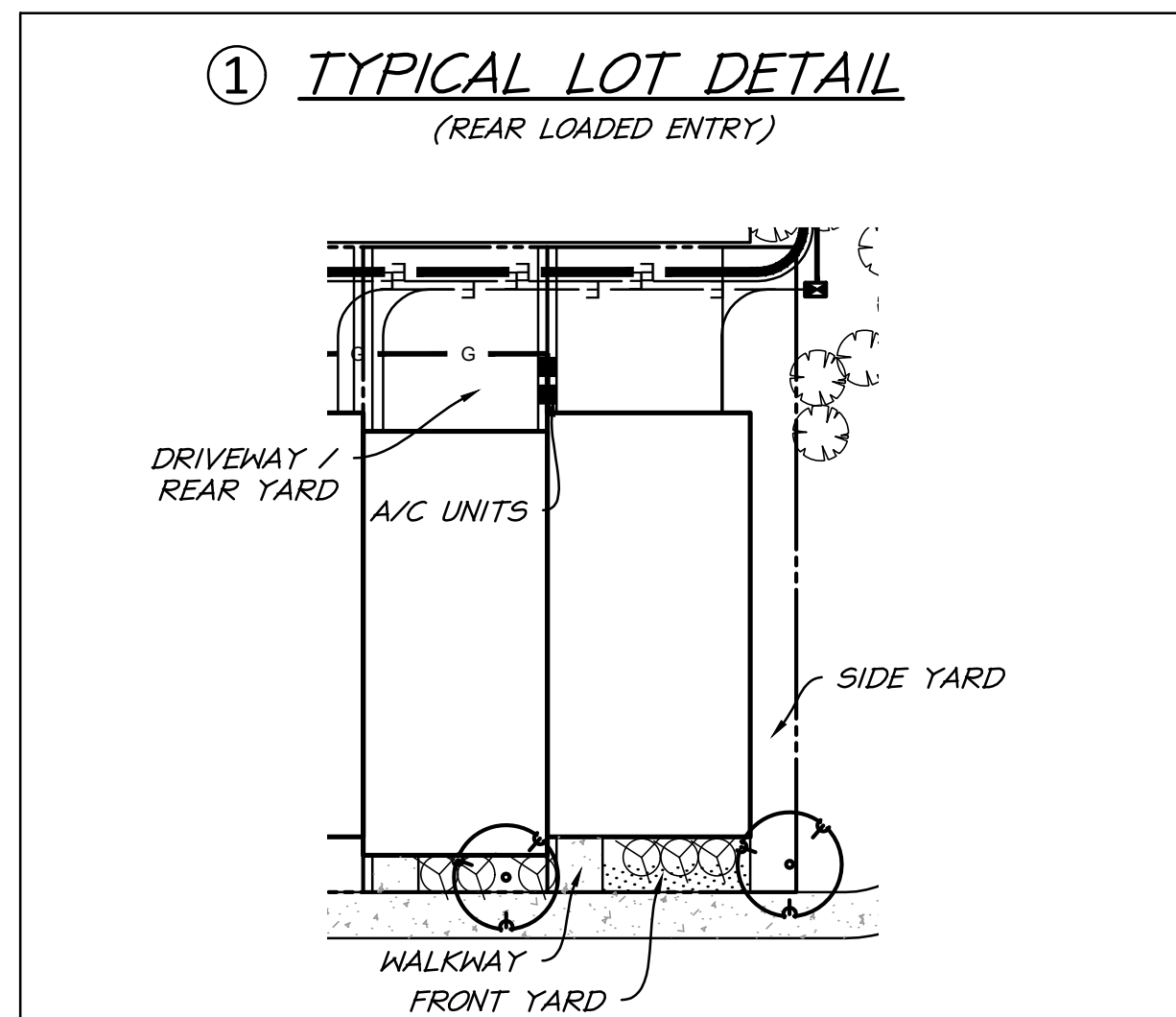
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TYPICAL LOT DETAIL LANDSCAPING
(NUMBER CORRESPONDS TO THE UNIT TYPES NOTED ON THE PLAN)

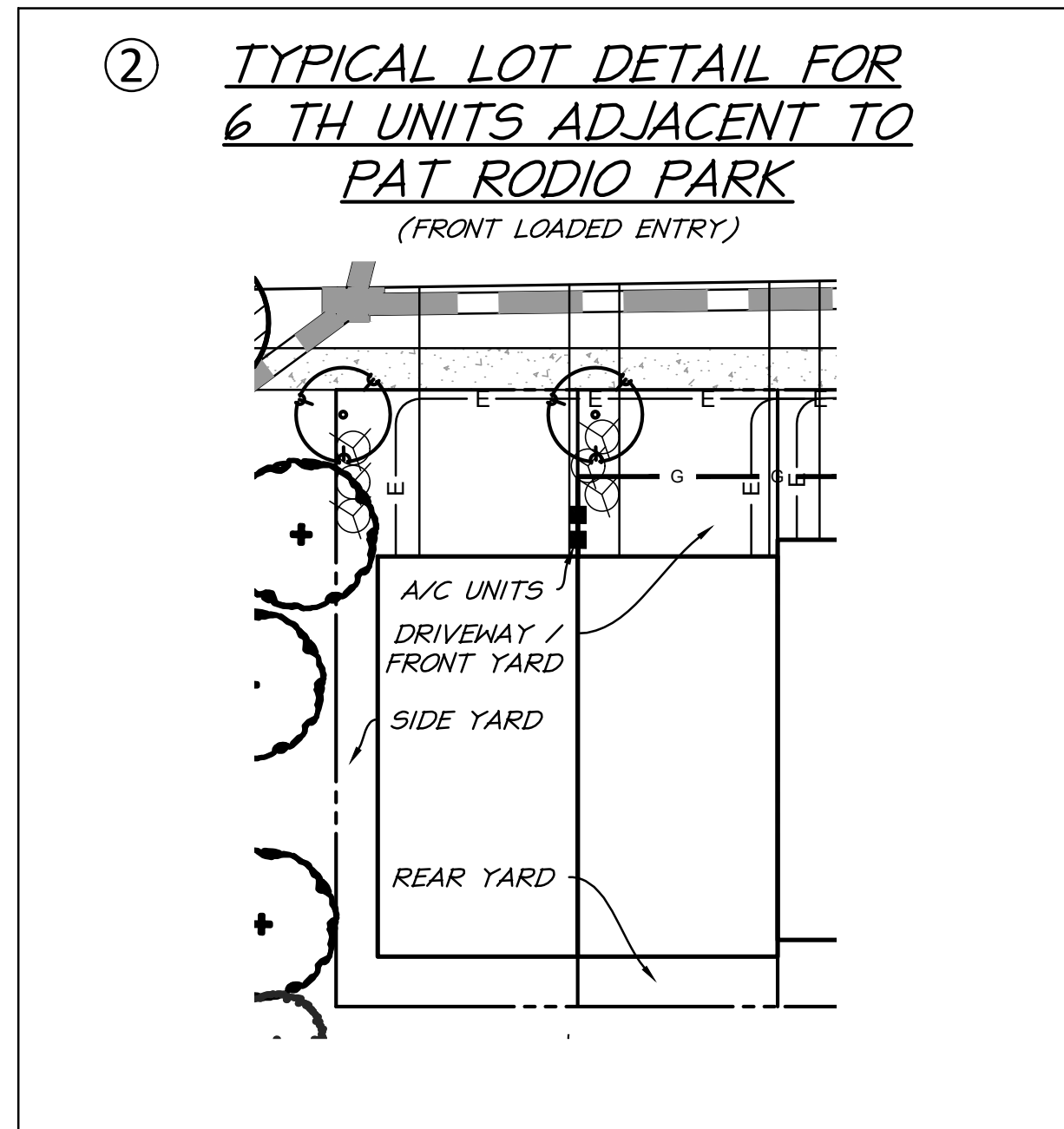
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① **TYPICAL LOT DETAIL**
(REAR LOADED ENTRY)

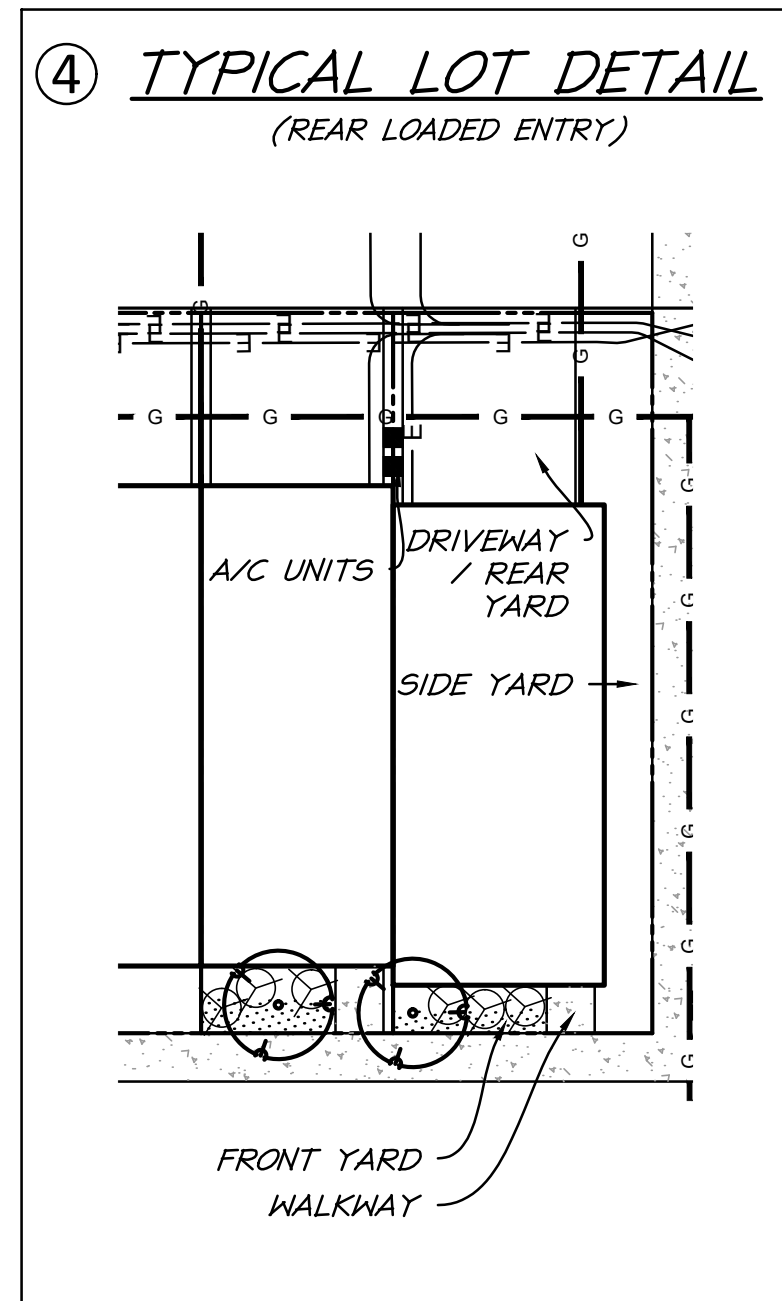


LANDSCAPING FOR TYPICAL LOTS
PROPOSED TREE SPECIES MAY INCLUDE BUT NOT BE LIMITED TO:
CARPINUS CAROLINIANA (AMERICAN HORNBEAM), CERCIS CANADENSIS (EASTERN REDBUD), CORNUS FLORIDA 'APPALACHIAN SPRING' (FLOWERING DOGWOOD), AND MAGNOLIA VIRGINIANA (SHEETBAY MAGNOLIA).
PROPOSED SHRUB SPECIES MAY INCLUDE BUT NOT BE LIMITED TO:
CEANOTHUS AMERICANUS (NEW JERSEY TEA), CLETHRA ALNIFOLIA (SWEET PEPPERBUSH), FOTHERGILLA GARDENII (DWARF FOTHERGILLA), ILEX GLABRA (INKBERRY), AND ITEA VIRGINICA 'SPRICH' (LITTLE HENRY VIRGINIA SWEETSPICE).
PROPOSED HERBACEOUS SPECIES MAY INCLUDE BUT NOT BE LIMITED TO:
AMSONIA 'BLUE ICE' (DWARF BLUESTAR), ANDROPOGON VIRGINICUS (BROOMSEDGE BLUESTEM), CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER' (FEATHER REED GRASS), CHELONE GLABRA (WHITE TURTLEHEAD), MONARDA DIDYMA (SCARLET BEEBALM), AND PHLOX DIVARICATA (WILD BLUE PHLOX).
THESE SPECIES AND THEIR LOCATIONS ARE SUBJECT TO CHANGE BASED ON AVAILABILITY AT THE TIME OF THE SITE PLAN PROCESS AND FINAL ENGINEERING. HOWEVER, FOR EACH LOT TYPE, THE MINIMUM NUMBER OF PLANTS SHOWN ON THIS SHEET WILL BE PROVIDED. THE WALKWAYS MAY ALSO BE REVISED ON EACH LOT AT TIME OF SITE PLAN.

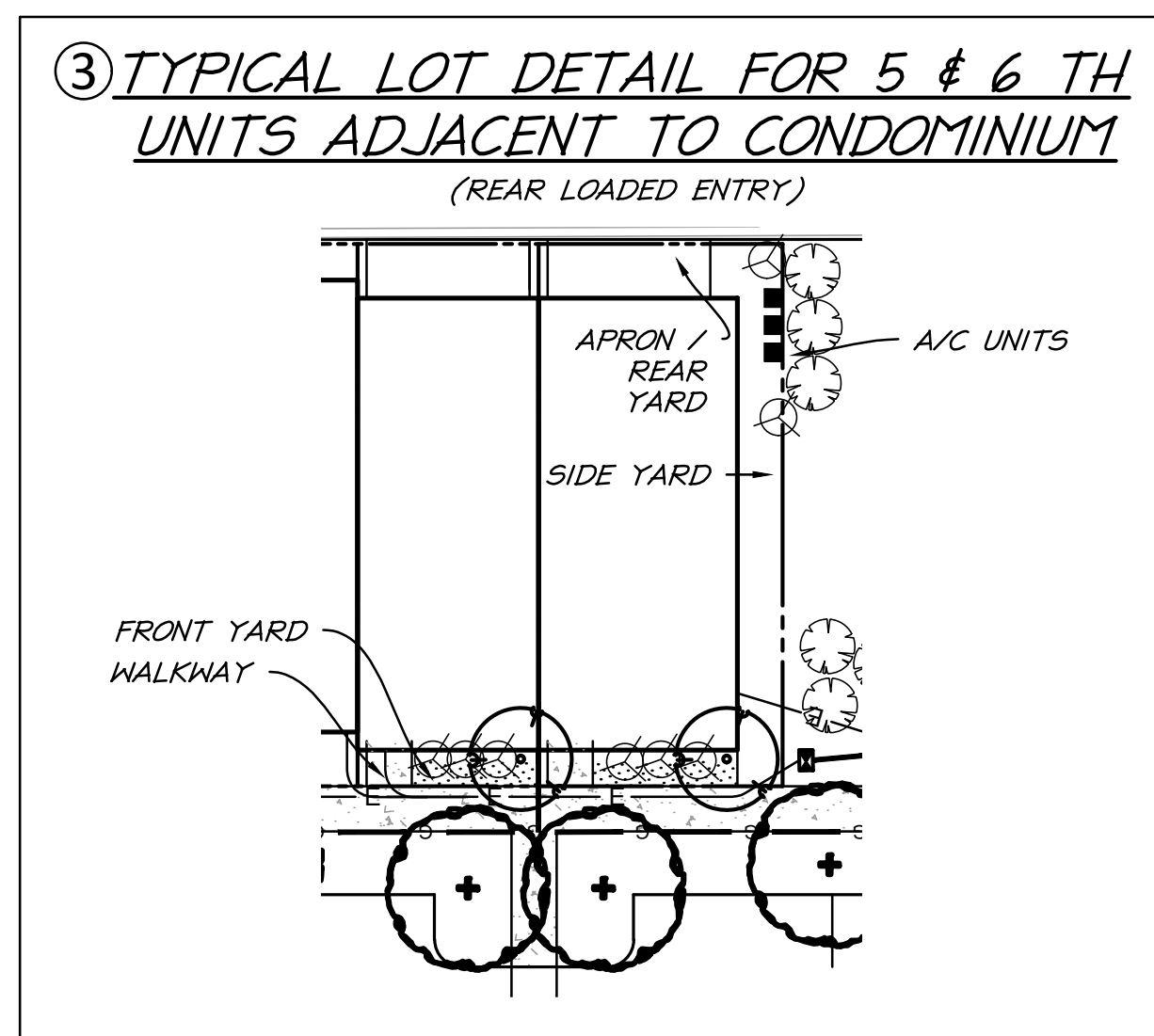
② **TYPICAL LOT DETAIL FOR 6 TH UNITS ADJACENT TO PAT RODIO PARK**
(FRONT LOADED ENTRY)



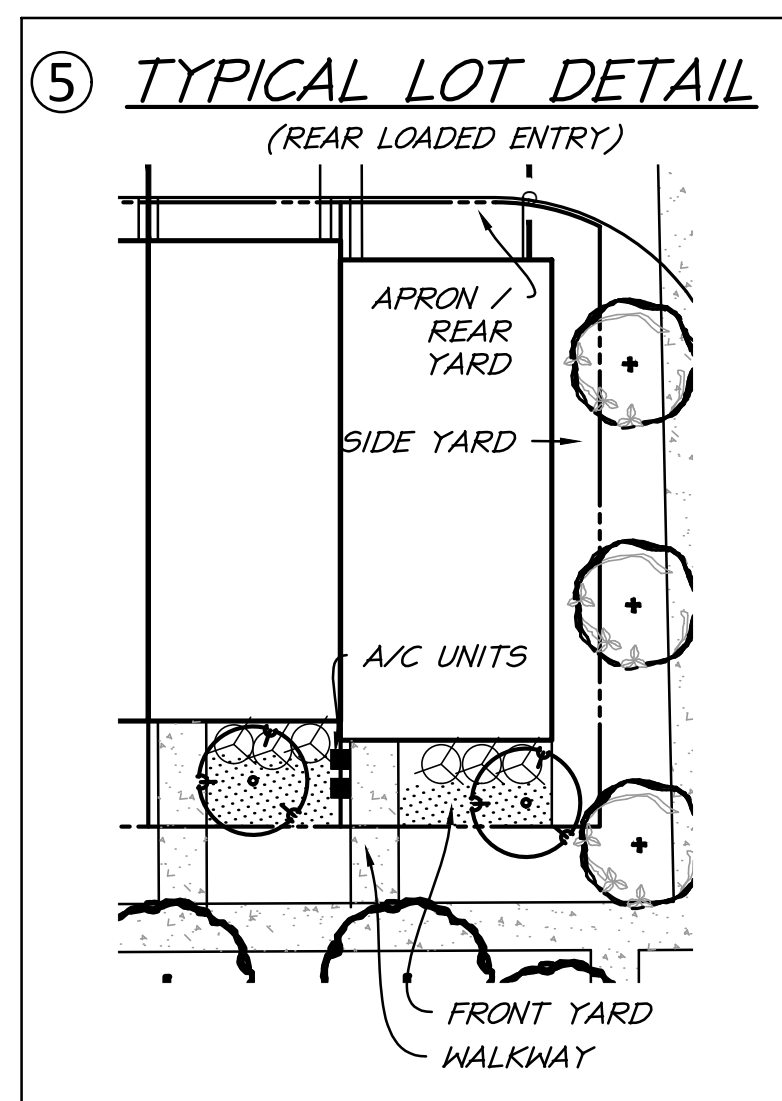
④ **TYPICAL LOT DETAIL**
(REAR LOADED ENTRY)



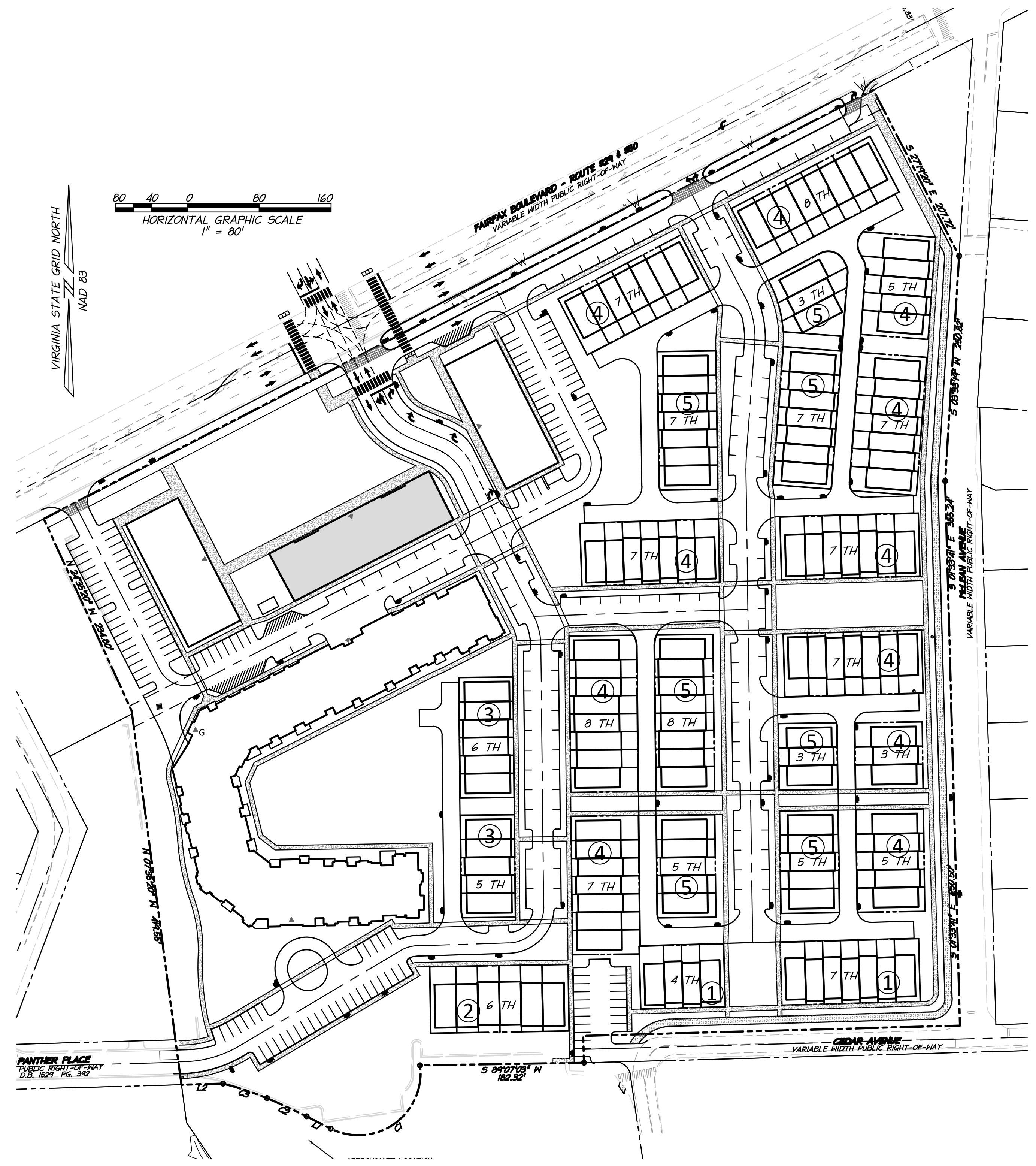
③ **TYPICAL LOT DETAIL FOR 5 & 6 TH UNITS ADJACENT TO CONDOMINIUM**
(REAR LOADED ENTRY)



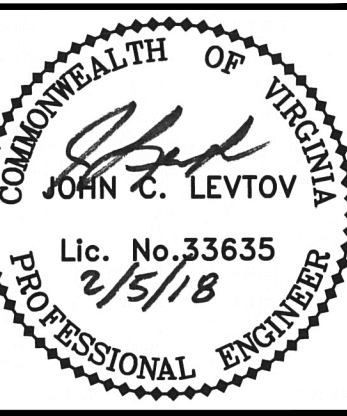
⑤ **TYPICAL LOT DETAIL**
(REAR LOADED ENTRY)



LEGEND
 : ORNAMENTAL TREE CATEGORY II (100 SF)
 : SHRUB
 : HERBACEOUS PLANTS
 : AC UNITS



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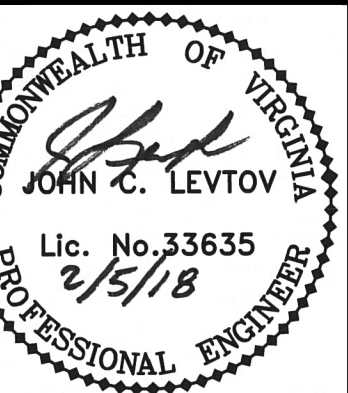
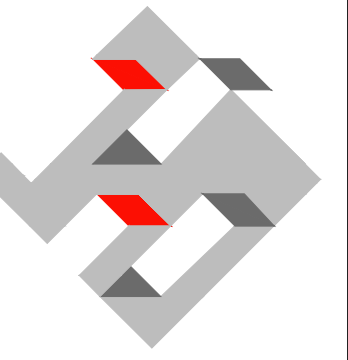
TYPICAL LOT DETAIL
LANDSCAPING

MASTER DEVELOPMENT PLAN
PAUL VI.
FAIRFAX CITY, VIRGINIA

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VERTICAL CROSS SECTIONS

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 FAIRFAX CITY, VIRGINIA

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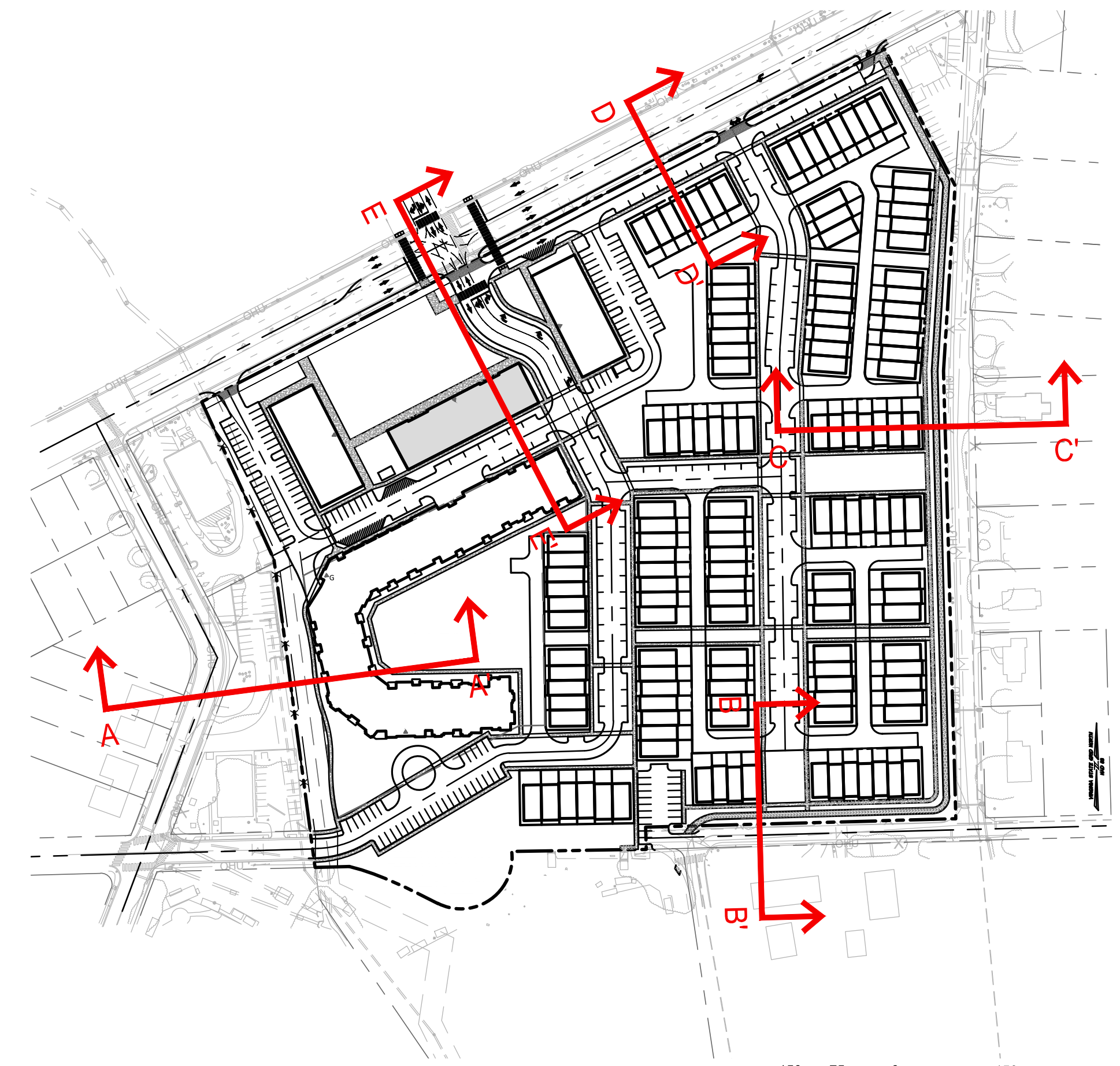
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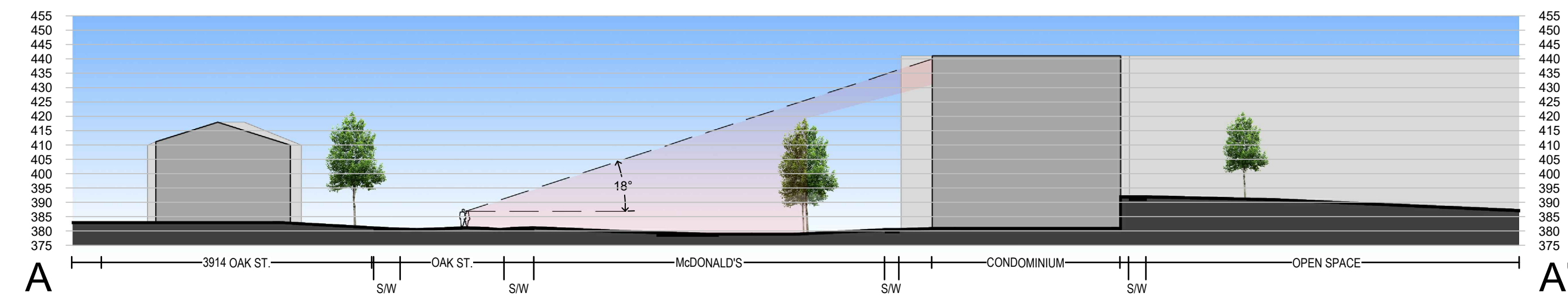
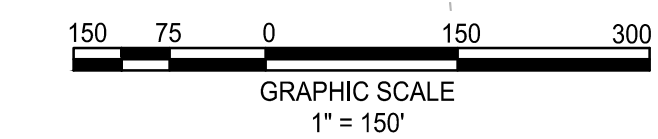
SHEET No.

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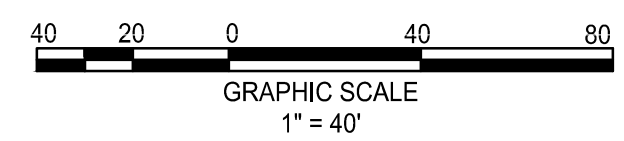
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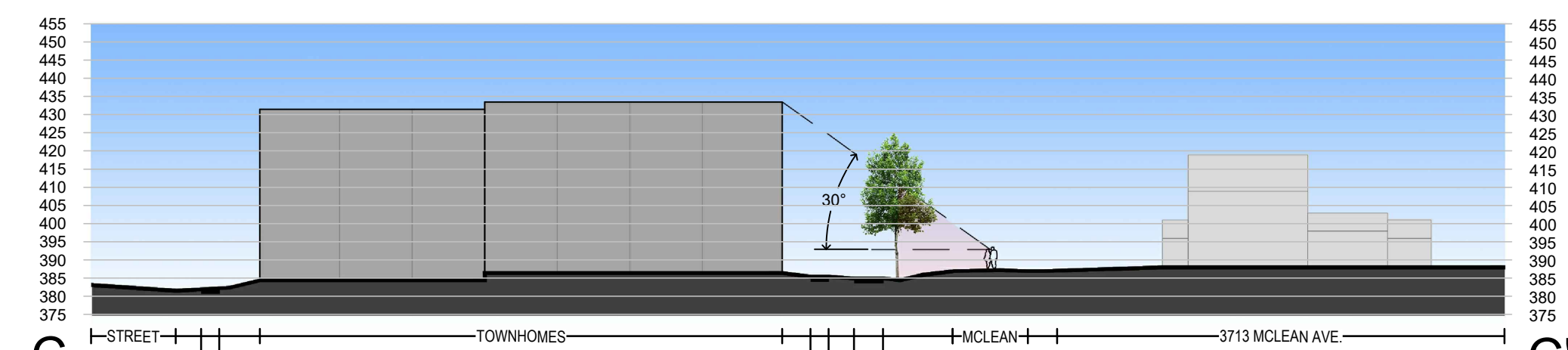
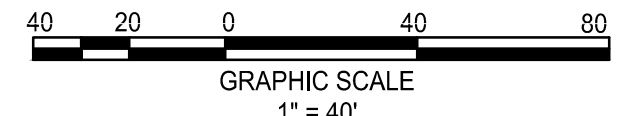
KEY MAP



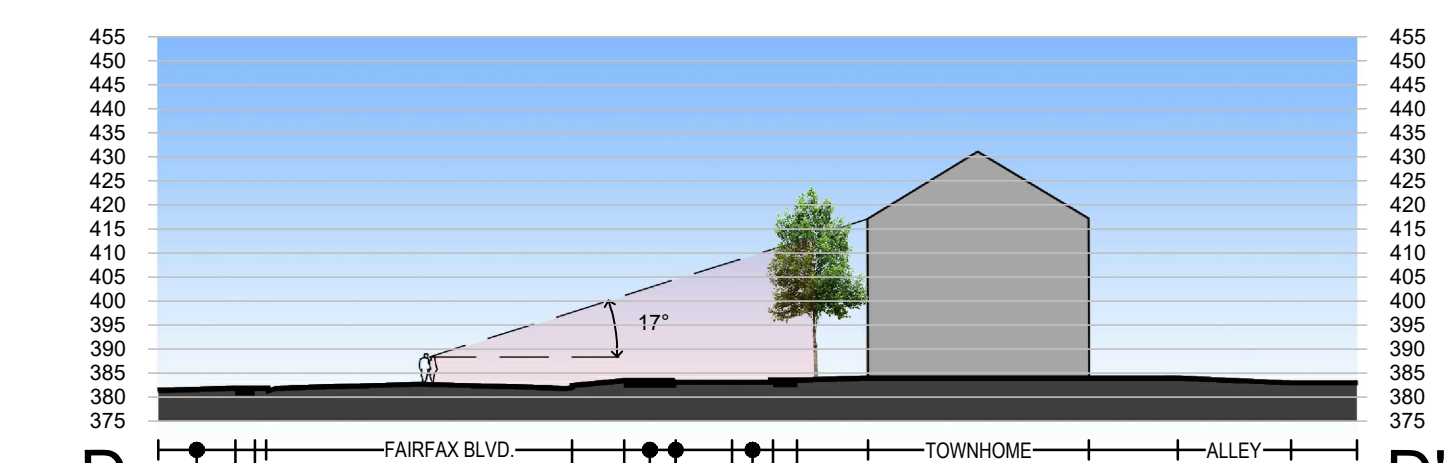
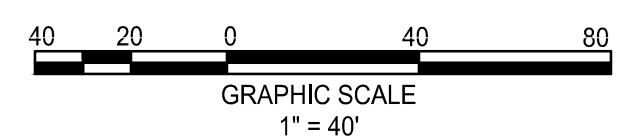
PROPOSED CROSS SECTION A - A'



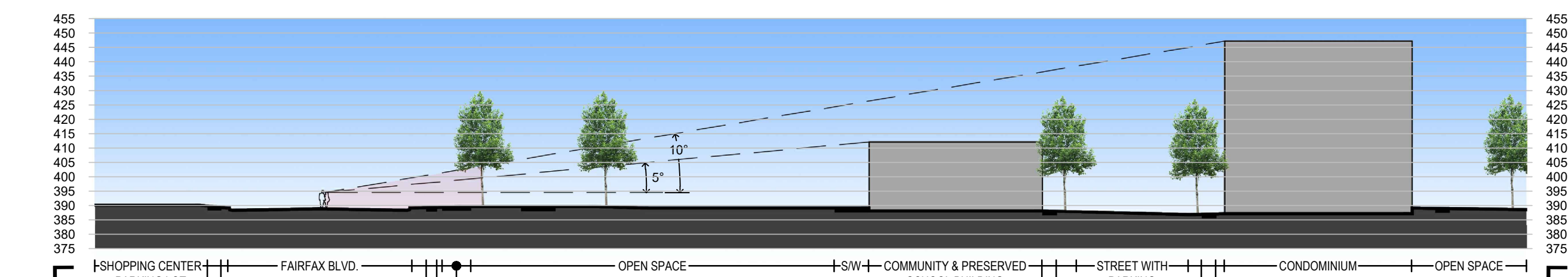
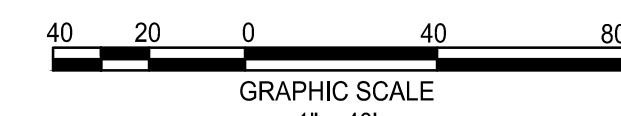
PROPOSED CROSS SECTION B - B'



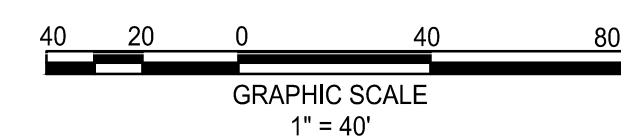
PROPOSED CROSS SECTION C - C'



PROPOSED CROSS SECTION D - D'



PROPOSED CROSS SECTION E - E'



- NOTES:
 1. THIS SHEET IS FOR ILLUSTRATIVE PURPOSES ONLY AND NOT FOR CONSTRUCTION.
 2. THE FOLLOWING DENOTES VIEWSHED FROM PEDESTRIAN VANTAGE POINT (STANDING ON ROAD CENTERLINE):

