



City of Fairfax

BROWN'S FAIRFAX MAZDA

#10570 AND 10590 FAIRFAX BOULEVARD SPECIAL USE PLAN

NOTES

- APPLICANT/CONTRACT PURCHASER:
BROWN'S FAIRFAX REALTY, LLC.
12500 FAIR LAKES CIRCLE, STE. 375
FAIRFAX, VA 22033

OWNER:
ALPINE SCHULING T INC. C/O HELEN SCHULING
45 CALIBOGUE CAY ROAD
HILTON HEAD, SC 29928
- THE PROPERTY SHOWN HEREON IS DESIGNATED BY THE CITY OF FAIRFAX, VIRGINIA, AS PARCEL IDENTIFICATION NUMBERS 57-2-02-009 AND 57-2-02-010 AND IS ZONED CR COMMERCIAL RETAIL (FORMERLY C-2).
- BOTH PARCELS ARE NOW IN THE NAME OF ALPINE SCHULING T., INC., AS RECORDED IN DEED BOOK 8871 AT PAGE 1815 AMONG THE LAND RECORDS OF FAIRFAX COUNTY, VIRGINIA.
- TOTAL AREA OF THE TWO PARCELS IS 171,706 SQUARE FEET OR 3.9418 ACRES.
- THIS PLAT IS BASED ON A FIELD SURVEY BY THIS FIRM COMPLETED ON MAY 11, 2016.
- THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP FOR CITY OF FAIRFAX, VIRGINIA, MAP NUMBER 5155240002D, EFFECTIVE DATE JUNE 2, 2006, DESIGNATES A PORTION OF THE PROPERTY AS BEING IN ZONE AE (SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD WHERE BASE FLOOD ELEVATIONS DETERMINED) AND ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN).
- EXISTING FLOODPLAIN TO BE REMOVED UNDER CLOMR PLAN#18-03-2239R; EXISTING RPA TO BE REMOVED UNDER VWP 18-1003.
- EASEMENTS, CONDITIONS, COVENANTS AND RESTRICTIONS, SHOWN AND/OR NOTED, TAKEN FROM THE TITLE REPORT PREPARED BY WALKER TITLE, LLC, CASE NUMBER A1600542, WITH AN EFFECTIVE DATE OF MAY 19, 2016.
- THE PROPERTY IS SERVED BY PUBLIC WATER AND SEWER.

SPECIAL EXCEPTIONS

THE FOLLOWING SPECIAL EXCEPTIONS ARE REQUESTED WITH THIS APPLICATION:

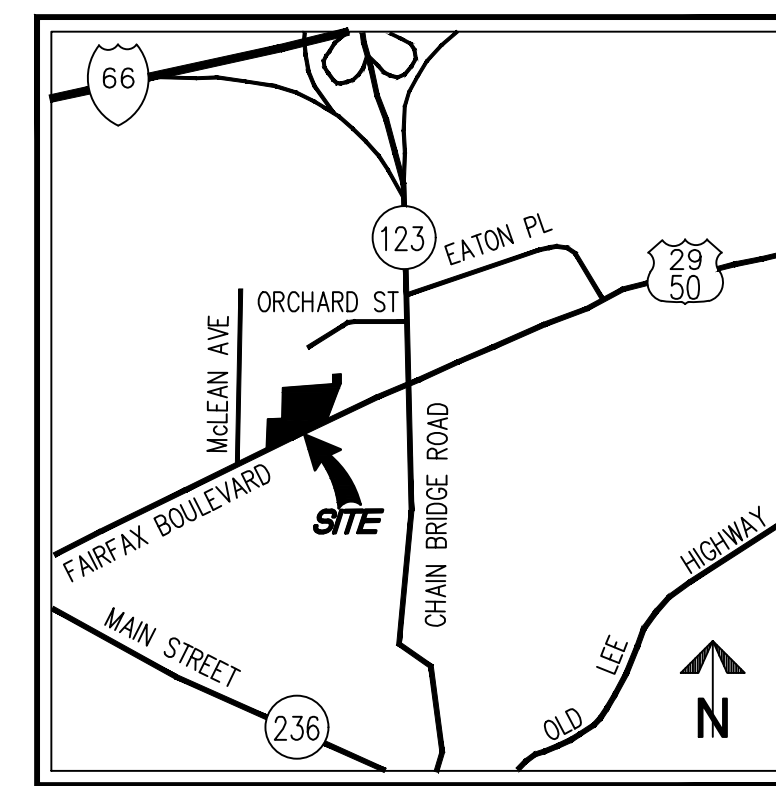
- SPECIAL EXCEPTION FROM TRANSITIONAL SCREENING YARD 3 ALONG NORTHERN PROPERTY LINE AS REQUIRED BY Z.O. SECTIONS 4.5.5.C.3(c), 4.5.7.C.2, AND 4.5.7.E.2.
- SPECIAL EXCEPTION FOR REQUIREMENT TO SCREEN OUTDOOR STORAGE ALONG THE NORTHERN PROPERTY LINE AS REQUIRED BY Z.O. SECTION 4.5.8.D.1.
- SPECIAL EXCEPTION FROM STREET TREE REQUIREMENT ALONG FAIRFAX BOULEVARD AS REQUIRED BY Z.O. SECTION 4.5.6.B.
- SPECIAL EXCEPTION TO PERMIT ENCROACHMENT INTO THE LANDWARD 50 FEET OF THE BUFFER COMPONENT OF THE RPA REQUIRED BY Z.O. SECTION 4.18.11.

SPECIAL USE PERMITS

THE FOLLOWING SPECIAL USE PERMITS ARE REQUESTED WITH THIS APPLICATION:

- SPECIAL USE PERMIT TO ALLOW VEHICLE SALES & LEASING USE IN THE CR ZONE. (Z.O. SECTION 3.3.1 PRINCIPAL USE TABLE)
- SPECIAL USE PERMIT TO ALLOW VEHICLE SERVICE USE IN THE CR ZONE. (Z.O. SECTION 3.3.1 PRINCIPAL USE TABLE)
- SPECIAL USE PERMIT FOR DEVELOPMENT WITHIN A FLOODPLAIN. (Z.O. SECTION 4.15.7.C(2))

VICINITY MAP



SCALE: 1"=2000'

PROJECT DESCRIPTION

THIS APPLICATION PROPOSES TO REDEVELOP THE EXISTING SITE AS SHOWN ON THE FOLLOWING PAGES. THE EXISTING VEHICLE SALES AND LEASING AND VEHICLE SERVICE USES ARE CONSIDERED EXISTING NON-CONFORMING USES BECAUSE TODAY THEY ARE LISTED AS SPECIAL USES IN THE COMMERCIAL RETAIL (CR) ZONE; THEREFORE RELOCATING, RECONFIGURING, AND EXPANDING THE USES AS SHOWN ON THIS PLAN REQUIRES SPECIAL USE APPROVAL. TO THE BEST OF OUR KNOWLEDGE THIS APPLICATION COMPLIES WITH ALL APPLICABLE ZONING ORDINANCE REQUIREMENTS EXCEPT AS SPECIFIED IN THE SPECIAL EXCEPTION NARRATIVE ON THIS SHEET.

SITE TABULATION

	MINIMUM REQ'D UNLESS SPECIFIED PER Z.O. (OR ZONE)	PROVIDED
LOT AREA	20,000 SF	171,706 SF
LOT WIDTH	NONE	446.79 FT
MAX BLDG HT	60 FT	60' MAX
YARD REQ'MT		
FRONT	20 FT (MIN.)	20 FT
SIDE	25 FT (MIN.)	51 FT
REAR	25 FT (MIN.)	53 FT
MAXIMUM FAR		
	NONE	N/A
BUILDING COVERAGE	60% MAX	40%
LOT COVERAGE	85% MAX	85% MAX
PROPOSED GFA	---	39,497 SF

PARKING TABULATION

REQUIRED:
8,877 SF SALES AREA
8,877 SF @ 1 SP/500 SF = 18 SPACES

24 SERVICE BAYS
24 @ 2 SP/BAY = 48 SPACES
TOTAL PARKING REQUIRED: 66 SPACES

TOTAL PARKING PROVIDED: 69 SPACES (INCL. 4 HC)

*THE 69 PARKING SPACES PROVIDED DOES NOT INCLUDE THE ADDITIONAL PARKING LOT AREA DESIGNATED FOR INVENTORY AND DISPLAY PURPOSES, AS SHOWN ON SHEET P-0301. ALL SPACES WITHIN PROPOSED PARKING STRUCTURE ARE DESIGNATED FOR VEHICLE STORAGE AND ARE ALSO NOT INCLUDED IN THE 69 SPACES LISTED ABOVE.

BICYCLE PARKING

REQUIRED: 4 (61-80 REQD. SPACES)
PROVIDED: 4 (2 RACKS) (SEE SHEET P-0301 FOR LOCATION)

LOADING TABULATION

REQUIRED:
LOADING REQUIRED = 1 SPACE (10,000 - 49,999 SF COMM. USE)
PROVIDED:
1 LOADING SPACE (SEE SHEET P-0301 FOR LOCATION)

SHEET INDEX

P-0101	COVER SHEET
P-0201	EXISTING CONDITIONS PLAN
P-0202	EXISTING VEGETATION PLAN
P-0301	SPECIAL USE PLAN
P-0302	PRELIMINARY UTILITY AND GRADING PLAN
P-0303	FIRE SERVICE PLAN
P-0304	ENTRANCE SIGHT DISTANCE PLAN & PROFILE
P-0401	CONCEPTUAL LANDSCAPE PLAN
P-0501	STORMWATER MANAGEMENT PLAN
P-0502	STORMWATER MANAGEMENT COMPUTATIONS AND NARRATIVES
P-0503	BMP SPREADSHEET
P-0504	HYDROGRAPHS & BMP DETAILS
P-0601	SPECIAL USE PLAN - INTERIM
P-0602	PRELIMINARY UTILITY AND GRADING PLAN - INTERIM
P-0603	LANDSCAPE PLAN - INTERIM
P-0604	FIRE SERVICE PLAN - INTERIM
P-0605	INTERIM CONDITION NARRATIVES & TABULATIONS

PROPOSED	DESCRIPTION	EXISTING	PROPOSED	DESCRIPTION	EXISTING
EP	EDGE OF PAVEMENT	EP		HANDICAP RAMP (CG-12)	
MH	MANHOLE	MH		GUARDRAIL	
WV	WATER VALVE	WV		FENCE	
WM	WATER METER	WM		TRAFFIC FLOW	
GM	GAS METER	GM		LIGHT	
TCB	TRAFFIC CONTROL BOX	TCB		DOOR	
LP	LIGHT POLE	LP		TREES	
LP/S	LIGHT POLE WITH SIGNALS	LP/S		MANHOLE	
	CURB & GUTTER			CLEAN OUT	
	CG-2			CURB INLET	
	TRANSITION FROM CG-6 TO CG-6R			CONTOURS	
	CG-6R			SPOT ELEVATION	
S	SANITARY SEWER	S		DRAINAGE FLOW DIRECTION	
SL	SANITARY LATERAL	SL		TEST PIT	
C.O.	CLEAN OUT	C.O.		LIMITS OF CLEARING AND GRADING	
	STORM SEWER			SITE PROPERTY LINE	
W	WATER MAIN	W		PROP. BUILDING	
F	FIRE HYDRANT	F		VEHICLE INVENTORY & STORAGE	
E	PLUG	E			
	OVERHEAD WIRES				
	UTILITY POLE				
UE	UNDERGROUND ELECTRIC	UE			
T	TELEPHONE	T			
G	GAS MAIN	G			
E	ELECTRICAL	E			
	TRANSFORMER				

COVER SHEET

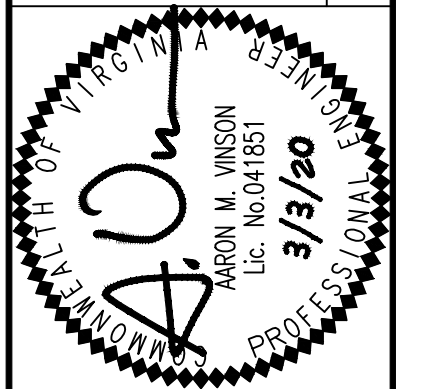
SPECIAL USE PLAN BROWN'S FAIRFAX MAZDA CITY OF FAIRFAX, VIRGINIA

WALTER L. PHILLIPS
INCORPORATED
DATE: 03/03/2020
SCALE: AS NOTED

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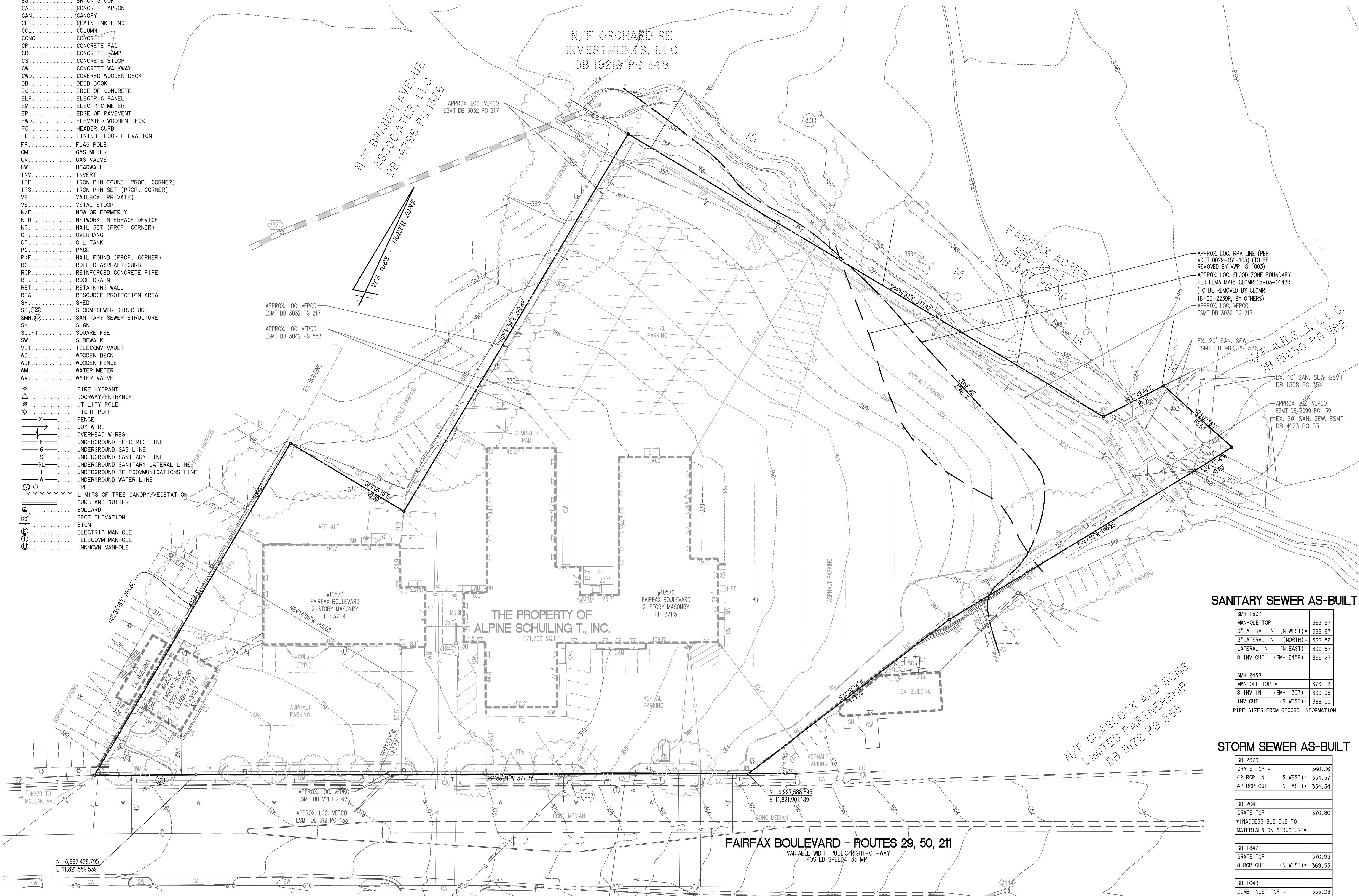
ESTABLISHED 1945

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DRAWN: DPM/HTT



NO.	DESCRIPTION	REVISION APPROVED BY		DATE	
		REV. BY	APPROVED	DATE	DATE

- LEGEND**
- AP ASPHALT PAD
 - APPROX. LOC. APPROXIMATE LOCATION
 - BS BRICK STOOP
 - CA CONCRETE APRON
 - CAN CANOPY
 - CLF CHAINLINK FENCE
 - COL COLUMN
 - CONC CONCRETE
 - CONC CONCRETE PAD
 - CR CONCRETE RAMP
 - CS CONCRETE STOOP
 - CW CONCRETE WALKWAY
 - CWD COVERED WOODEN DECK
 - DB DEED BOOK
 - EC EDGE OF CONCRETE
 - ELP ELECTRIC PANEL
 - EM ELECTRIC METER
 - EP EDGE OF PAVEMENT
 - EWD ELEVATED WOODEN DECK
 - FC HEADER CURB
 - FF FINISH FLOOR ELEVATION
 - FP FLAG POLE
 - GM GAS METER
 - GV GAS VALVE
 - HW HEADWALL
 - INV INVERT
 - IPF IRON PIN FOUND (PROP. CORNER)
 - IPS IRON PIN SET (PROP. CORNER)
 - MB MAILBOX (PRIVATE)
 - MS METAL STOOP
 - N/F NOW OR FORMERLY
 - NID NETWORK INTERFACE DEVICE
 - NS NAIL SET (PROP. CORNER)
 - OH OVERHANG
 - OT OIL TANK
 - PG PAGE
 - PKF NAIL FOUND (PROP. CORNER)
 - RC ROLLED ASPHALT CURB
 - RCP REINFORCED CONCRETE PIPE
 - RD ROOF DRAIN
 - RET RETAINING WALL
 - RPA RESOURCE PROTECTION AREA
 - SH SHED
 - SD STORM SEWER STRUCTURE
 - SMH SANITARY SEWER STRUCTURE
 - SN SIGN
 - SQ.FT. SQUARE FEET
 - SW SIDEWALK
 - VL TELECOMM VAULT
 - WD WOODEN DECK
 - WDF WOODEN FENCE
 - WM WATER METER
 - WV WATER VALVE
 - FIRE HYDRANT
 - DOORWAY/ENTRANCE
 - UTILITY POLE
 - LIGHT POLE
 - FENCE
 - GUY WIRE
 - OVERHEAD WIRES
 - UNDERGROUND ELECTRIC LINE
 - UNDERGROUND GAS LINE
 - UNDERGROUND SANITARY LINE
 - UNDERGROUND SANITARY LATERAL LINE
 - UNDERGROUND TELECOMMUNICATIONS LINE
 - UNDERGROUND WATER LINE
 - TREE
 - LIMITS OF TREE CANOPY/VEGETATION
 - CURB AND GUTTER
 - BOLLARD
 - SPOT ELEVATION
 - SIGN
 - ELECTRIC MANHOLE
 - TELECOMM MANHOLE
 - UNKNOWN MANHOLE



SANITARY SEWER AS-BUILT

SMH 1307	MANHOLE TOP =	369.57
	6" LATERAL IN (N. WEST) =	366.67
	3" LATERAL IN (NORTH) =	366.52
	LATERAL IN (N. EAST) =	366.57
	8" INV OUT (SMH 2458) =	366.27
SMH 2458	MANHOLE TOP =	373.13
	8" INV IN (SMH 1307) =	366.05
	INV OUT (S. WEST) =	366.00

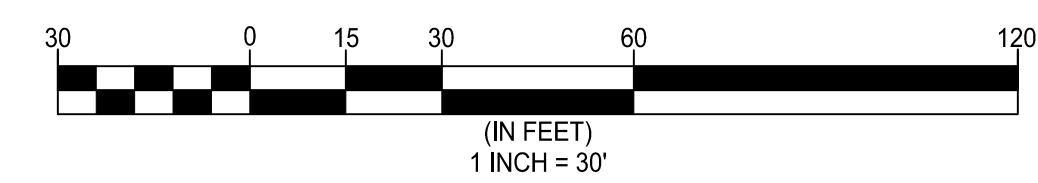
PIPE SIZES FROM RECORD INFORMATION

STORM SEWER AS-BUILT

SD 2370	GRATE TOP =	360.26
	42" RCP IN (S. WEST) =	354.57
	42" RCP OUT (N. EAST) =	354.54
SD 2041	GRATE TOP =	370.80
	INACCESSIBLE DUE TO MATERIALS ON STRUCTURE	
SD 1847	GRATE TOP =	370.93
	8" RCP OUT (N. WEST) =	369.55
SD 1049	CURB INLET TOP =	353.23
	15" RCP IN (S. EAST) =	348.38
	24" RCP OUT (SD 2444) =	348.28
SD 2439	CURB INLET TOP =	348.51
	18" RCP OUT (SD 2446) =	345.31

CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD	CHORD BEARING
C1	5,769.58'	69.47'	0°41'24"	34.74'	69.47'	S64°32'49"W



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NO.	DESCRIPTION	DATE	REV. BY	APPROVED

EXISTING CONDITIONS PLAN

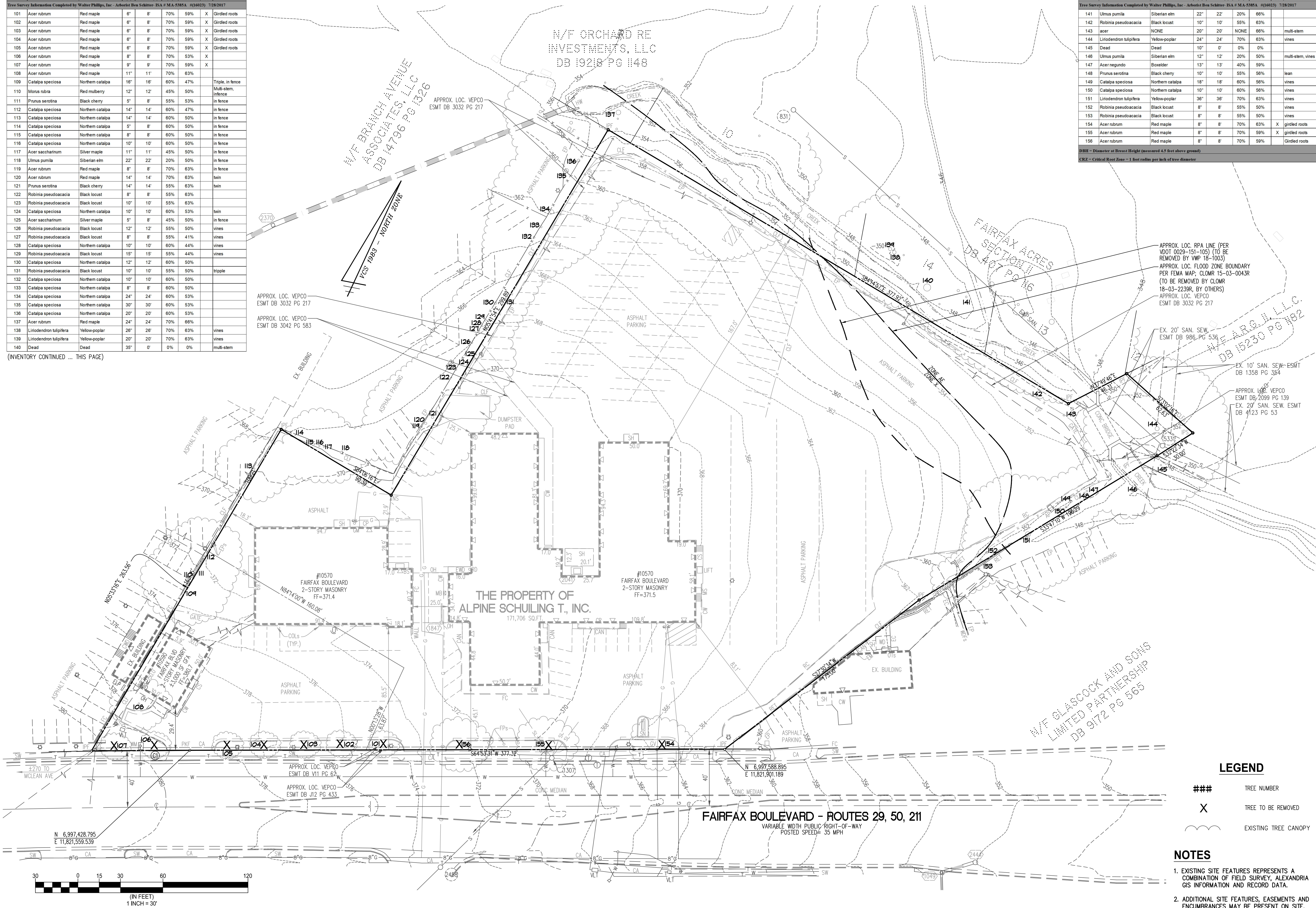
SPECIAL USE PLAN
BROWN'S FAIRFAX MAZDA
 CITY OF FAIRFAX, VIRGINIA

Tree #	Botanical Name	Common Name	Size DBH (in)	Critical Root Zone (CRZ) Radius (ft)	Species Rating (%)	Condition %	Removal	Notes
101	Acer rubrum	Red maple	6"	8'	70%	59%	X	Girdled roots
102	Acer rubrum	Red maple	6"	8'	70%	59%	X	Girdled roots
103	Acer rubrum	Red maple	6"	8'	70%	59%	X	Girdled roots
104	Acer rubrum	Red maple	6"	8'	70%	59%	X	Girdled roots
105	Acer rubrum	Red maple	6"	8'	70%	59%	X	Girdled roots
106	Acer rubrum	Red maple	8"	8'	70%	53%	X	
107	Acer rubrum	Red maple	9"	9'	70%	59%	X	
108	Acer rubrum	Red maple	11"	11'	70%	63%		
109	Catalpa speciosa	Northern catalpa	16"	16'	60%	47%		Triple in fence
110	Morus rubra	Red mulberry	12"	12'	45%	50%		Multi-stem, infence
111	Prunus serotina	Black cherry	5"	8'	55%	53%		in fence
112	Catalpa speciosa	Northern catalpa	14"	14'	60%	47%		in fence
113	Catalpa speciosa	Northern catalpa	14"	14'	60%	50%		in fence
114	Catalpa speciosa	Northern catalpa	5"	8'	60%	50%		in fence
115	Catalpa speciosa	Northern catalpa	8"	8'	60%	50%		in fence
116	Catalpa speciosa	Northern catalpa	10"	10'	60%	50%		in fence
117	Acer saccharinum	Silver maple	11"	11'	45%	50%		in fence
118	Ulmus pumila	Siberian elm	22"	22'	20%	50%		in fence
119	Acer rubrum	Red maple	8"	8'	70%	63%		in fence
120	Acer rubrum	Red maple	14"	14'	70%	63%		hain
121	Prunus serotina	Black cherry	14"	14'	55%	63%		hain
122	Robinia pseudoacacia	Black locust	8"	8'	55%	63%		
123	Robinia pseudoacacia	Black locust	10"	10'	55%	63%		
124	Catalpa speciosa	Northern catalpa	10"	10'	60%	53%		twin
125	Acer saccharinum	Silver maple	5"	8'	45%	50%		in fence
126	Robinia pseudoacacia	Black locust	12"	12'	55%	50%		vines
127	Robinia pseudoacacia	Black locust	8"	8'	55%	41%		vines
128	Catalpa speciosa	Northern catalpa	10"	10'	60%	44%		vines
129	Robinia pseudoacacia	Black locust	15"	15'	55%	44%		vines
130	Catalpa speciosa	Northern catalpa	12"	12'	60%	50%		
131	Robinia pseudoacacia	Black locust	10"	10'	55%	50%		tripple
132	Catalpa speciosa	Northern catalpa	10"	10'	60%	50%		
133	Catalpa speciosa	Northern catalpa	8"	8'	60%	50%		
134	Catalpa speciosa	Northern catalpa	24"	24'	60%	53%		
135	Catalpa speciosa	Northern catalpa	30"	30'	60%	53%		
136	Catalpa speciosa	Northern catalpa	20"	20'	60%	53%		
137	Acer rubrum	Red maple	24"	24'	70%	66%		
138	Liriodendron tulipifera	Yellow-poplar	26"	26'	70%	63%		vines
139	Liriodendron tulipifera	Yellow-poplar	20"	20'	70%	63%		vines
140	Dead		35"	0'	0%	0%		multi-stem

(INVENTORY CONTINUED ... THIS PAGE)

Tree #	Botanical Name	Common Name	Size DBH (in)	Critical Root Zone (CRZ) Radius (ft)	Species Rating (%)	Condition %	Removal	Notes
141	Ulmus pumila	Siberian elm	22"	22'	20%	66%		
142	Robinia pseudoacacia	Black locust	10"	10'	55%	63%		
143	acer	NCNE	20"	20'	NONE	66%		multi-stem
144	Liriodendron tulipifera	Yellow-poplar	24"	24'	70%	63%		vines
145	Dead		10"	0'	0%	0%		
146	Ulmus pumila	Siberian elm	12"	12'	20%	50%		multi-stem, vines
147	Acer negundo	Boxelder	13"	13'	40%	59%		
148	Prunus serotina	Black cherry	10"	10'	55%	56%		lean
149	Catalpa speciosa	Northern catalpa	18"	18'	60%	56%		vines
150	Catalpa speciosa	Northern catalpa	10"	10'	60%	56%		vines
151	Liriodendron tulipifera	Yellow-poplar	36"	36'	70%	63%		vines
152	Robinia pseudoacacia	Black locust	8"	8'	55%	50%		vines
153	Robinia pseudoacacia	Black locust	8"	8'	55%	50%		vines
154	Acer rubrum	Red maple	8"	8'	70%	63%	X	girdled roots
155	Acer rubrum	Red maple	8"	8'	70%	59%	X	girdled roots
156	Acer rubrum	Red maple	8"	8'	70%	59%		Girdled roots

DBH = Diameter at Breast Height (measured 4.5 feet above ground)
 CRZ = Critical Root Zone = 1 foot radius per inch of tree diameter

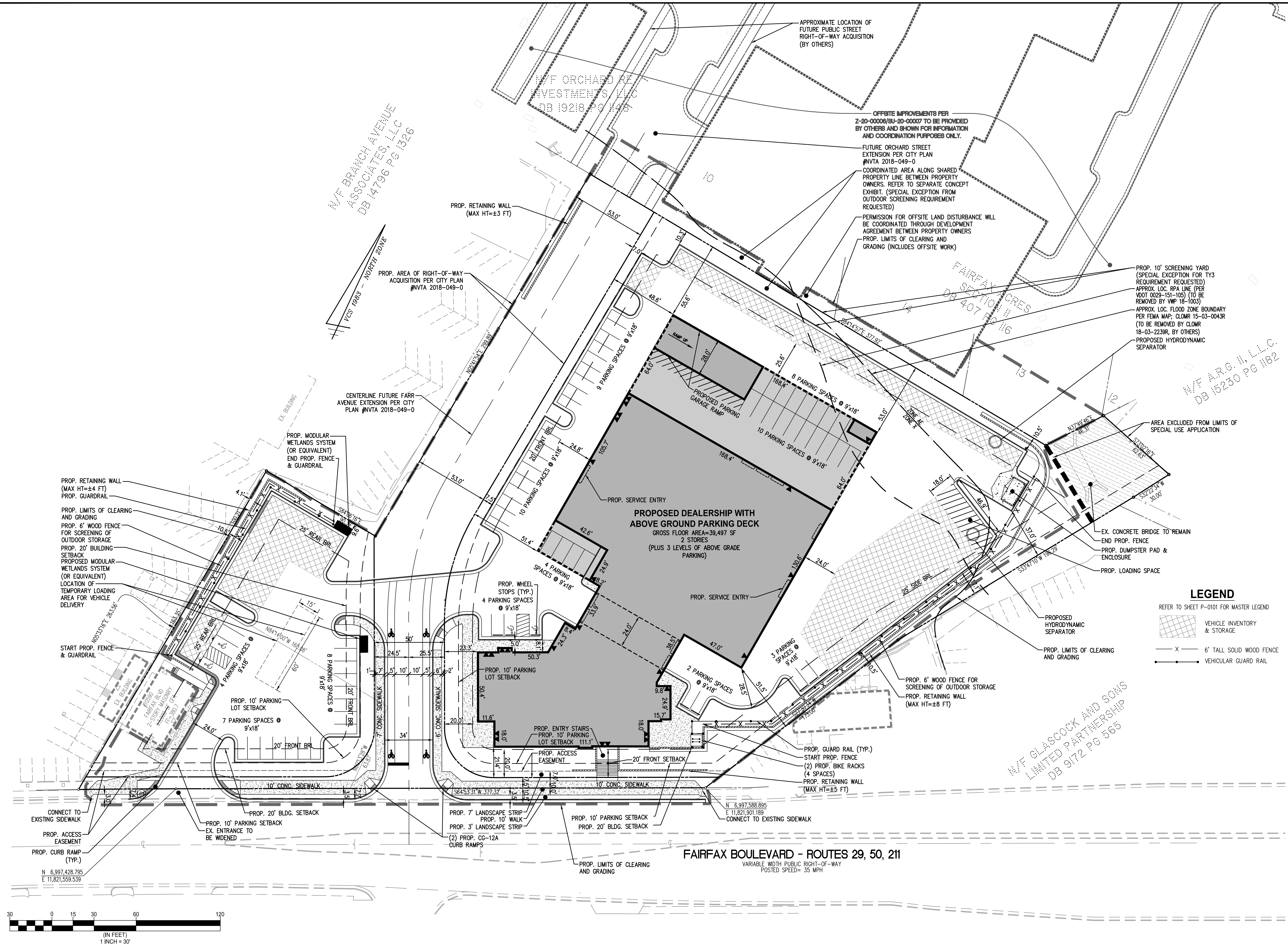


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 WWW.WLPINC.COM
 ESTABLISHED 1945
 DATE: 03/03/2020
 SCALE: 1" = 30'

NO.	DESCRIPTION	DATE	REV. BY	APPROVED	DATE

EXISTING VEGETATION PLAN
SPECIAL USE PLAN
BROWN'S FAIRFAX MAZDA
 CITY OF FAIRFAX, VIRGINIA

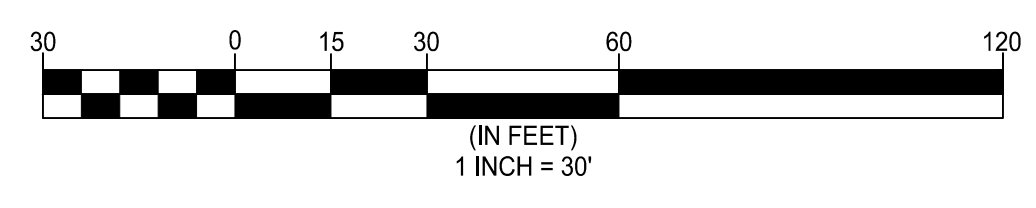
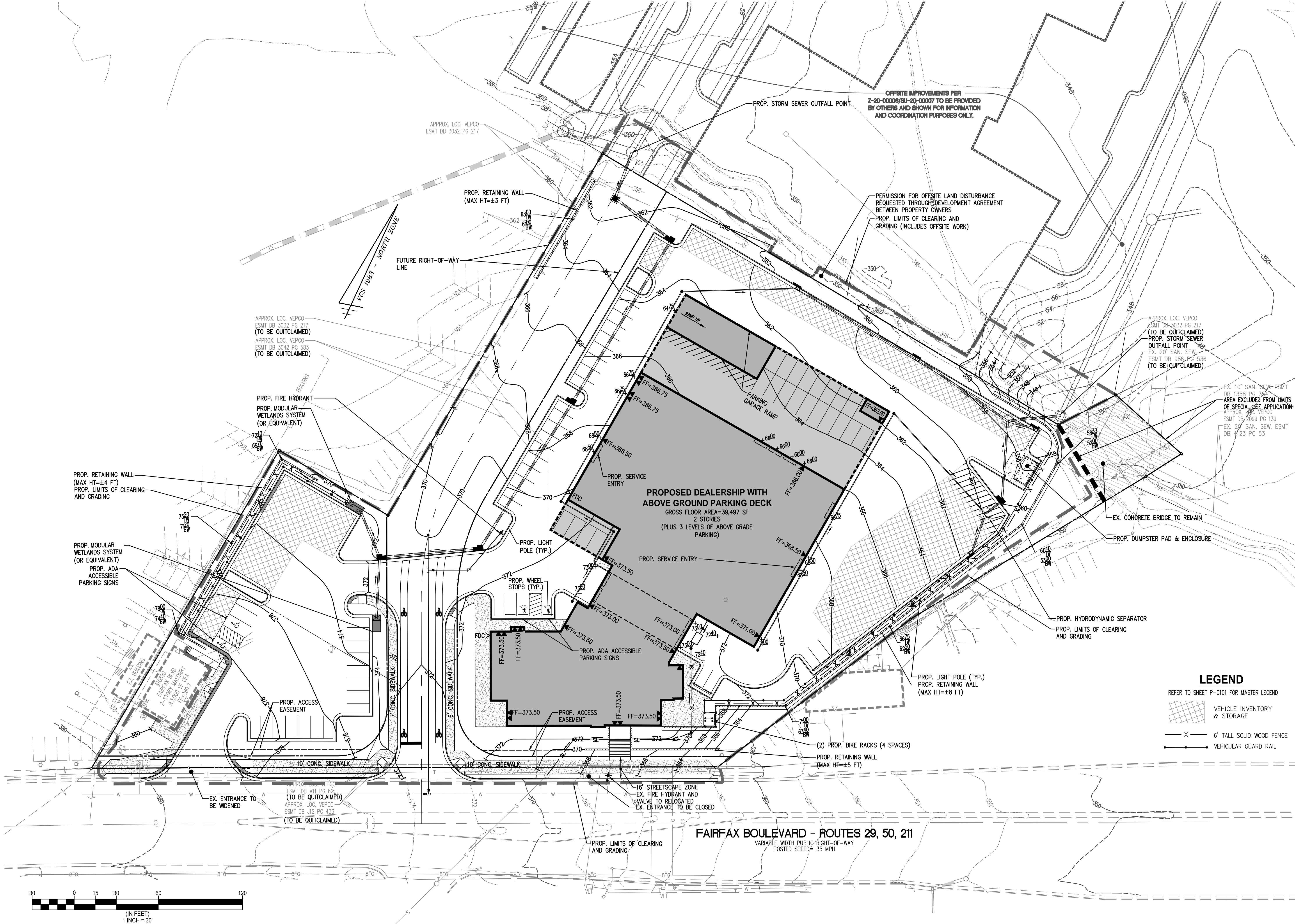
- LEGEND**
- ### TREE NUMBER
 - X TREE TO BE REMOVED
 - () EXISTING TREE CANOPY
- NOTES**
1. EXISTING SITE FEATURES REPRESENTS A COMBINATION OF FIELD SURVEY, ALEXANDRIA GIS INFORMATION AND RECORD DATA.
 2. ADDITIONAL SITE FEATURES, EASEMENTS AND ENCUMBRANCES MAY BE PRESENT ON SITE.



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SPECIAL USE PLAN
SPECIAL USE PLAN
BROWN'S FAIRFAX MAZDA
 CITY OF FAIRFAX, VIRGINIA



LEGEND
REFER TO SHEET P-0101 FOR MASTER LEGEND

	VEHICLE INVENTORY & STORAGE
	6' TALL SOLID WOOD FENCE
	VEHICULAR GUARD RAIL

PRELIMINARY UTILITY AND GRADING PLAN

SPECIAL USE PLAN
BROWN'S FAIRFAX MAZDA
CITY OF FAIRFAX, VIRGINIA

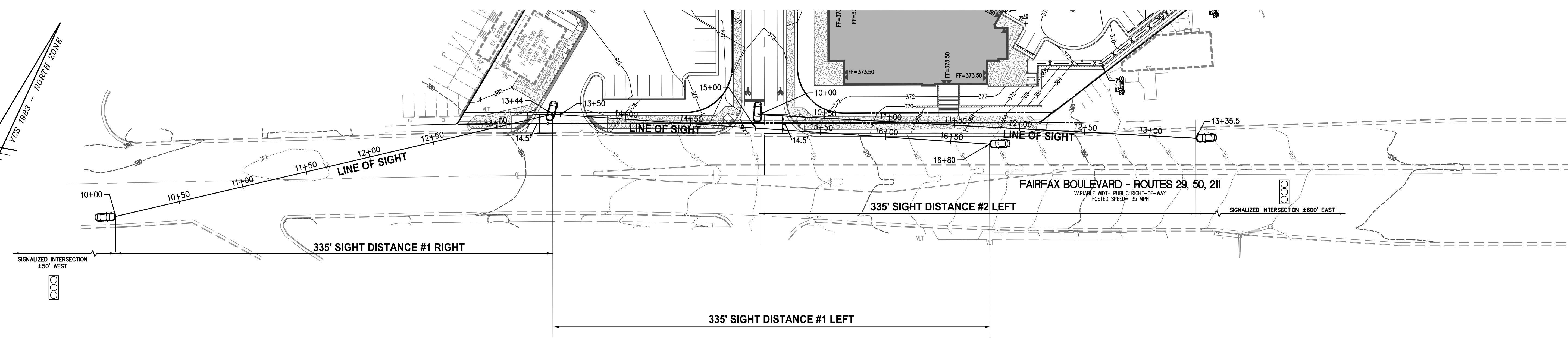
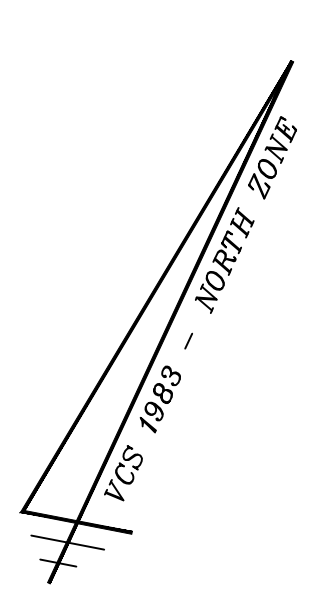
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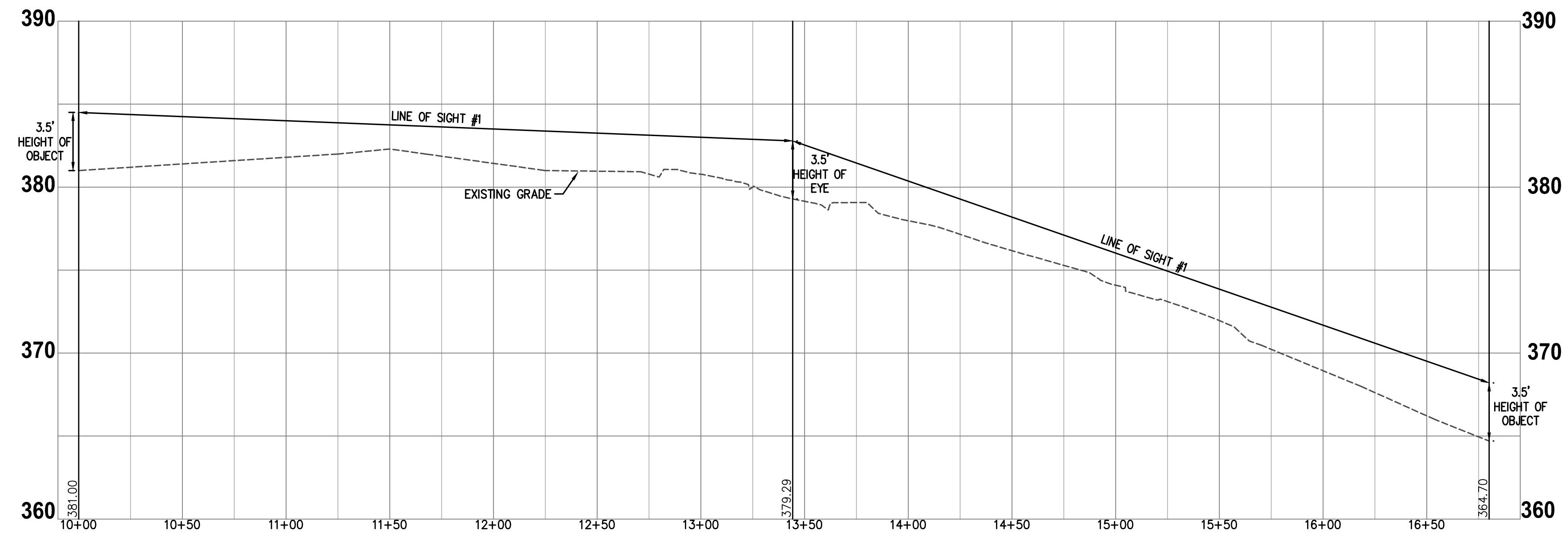
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DATE: 03/03/2020
SCALE: 1" = 30'
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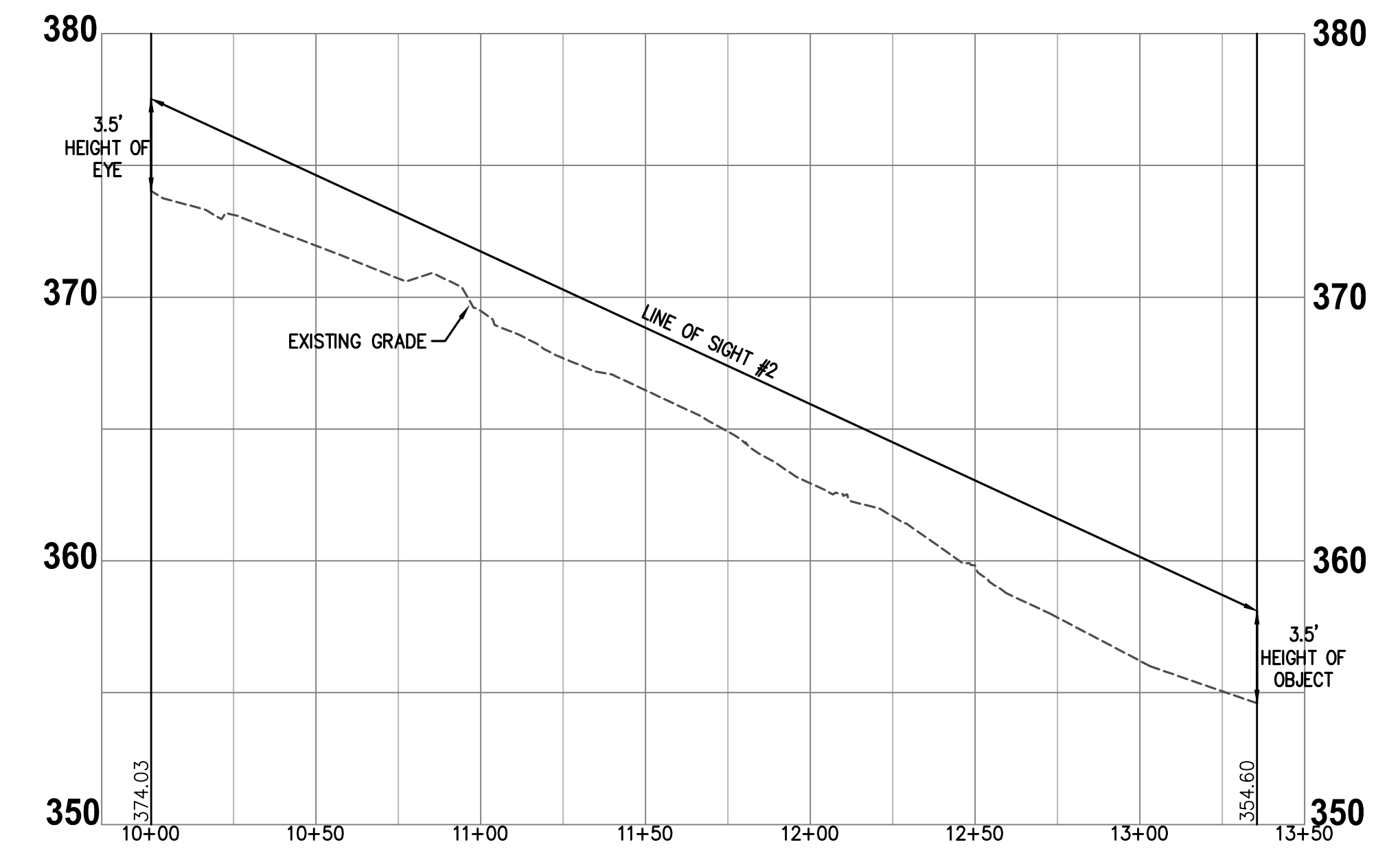
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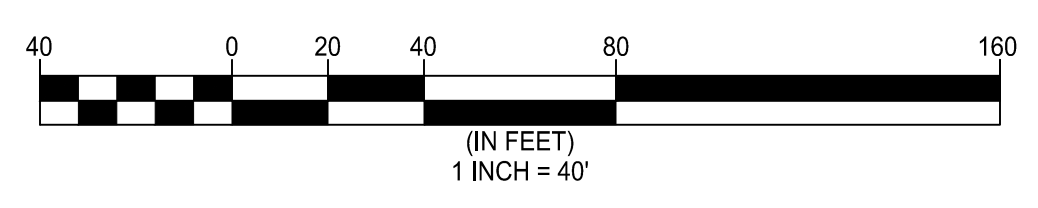
PLAN VIEW
 SCALE: 1"=40'
 POSTED SPEED = 35 MPH
 DESIGN SPEED = 35 MPH
 SIGHT DISTANCE = 335'



PROFILE VIEW #1
 SCALE: 1"=40' (H)
 1"=5' (V)



PROFILE VIEW #2
 SCALE: 1"=40' (H)
 1"=5' (V)



NOTE
 1. EXISTING SITE FEATURES REPRESENTS A COMBINATION OF FIELD SURVEY, GIS INFORMATION AND RECORD DATA.

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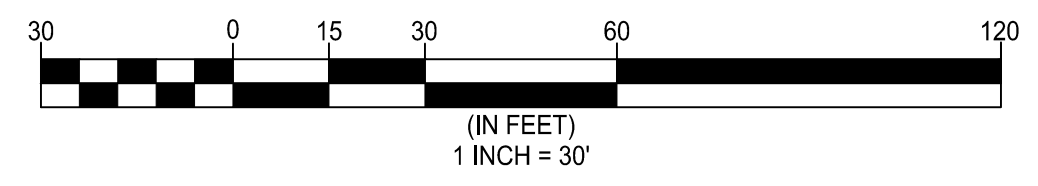
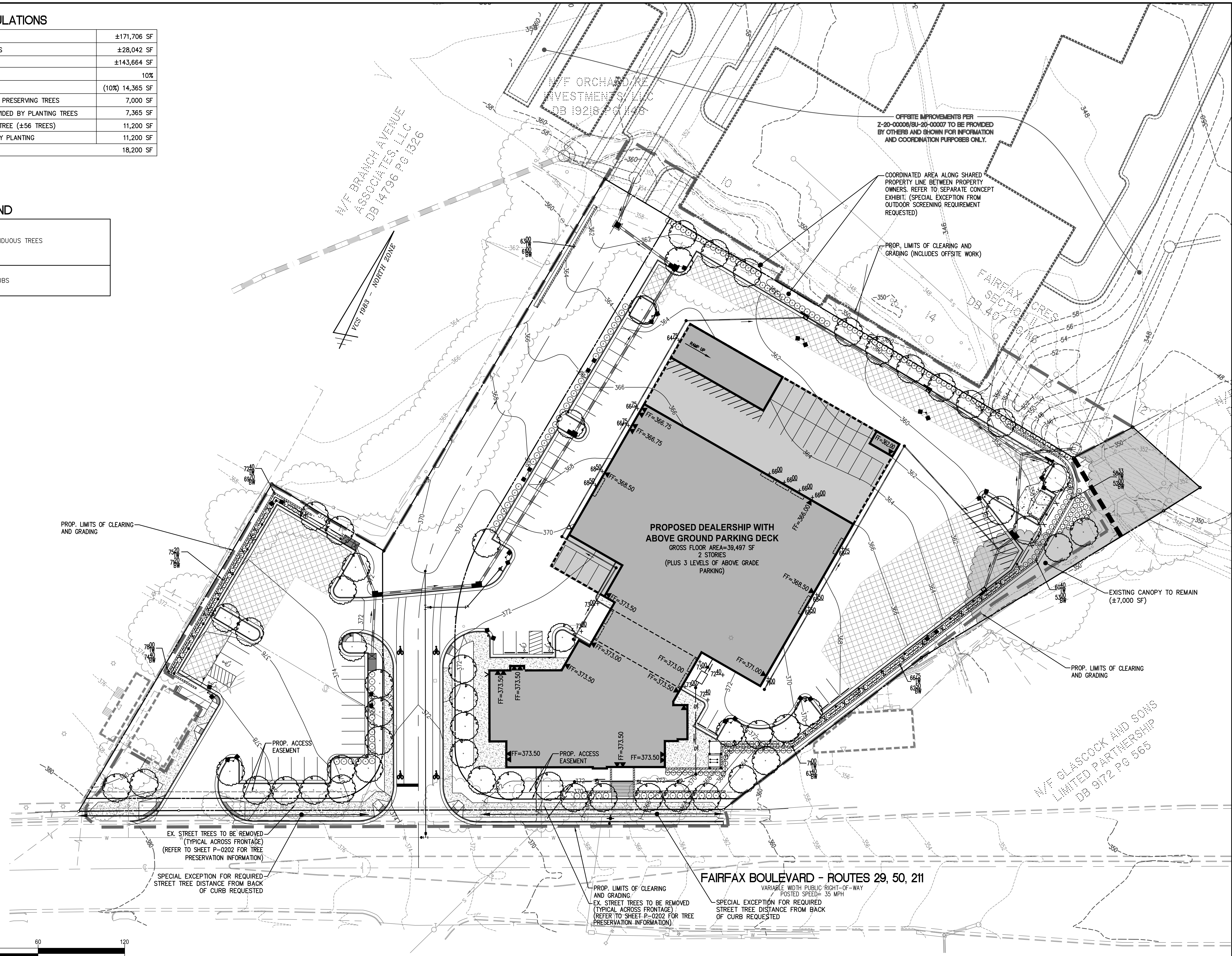
ENTRANCE SIGHT DISTANCE PLAN & PROFILE
SPECIAL USE PLAN
BROWN'S FAIRFAX MAZDA
 CITY OF FAIRFAX, VIRGINIA

TREE COVER CALCULATIONS

SITE AREA	±171,706 SF
- R.O.W. ACQUISITION DEDUCTIONS	±28,042 SF
TOTAL REMAINING SITE AREA	±143,664 SF
X % REQUIRED (ZONING - CR)	10%
= TREE COVER TO BE PROVIDED	(10%) 14,365 SF
TREE COVER TO BE PROVIDED BY PRESERVING TREES	7,000 SF
TREE COVER NEEDED TO BE PROVIDED BY PLANTING TREES	7,365 SF
DECIDUOUS TREE @ 200 SF PER TREE (±56 TREES)	11,200 SF
ACTUAL TREE COVER PROVIDED BY PLANTING	11,200 SF
TOTAL TREE COVER PROVIDED	18,200 SF

LANDSCAPE LEGEND

	PROPOSED DECIDUOUS TREES
	PROPOSED SHRUBS



Engineers • Surveyors • Planners
Landscape Architects • Arborists

WALTER L. PHILLIPS
INCORPORATED ESTABLISHED 1945

FALLS CHURCH, VIRGINIA 22046
(703) 532-6163 Fax (703) 533-1301
www.WLPHINC.com

DATE: 03/03/2020
SCALE: 1" = 30'

DRAWN: DPM/HTT
CHECKED: AV

NO.	DESCRIPTION	DATE	REV. BY	APPROVED	DATE

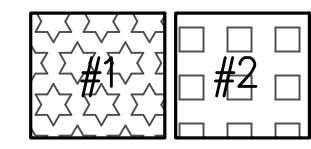
CONCEPTUAL LANDSCAPE PLAN

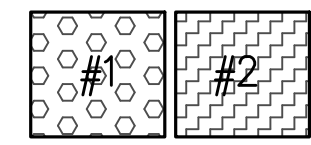
SPECIAL USE PLAN

BROWN'S FAIRFAX MAZDA

CITY OF FAIRFAX, VIRGINIA

LEGEND


TOTAL AREA TO HYDRODYNAMIC SEPARATOR (1.68 AC)
 H.S. #1 = 1.16 AC
 H.S. #2 = 0.52 AC


TOTAL AREA TO MODULAR WETLAND SYSTEM LINEAR (0.42 AC)
 M.W.S. #1 = 0.27 AC
 M.W.S. #2 = 0.15 AC


OUTFALL 1 DRAINAGE AREA (3.47 AC)


OUTFALL 2 DRAINAGE AREA (0.44 AC)

PROPOSED MODULAR WETLAND SYSTEMS - LINEAR #1

PROPOSED MODULAR WETLAND SYSTEMS - LINEAR #2

PROPOSED DEALERSHIP WITH ABOVE GROUND PARKING DECK
 GROSS FLOOR AREA=39,497 SF
 2 STORIES
 (PLUS 3 LEVELS OF ABOVE GRADE PARKING)

PROPOSED HYDRODYNAMIC SEPARATOR #2
OUTFALL 1
 (CONNECTION TO OFFSITE STORM SYSTEM CONSTRUCTED BY OTHERS)

AREA TO OUTFALL 1
A = 3.47 AC
CN = 94

PROPOSED HYDRODYNAMIC SEPARATOR #1

AREA TO OUTFALL 2
A = 0.44 AC
CN = 90

OUTFALL 2

FAIRFAX BOULEVARD - ROUTES 29, 50, 211
 VARIABLE WIDTH PUBLIC RIGHT-OF-WAY
 POSTED SPEED= 35 MPH

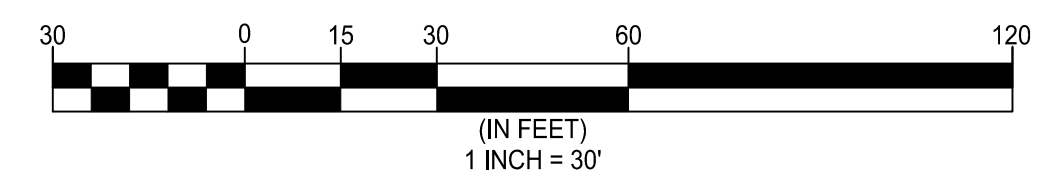
OFFSITE IMPROVEMENTS PER Z-20-00008/SU-20-00007 TO BE PROVIDED BY OTHERS AND SHOWN FOR INFORMATION AND COORDINATION PURPOSES ONLY.

PROP. LIMITS OF CLEARING AND GRADING (INCLUDES OFFSITE WORK)

PROP. LIMITS OF CLEARING AND GRADING

PROP. LIMITS OF CLEARING AND GRADING

PROP. LIMITS OF CLEARING AND GRADING



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STORMWATER MANAGEMENT PLAN
SPECIAL USE PLAN
BROWN'S FAIRFAX MAZDA
 CITY OF FAIRFAX, VIRGINIA

OUTFALL ANALYSIS NARRATIVE

1. THE EXISTING SITE DRAINS TO TWO STORMWATER OUTFALLS (REFER TO PLAN ON SHEET P-0501) AS FOLLOWS:
 - 1.1. OUTFALL 1 – MUCH OF THE SITE DRAINS NORTHWARD INTO AN EXISTING STREAM THAT IS LOCATED JUST NORTH OF THE PROPERTY'S NORTHERN PROPERTY LINE. THIS STREAM IS A TRIBUTARY OF THE UPPER REACHES OF ACCOTINK CREEK.
 - 1.2. OUTFALL 2 – RUNOFF FROM THE SOUTHERN PORTION OF THE SITE SHEET FLOWS INTO FAIRFAX BOULEVARD'S GUTTER. THIS RUNOFF THEN FLOWS EASTWARD UNTIL IT JOINS THE OUTFALL 1 RUNOFF IN THE ACCOTINK CREEK TRIBUTARY.
2. AFTER THE PROPOSED REDEVELOPMENT, SITE RUNOFF WILL CONTINUE TO DRAIN TO THE SAME TWO OUTFALLS WITH NO CHANGE TO THE SIZE OF EACH OUTFALL'S DRAINAGE AREA. RUNOFF TO THE STREAM ON THE NORTH SIDE (OUTFALL 1) WILL BE COLLECTED IN PROPOSED CURB INLETS AND CONVEYED VIA PROPOSED STORM SEWERS TO THE EXISTING STREAM. OUTFALL 2 RUNOFF WILL CONTINUE TO FLOW TO THE FAIRFAX BOULEVARD GUTTER AS SHEET FLOW. RUNOFF TO BOTH OUTFALLS WILL BE REDUCED DUE TO THE DECREASE IN SITE IMPERVIOUSNESS.

STORMWATER MANAGEMENT AND BEST MANAGEMENT PRACTICES NARRATIVES

1. THE EXISTING SITE CURRENTLY SERVES AS A MOTOR VEHICLE SALES AND SERVICE ESTABLISHMENT AND IT IS HIGHLY IMPERVIOUS. THE EXISTING SITE HAS NO STORMWATER MANAGEMENT OR WATER QUALITY FACILITIES. ALMOST THE ENTIRE PROPERTY WILL BE RECONSTRUCTED WITH THE PROPOSED REDEVELOPMENT PROJECT. THIS WILL RESULT IN A NET DECREASE IN OVERALL IMPERVIOUS AREA.
2. ACCORDING TO CITY CODE, THE STORMWATER QUANTITY REQUIREMENTS ARE AS FOLLOWS:
 - 2.1. BECAUSE THE SITE STORMWATER OUTFALLS INCLUDE A NATURAL STREAM THE CHANNEL PROTECTION REQUIREMENT IS TO REDUCE THE SITE RUNOFF FOR A 1-YEAR STORM BY AN AMOUNT DETERMINED USING AN ENERGY BALANCE EQUATION. A TABULATION CAN BE FOUND ON THIS SHEET WHICH SUMMARIZES THE STORMWATER RUNOFF DATA AND ALLOWABLE SITE PEAK RUNOFF RATES. USING THE ENERGY BALANCE EQUATION, THE ALLOWABLE PEAK RUNOFF RATE FOR THE 1-YEAR STORM IS 10.01 CFS. EVEN WITHOUT STORMWATER DETENTION, THE POST-DEVELOPMENT SITE PEAK RUNOFF RATE WILL BE REDUCED TO LESS THAN ALLOWABLE WITH A RATE OF 9.99 CFS DUE TO THE PROPOSED REDUCTION IN SITE IMPERVIOUSNESS.
 - 2.2. THE FLOOD PROTECTION REQUIREMENT WILL BE MET WITH THE PROPOSED REDUCTION IN THE PEAK RUNOFF RATE FOR THE 10-YEAR STORM, AGAIN DUE TO THE REDUCTION IN IMPERVIOUSNESS.
3. THE STORMWATER QUALITY (BMP) REQUIREMENT HAS BEEN DETERMINED USING THE VIRGINIA RUNOFF REDUCTION METHOD SPREADSHEET ISSUED BY THE VIRGINIA DEQ. A COPY OF THE COMPLETED SPREADSHEET CAN BE FOUND ON SHEET P-0503. THIS SPREADSHEET SHOWS THAT 0.62 POUNDS OF PHOSPHOROUS PER YEAR MUST BE REMOVED FROM THE SITE RUNOFF. THIS REQUIREMENT WILL BE MET THROUGH THE USE OF TWO HYDRODYNAMIC SEPARATORS AND TWO MODULAR WETLAND SYSTEM – LINEAR BMP STRUCTURES (OR SIMILAR). REFER TO SHEET P-0501 FOR A PLAN SHOWING THEIR LOCATIONS AND DRAINAGE AREAS. REFER TO SHEET P-0504 FOR DETAILS OF THESE PROPOSED WATER QUALITY DEVICES. IN LIEU OF THE MODULAR WETLAND SYSTEM STRUCTURES, THE APPLICANT MAY CHOSE TO USE TWO FILTERRA BMP STRUCTURES. THE FILTERRAS HAVE THE SAME PHOSPHOROUS REMOVAL EFFICIENCY, WOULD BE LOCATED IN THE SAME LOCATIONS, WOULD HAVE THE SAME PLANTS, AND WOULD FUNCTION THE SAME AS THE MODULAR WETLAND STRUCTURES.

STORMWATER MANAGEMENT DATA AND CALCULATIONS

PRE-DEVELOPMENT							
DRAINAGE AREA	TOTAL AREA (AC)	IMPERVIOUS AREA (AC)	LANDSCAPED OR TURF (AC)	CN	1-YR RUNOFF VOLUME (CF)	PEAK FLOWS Q (1)	
						1 YEAR (CFS)	10 YEAR (CFS)
OUT FALL 1 (TO STREAM)	3.47	3.27	0.2	97			
OUTFALL 2 (TO FAIRFAX BOULEVARD)	0.44	0.38	0.06	96			
SITE TOTALS	3.91	3.65	0.26	97	33,405	10.88	20.72

POST-DEVELOPMENT							
DRAINAGE AREA	TOTAL AREA (AC)	IMPERVIOUS AREA (AC)	LANDSCAPED OR TURF (AC)	CN	1-YR RUNOFF VOLUME (CF)	PEAK FLOWS Q (1)	
						1 YEAR (CFS)	10 YEAR (CFS)
OUTFALL 1 (TO STREAM)	3.47	2.79	0.68	94			
OUTFALL 2 (FAIRFAX BOULEVARD)	0.44	0.24	0.20	90			
SITE TOTALS	3.91	3.03	0.88	94	29,042	9.99	20.07
					ALLOWABLE SITE RUNOFF (2)	10.01	20.72

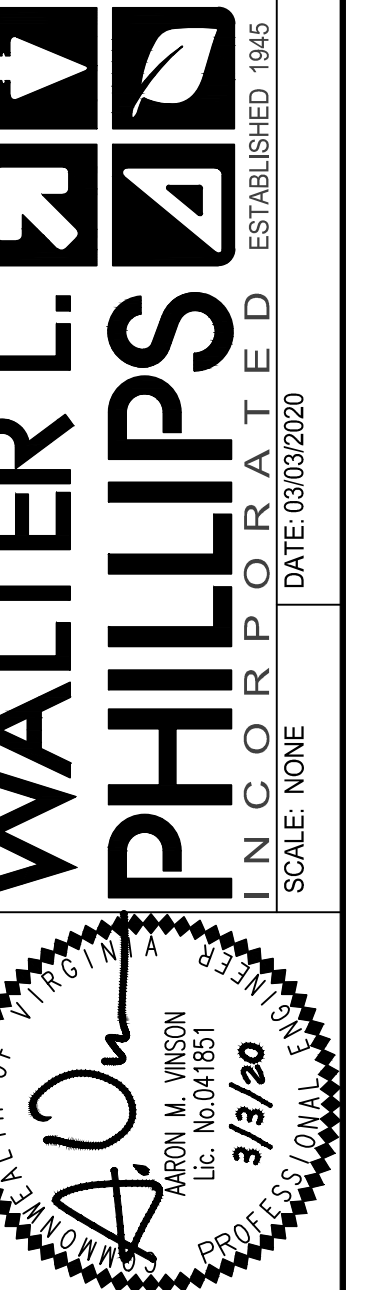
FOOTNOTES:
 (1) PEAK FLOWS AND RUNOFF VOLUMES OBTAINED FROM HYDRAFLOW SOFTWARE. REFER TO HYDROGRAPHS FOUND ON SHEET P-0504.
 (2) OUTFALL INCLUDES A STREAM SO ALLOWABLE Q1 IS $Q_{1S} = (IF = .8) \{ (Q_{PREDEV} \times RV_{PREDEV}) / RV_{DEV} \}$. ALLOWABLE Q10 IS PRE-DEVELOPMENT VALUE.

NOTES

1. THE POST-DEVELOPMENT CONDITIONS REFLECT THE IMPROVEMENTS SHOWN ON THIS PLAN AND INCLUDE THE IMPERVIOUS AREA ASSOCIATED WITH THE INTERIM PARKING SPACES.
2. INFORMATION PROVIDED ON THIS SHEET IS PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL DESIGN.
3. ALTERNATIVE BMPS MAY BE PROVIDED SO LONG AS REQUIREMENTS OF THE DEQ VRRM SPREADSHEET ARE MET.

STORMWATER MANAGEMENT COMPUTATIONS AND NARRATIVES

**SPECIAL USE PLAN
BROWN'S FAIRFAX MAZDA
CITY OF FAIRFAX, VIRGINIA**



WALTER L. PHILLIPS
 ENGINEERS • Surveyors • Planners
 Landscape Architects • Arborists
 207 PARK AVENUE
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 (703) 532-6163 Fax (703) 533-1301
 www.WLPINC.com
 ESTABLISHED 1945
 INDEPENDENT
 DATE: 03/03/2020
 SCALE: NONE
 DRAWN: DPM/HTT
 CHECKED: AV

NO.	DESCRIPTION	DATE	REVISION APPROVED BY	
			REV. BY	APPROVED

Project Name: **BROWN'S FAIRFAX MAZDA**
 Date: **2/28/2020**
 Linear Development Project? **No**

CLEAR ALL
 (Ctrl+Shift+R)

data input cells
 constant values
 calculation cells
 final results

Site Information

Post-Development Project (Treatment Volume and Loads)

Enter Total Disturbed Area (acres) → **3.91**

Maximum reduction required: **20%**
 The site's net increase in impervious cover (acres) is: **0**
 Post-Development TP Load Reduction for Site (lb/yr): **0.62**

Check:
 BMP Design Specifications List: **2013 Draft Stds & Specs**
 Linear project? **No**
 Land cover areas entered correctly? **✓**
 Total disturbed area entered? **✓**

Pre-Development Land Cover (acres)

	A Soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) -- undisturbed, protected forest/open space or reforested					0.00
Managed Turf (acres) -- disturbed, graded for yards or other turf to be				0.26	0.26
Impervious Cover (acres)				3.65	3.65
					3.91

Post-Development Land Cover (acres)

	A Soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) -- undisturbed, protected forest/open space or reforested					0.00
Managed Turf (acres) -- disturbed, graded for yards or other turf to be				0.88	0.88
Impervious Cover (acres)				3.03	3.03
Area Check	OK.	OK.	OK.	OK.	3.91

Constants

Annual Rainfall (inches)	43
Target Rainfall Event (inches)	1.00
Total Phosphorus (TP) EMC (mg/L)	0.26
Total Nitrogen (TN) EMC (mg/L)	1.86
Target TP Load (lb/acre/yr)	0.41
Pj (unitless correction factor)	0.90

Runoff Coefficients (Rv)

	A Soils	B Soils	C Soils	D Soils
Forest/Open Space	0.02	0.03	0.04	0.05
Managed Turf	0.15	0.20	0.22	0.25
Impervious Cover	0.95	0.95	0.95	0.95

LAND COVER SUMMARY -- PRE-REDEVELOPMENT

Land Cover Summary-Pre		
Pre-Development	Listed	Adjusted ¹
Forest/Open Space Cover (acres)	0.00	0.00
Weighted Rv(forest)	0.00	0.00
% Forest	0%	0%
Managed Turf Cover (acres)	0.26	0.26
Weighted Rv(turf)	0.25	0.25
% Managed Turf	7%	7%
Impervious Cover (acres)	3.65	3.65
Rv(impervious)	0.95	0.95
% Impervious	93%	93%
Total Site Area (acres)	3.91	3.91
Site Rv	0.90	0.90

LAND COVER SUMMARY -- POST DEVELOPMENT

Land Cover Summary-Post (Final)			
Post Re Dev. & New Impervious		Post-Development New Impervious	
Forest/Open Space Cover (acres)	0.00	Forest/Open Space Cover (acres)	0.00
Weighted Rv(forest)	0.00	Weighted Rv(forest)	0.00
% Forest	0%	% Forest	0%
Managed Turf Cover (acres)	0.88	Managed Turf Cover (acres)	0.88
Weighted Rv (turf)	0.25	Weighted Rv (turf)	0.25
% Managed Turf	23%	% Managed Turf	23%
Impervious Cover (acres)	3.03	ReDev. Impervious Cover (acres)	3.03
Rv(impervious)	0.95	Rv(impervious)	0.95
% Impervious	77%	% Impervious	77%
Final Site Area (acres)	3.91	Total Re Dev. Site Area (acres)	3.91
Final Post Dev Site Rv	0.79	ReDev Site Rv	0.79

Treatment Volume and Nutrient Load

Pre-Development	Final Post-Development
Pre-Development Treatment Volume (acre-ft)	0.2944
Pre-Development Treatment Volume (cubic feet)	12,823
Pre-Development TP Load (lb/yr)	8.06
Pre-Development TP Load per acre (lb/acre/yr)	2.06
Baseline TP Load (lb/yr) (0.41 lbs/acre/yr applied to pre-redevelopment area excluding pervious land proposed for new impervious cover)	1.60

Treatment Volume and Nutrient Load

Post-Development	Final Post-Development
Post-Development Treatment Volume (acre-ft)	0.2582
Post-Development Treatment Volume (cubic feet)	11,248
Post-Development TP Load (lb/yr)*	7.07
Post-Development TP Load per acre (lb/acre/yr)	1.81
Max. Reduction Required (Below Pre-Development Load)	20%

¹ Adjusted Land Cover Summary:
 Pre ReDevelopment land cover minus pervious land cover (forest/open space or managed turf) acreage proposed for new impervious cover.
 Adjusted total acreage is consistent with Post-ReDevelopment acreage (minus acreage of new impervious cover).
 Column 1 shows load reduction requirement for new impervious cover (based on new development load limit, 0.41 lbs/acre/year).

Post-Development Requirement for Site Area

TP Load Reduction Required (lb/yr) **0.62** ← PHOSPHOROUS REDUCTION REQUIRED

Drainage Area A

Drainage Area A Land Cover (acres)	A Soils	B Soils	C Soils	D Soils	Totals	Land Cover Rv
Forest/Open Space (acres)					0.00	0.00
Managed Turf (acres)				0.88	0.88	0.25
Impervious Cover (acres)				3.03	3.03	0.95
Total					3.91	

CLEAR BMP AREAS

Total Phosphorus Available for Removal in D.A. A (lb/yr) **7.07**
 Post Development Treatment Volume in D.A. A (ft³) **11,248**

Practice	Runoff Reduction Credit (%)	Managed Turf Credit Area (acres)	Impervious Cover Credit Area (acres)	Volume from Upstream Practice (ft ³)	Runoff Reduction (ft ³)	Remaining Runoff Volume (ft ³)	Total BMP Treatment Volume (ft ³)	Phosphorus Removal Efficiency (%)	Phosphorus Load from Upstream Practices (lb)	Untreated Phosphorus Load to Practice (lb)	Phosphorus Removed by Practice (lb)	Remaining Phosphorus Load (lb)	Downstream Practice to be Employed
14. Manufactured Treatment Devices (no RR)													
14.a. Manufactured Treatment Device-Hydrodynamic	0	0.08	1.60	0	0	5,590	5,590	20	0.00	3.51	0.70	2.81	
14.b. Manufactured Treatment Device-Filtering	0	0.03	0.39	0	0	1,372	1,372	50	0.00	0.86	0.43	0.43	

TOTAL IMPERVIOUS COVER TREATED (ac) **1.99** AREA CHECK: OK.
 TOTAL MANAGED TURF AREA TREATED (ac) **0.11** AREA CHECK: OK.

TOTAL PHOSPHORUS REMOVAL REQUIRED ON SITE (lb/yr) **0.62**

TOTAL PHOSPHORUS AVAILABLE FOR REMOVAL IN D.A. A (lb/yr) **7.07**
 TOTAL PHOSPHORUS REMOVED WITHOUT RUNOFF REDUCTION PRACTICES IN D.A. A (lb/yr) **1.13** ← PHOSPHOROUS REDUCTION ACHIEVED
 TOTAL PHOSPHORUS REMOVED WITH RUNOFF REDUCTION PRACTICES IN D.A. A (lb/yr) **0.00**
 TOTAL PHOSPHORUS LOAD REDUCTION ACHIEVED IN D.A. A (lb/yr) **1.13**
 TOTAL PHOSPHORUS REMAINING AFTER APPLYING BMP LOAD REDUCTIONS IN D.A. A (lb/yr) **5.93**

Site Results (Water Quality Compliance)

Area Checks	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	AREA CHECK
FOREST/OPEN SPACE (ac)	0.00	0.00	0.00	0.00	0.00	OK.
IMPERVIOUS COVER (ac)	3.03	0.00	0.00	0.00	0.00	OK.
IMPERVIOUS COVER TREATED (ac)	1.99	0.00	0.00	0.00	0.00	OK.
MANAGED TURF AREA (ac)	0.88	0.00	0.00	0.00	0.00	OK.
MANAGED TURF AREA TREATED (ac)	0.11	0.00	0.00	0.00	0.00	OK.
AREA CHECK	OK.	OK.	OK.	OK.	OK.	

Site Treatment Volume (ft³) **11,248**

Runoff Reduction Volume and TP By Drainage Area

	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	TOTAL
RUNOFF REDUCTION VOLUME ACHIEVED (ft ³)	0	0	0	0	0	0
TP LOAD AVAILABLE FOR REMOVAL (lb/yr)	7.07	0.00	0.00	0.00	0.00	7.07
TP LOAD REDUCTION ACHIEVED (lb/yr)	1.13	0.00	0.00	0.00	0.00	1.13
TP LOAD REMAINING (lb/yr)	5.93	0.00	0.00	0.00	0.00	5.93
NITROGEN LOAD REDUCTION ACHIEVED (lb/yr)	0.00	0.00	0.00	0.00	0.00	0.00

Total Phosphorus

FINAL POST-DEVELOPMENT TP LOAD (lb/yr) **7.07**
 TP LOAD REDUCTION REQUIRED (lb/yr) **0.62**
 TP LOAD REDUCTION ACHIEVED (lb/yr) **1.13**
 TP LOAD REMAINING (lb/yr) **5.93**
 REMAINING TP LOAD REDUCTION REQUIRED (lb/yr): **0.00** ** ← COMPLIANCE VERIFICATION
 ** TARGET TP REDUCTION EXCEEDED BY 0.51 LB/YEAR **

BMP SPREADSHEET
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 CITY OF FAIRFAX, VIRGINIA

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NOTES

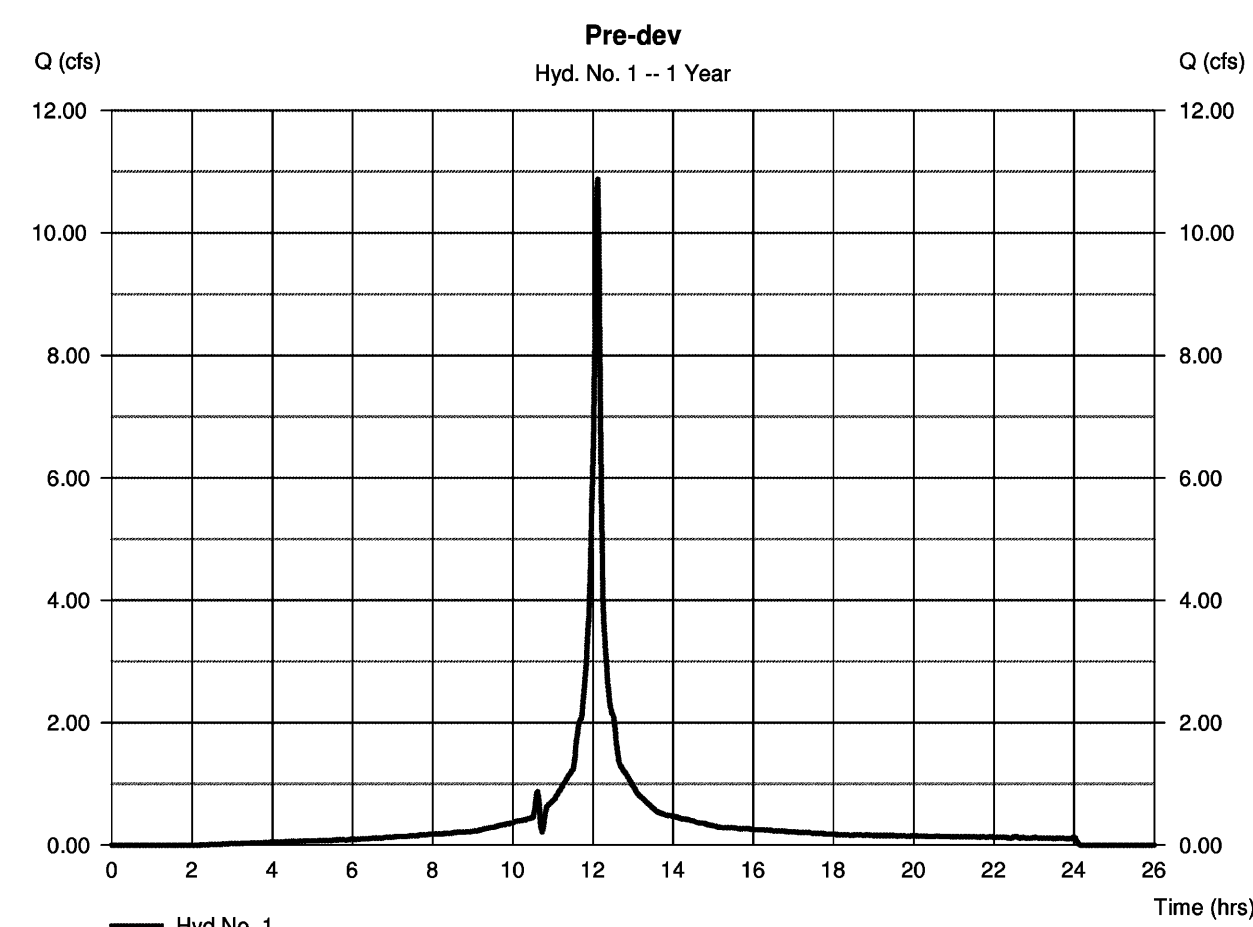
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Hydrograph Report

Hydroflow Hydrographs by Intellove v9.22 Wednesday, Nov 21, 2018

Hyd. No. 1
Pre-dev

Hydrograph type = SCS Runoff	Peak discharge = 10.88 cfs
Storm frequency = 1 yrs	Time to peak = 727 min
Time interval = 1 min	Hyd. volume = 33,405 cuft
Drainage area = 3.910 ac	Curve number = 97
Basin Slope = 0.0 %	Hydraulic length = 0 ft
Tc method = USER	Time of conc. (Tc) = 6.00 min
Total precip. = 2.62 in	Distribution = Custom
Storm duration = NOAA Type C Rainfall 1 Min interval.cds	Shape factor = 484

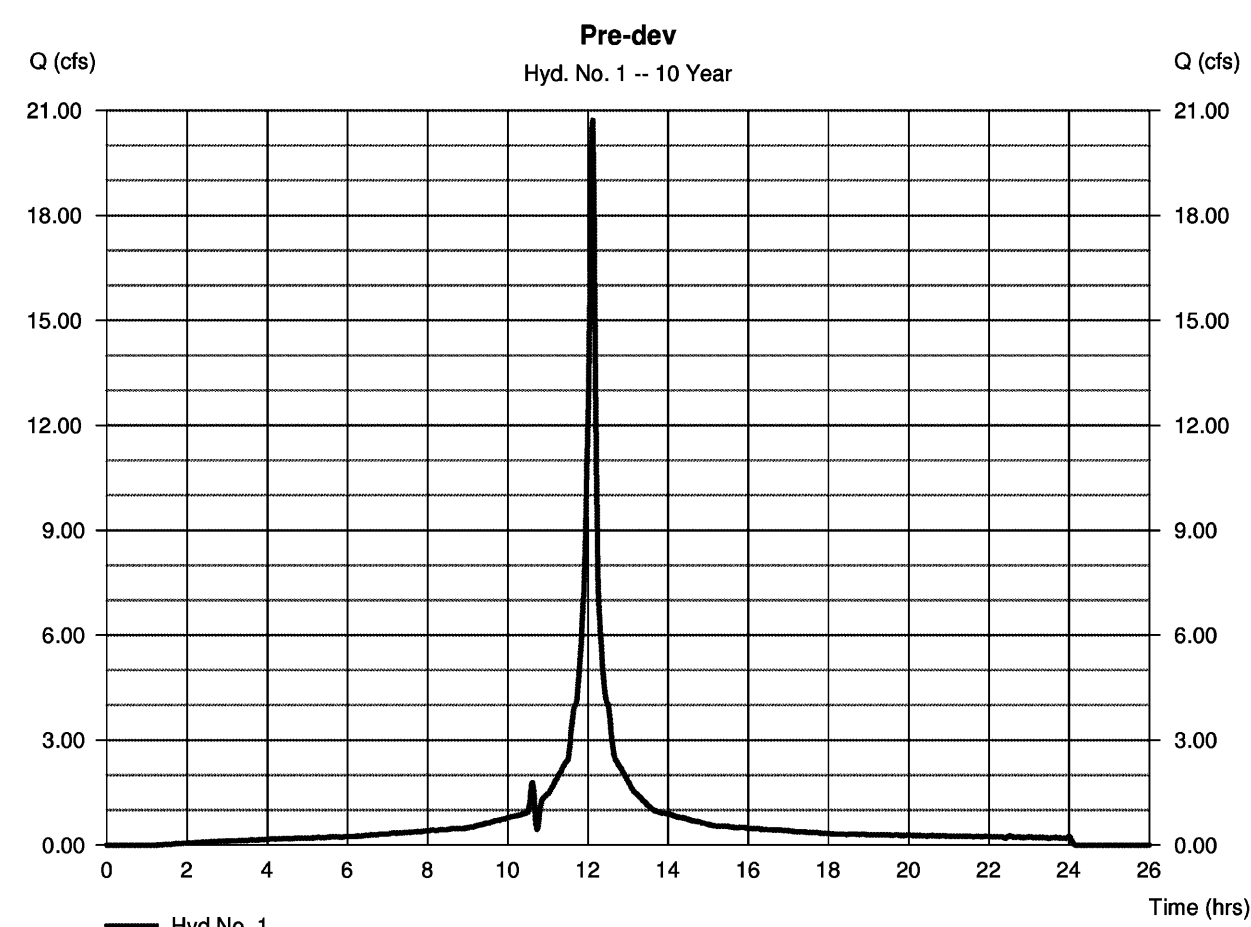


Hydrograph Report

Hydroflow Hydrographs by Intellove v9.22 Wednesday, Nov 21, 2018

Hyd. No. 1
Pre-dev

Hydrograph type = SCS Runoff	Peak discharge = 20.72 cfs
Storm frequency = 10 yrs	Time to peak = 727 min
Time interval = 1 min	Hyd. volume = 66,123 cuft
Drainage area = 3.910 ac	Curve number = 97
Basin Slope = 0.0 %	Hydraulic length = 0 ft
Tc method = USER	Time of conc. (Tc) = 6.00 min
Total precip. = 4.87 in	Distribution = Custom
Storm duration = NOAA Type C Rainfall 1 Min interval.cds	Shape factor = 484

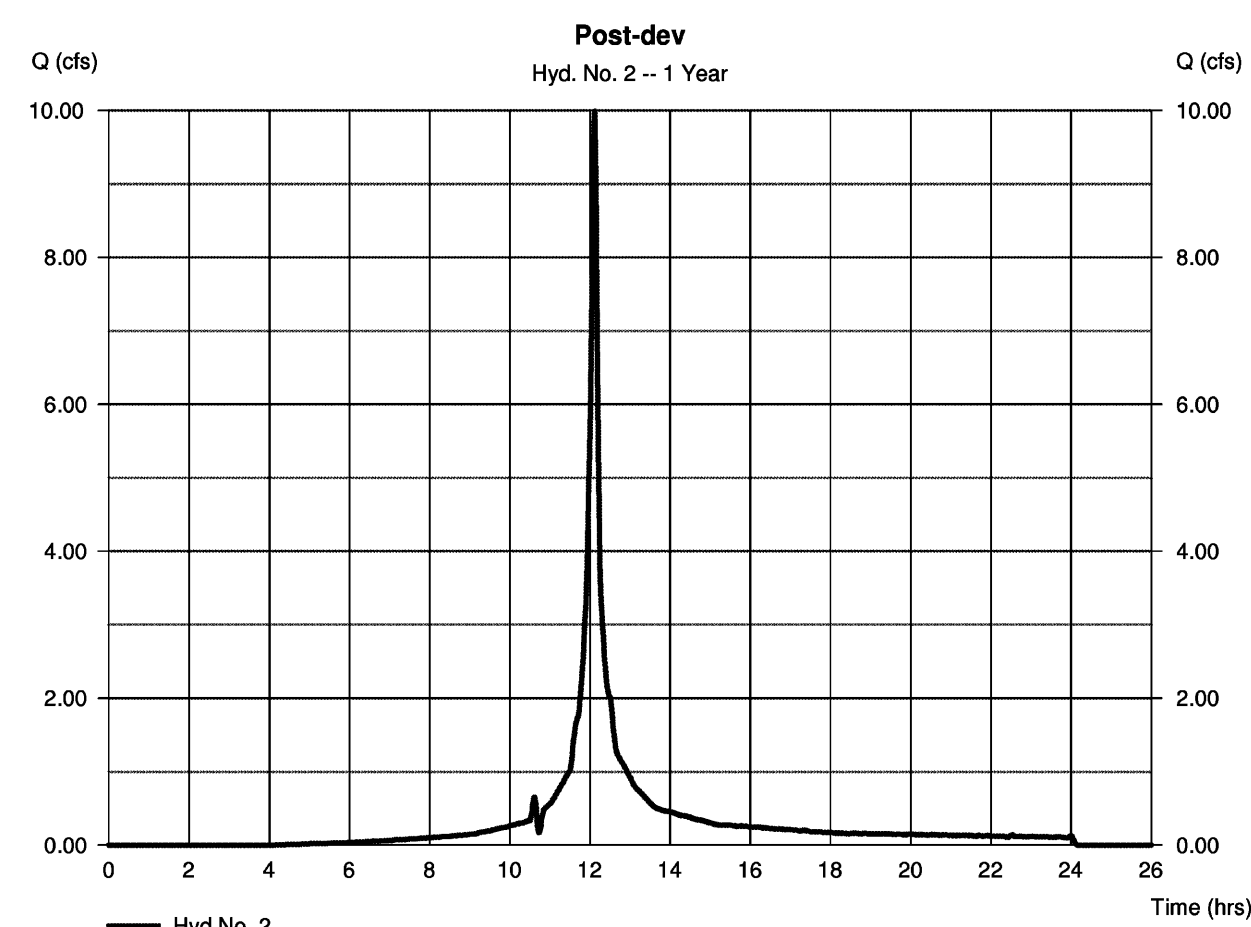


Hydrograph Report

Hydroflow Hydrographs by Intellove v9.22 Wednesday, Nov 21, 2018

Hyd. No. 2
Post-dev

Hydrograph type = SCS Runoff	Peak discharge = 9.994 cfs
Storm frequency = 1 yrs	Time to peak = 727 min
Time interval = 1 min	Hyd. volume = 29,042 cuft
Drainage area = 3.910 ac	Curve number = 94
Basin Slope = 0.0 %	Hydraulic length = 0 ft
Tc method = USER	Time of conc. (Tc) = 6.00 min
Total precip. = 2.62 in	Distribution = Custom
Storm duration = NOAA Type C Rainfall 1 Min interval.cds	Shape factor = 484

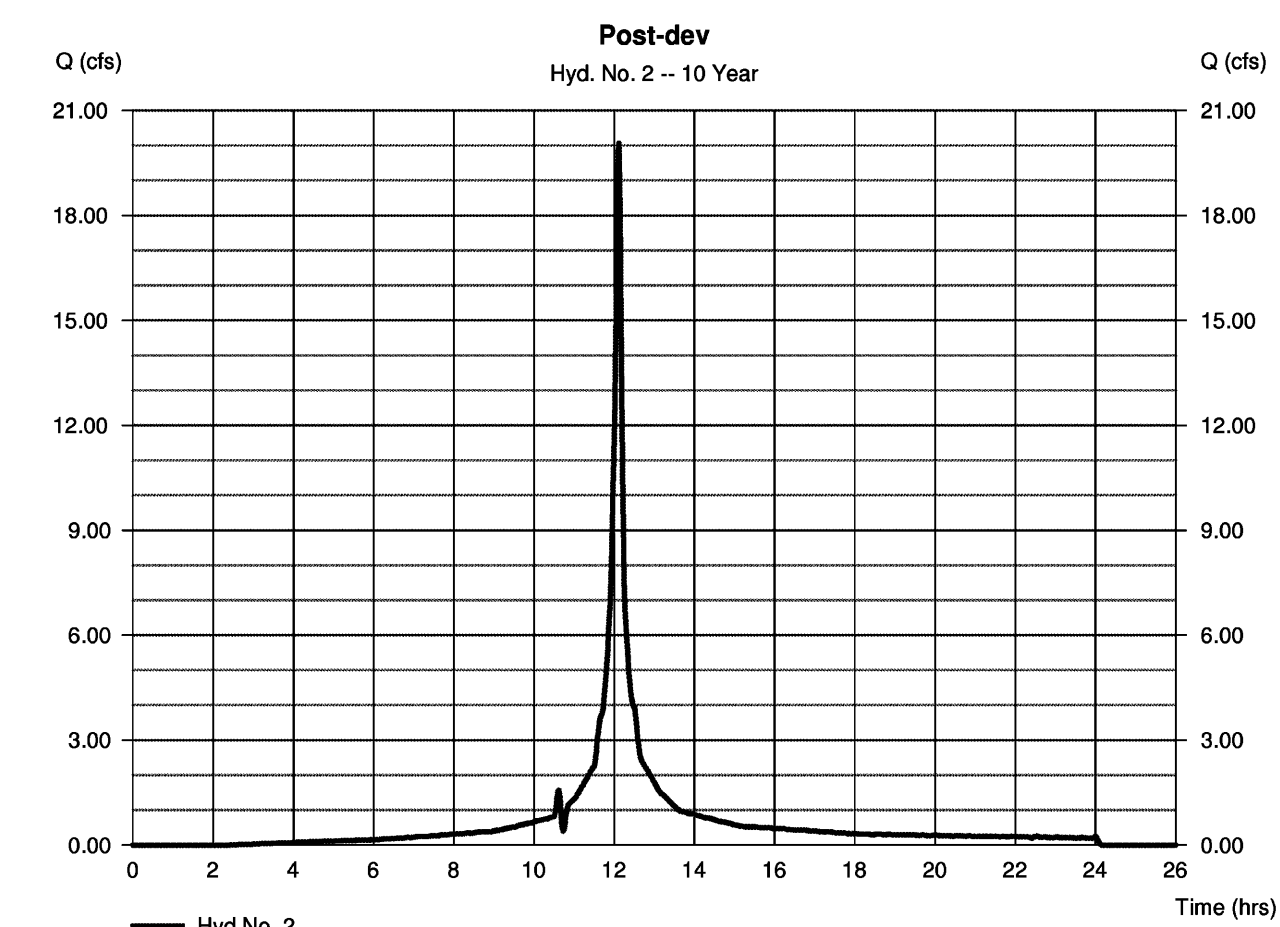


Hydrograph Report

Hydroflow Hydrographs by Intellove v9.22 Wednesday, Nov 21, 2018

Hyd. No. 2
Post-dev

Hydrograph type = SCS Runoff	Peak discharge = 20.07 cfs
Storm frequency = 10 yrs	Time to peak = 727 min
Time interval = 1 min	Hyd. volume = 61,179 cuft
Drainage area = 3.910 ac	Curve number = 94
Basin Slope = 0.0 %	Hydraulic length = 0 ft
Tc method = USER	Time of conc. (Tc) = 6.00 min
Total precip. = 4.87 in	Distribution = Custom
Storm duration = NOAA Type C Rainfall 1 Min interval.cds	Shape factor = 484



CONCEPTUAL BMP DETAILS

SITE SPECIFIC DATA			
PROJECT NAME			
PROJECT LOCATION			
STRUCTURE ID			
TREATMENT REQUIRED			
VOLUME BASED (CF)	FLOW BASED (CFS)		
TREATMENT HGL AVAILABLE (FT)			
PEAK BYPASS REQUIRED (CFS) - IF APPLICABLE			
PIPE DATA	I.E.	MATERIAL	DIAMETER
INLET PIPE 1			
INLET PIPE 2			
OUTLET PIPE			
	PRETREATMENT	BIOFILTRATION	DISCHARGE
RIM ELEVATION			
SURFACE LOAD	PARKWAY	OPEN PLANTER	PARKWAY
FRAME & COVER	#30"	N/A	#24"
WETLANDMEDIA VOLUME (CY)			3.05
WETLANDMEDIA DELIVERY METHOD			TBD
ORIFICE SIZE (DIA. INCHES)			#1.71"
MAXIMUM PICK WEIGHT (LBS)			27000
NOTES:			

TREATMENT FLOW (CFS)	0.144
OPERATING HEAD (FT)	3.4
PRETREATMENT LOADING RATE (GPM/SF)	TBD
WETLAND MEDIA LOADING RATE (GPM/SF)	1.0

MWS-L-4-13-C
STORMWATER BIOFILTRATION SYSTEM
STANDARD DETAIL

CDS4045-8-C DESIGN NOTES

THE STANDARD CDS4045-8-C CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.

CONFIGURATION DESCRIPTION

GRATED INLET ONLY (NO INLET PIPE)	
GRATED INLET WITH INLET PIPE OR PIPES	
CURB INLET ONLY (NO INLET PIPE)	
CURB INLET WITH INLET PIPE OR PIPES	
SEPARATE OIL BAFFLE (SINGLE INLET PIPE REQUIRED FOR THIS CONFIGURATION)	
SEDIMENT WEIR FOR NIDEP / NJCAT CONFORMING UNITS	

FRAME AND COVER
(DIAMETER VARIES)
N.T.S.

SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE ID	
WATER QUALITY FLOW RATE (CFS OR L/s)	*
PEAK FLOW RATE (CFS OR L/s)	*
RETURN PERIOD OF PEAK FLOW (YRS)	*
SCREEN APERTURE (2400 OR 4700)	*
PIPE DATA:	
INLET PIPE 1	I.E. MATERIAL DIAMETER
INLET PIPE 2	
OUTLET PIPE	
RIM ELEVATION	*
ANTI-FLOTATION BALLAST	WIDTH HEIGHT
NOTES/SPECIAL REQUIREMENTS:	
* PER ENGINEER OF RECORD	

GENERAL NOTES:

- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- DIMENSIONS MARKED WITH (J) ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
- FOR FABRICATION DRAWINGS WITH SET ASSEMBLY DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.conteches.com
- CDS WATER QUALITY FILTER SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
- STRUCTURE SHALL MEET AASHTO H20 AND CASTINGS SHALL MEET H20 (AASHTO M 306) LOAD RATING, ASSUMING GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
- PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.

INSTALLATION NOTES:

- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MAN-HOLE STRUCTURE (LIFTING CLUTCHES PROVIDED).
- CONTRACTOR TO ADD JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS, AND ASSEMBLE STRUCTURE.
- CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

NOTES

- INFORMATION PROVIDED ON THIS SHEET IS PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL DESIGN.
- ALTERNATIVE BMPs MAY BE PROVIDED SO LONG AS REQUIREMENTS OF THE DEQ VRRM SPREADSHEET ARE MET.

HYDROGRAPHS & BMP DETAILS

SPECIAL USE PLAN
BROWN'S FAIRFAX MAZDA
CITY OF FAIRFAX, VIRGINIA

ENGINEERS • SURVEYORS • PLANNERS
 LANDSCAPE ARCHITECTS • ARBORISTS
WALTER L. PHILLIPS
 207 PARK AVENUE
 FALLS CHURCH, VIRGINIA 22046
 (703) 532-6163 Fax (703) 533-1301
 www.WLPINC.com
 ESTABLISHED 1945
 L I N C O R P O R A T E D
 SCALE: NONE
 DATE: 03/03/2020
 3/3/20
 ARON M. WINSON
 Lic. No. 041851
 PROFESSIONAL SEAL

NO.	DESCRIPTION	DATE	APPROVED	DATE

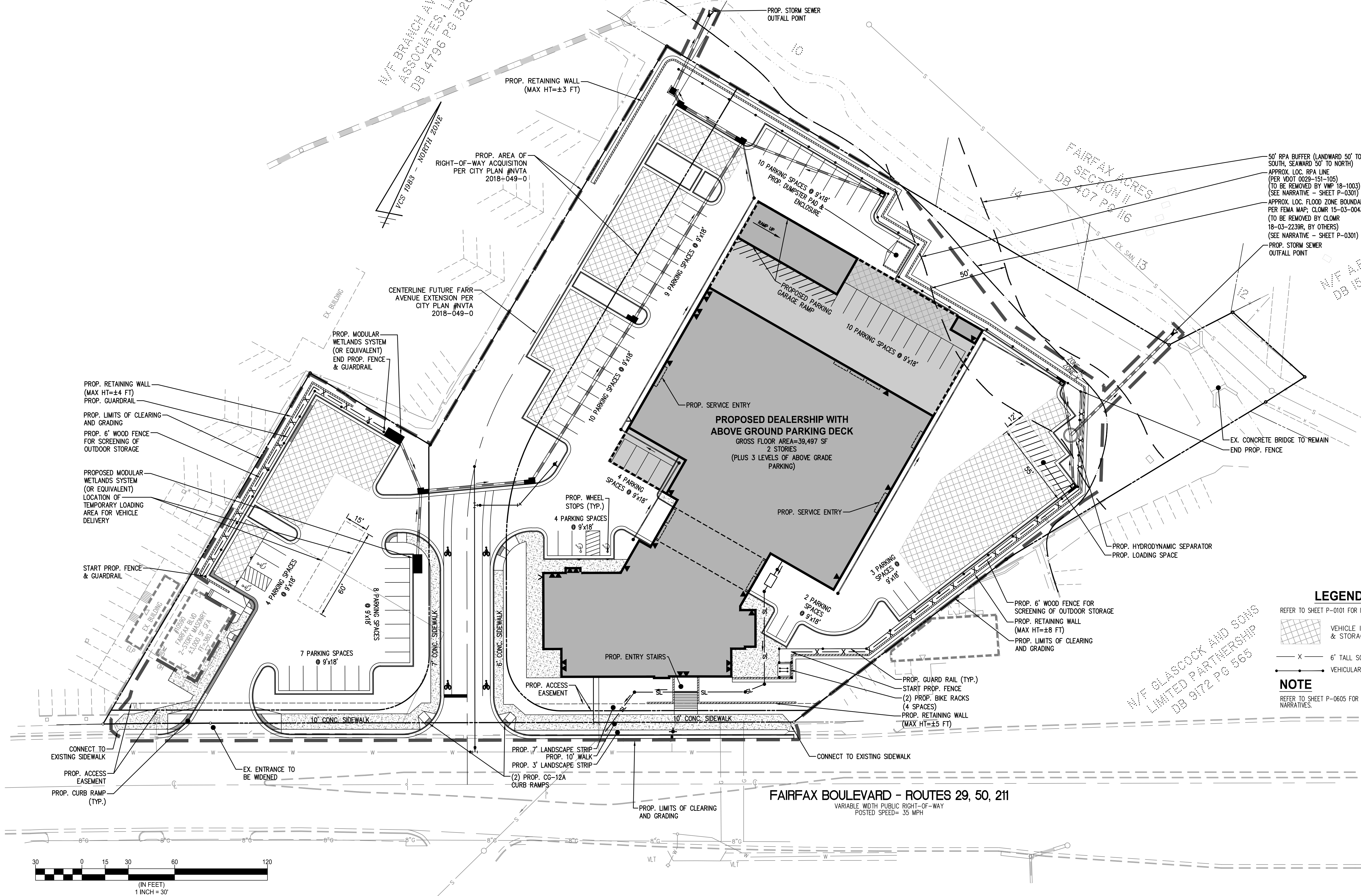
DRAWN: DPM/HJT
CHECKED: AV

N/F ORCHARD RE INVESTMENTS, LLC
DB 19218 PG 148

N/F BRANCH AVENUE ASSOCIATES, LLC
DB 14796 PG 1326

N/F ARG. II, LLC
DB 18230 PG 182

FAIRFAX ACRES SECTION II
DB 107 PG 116



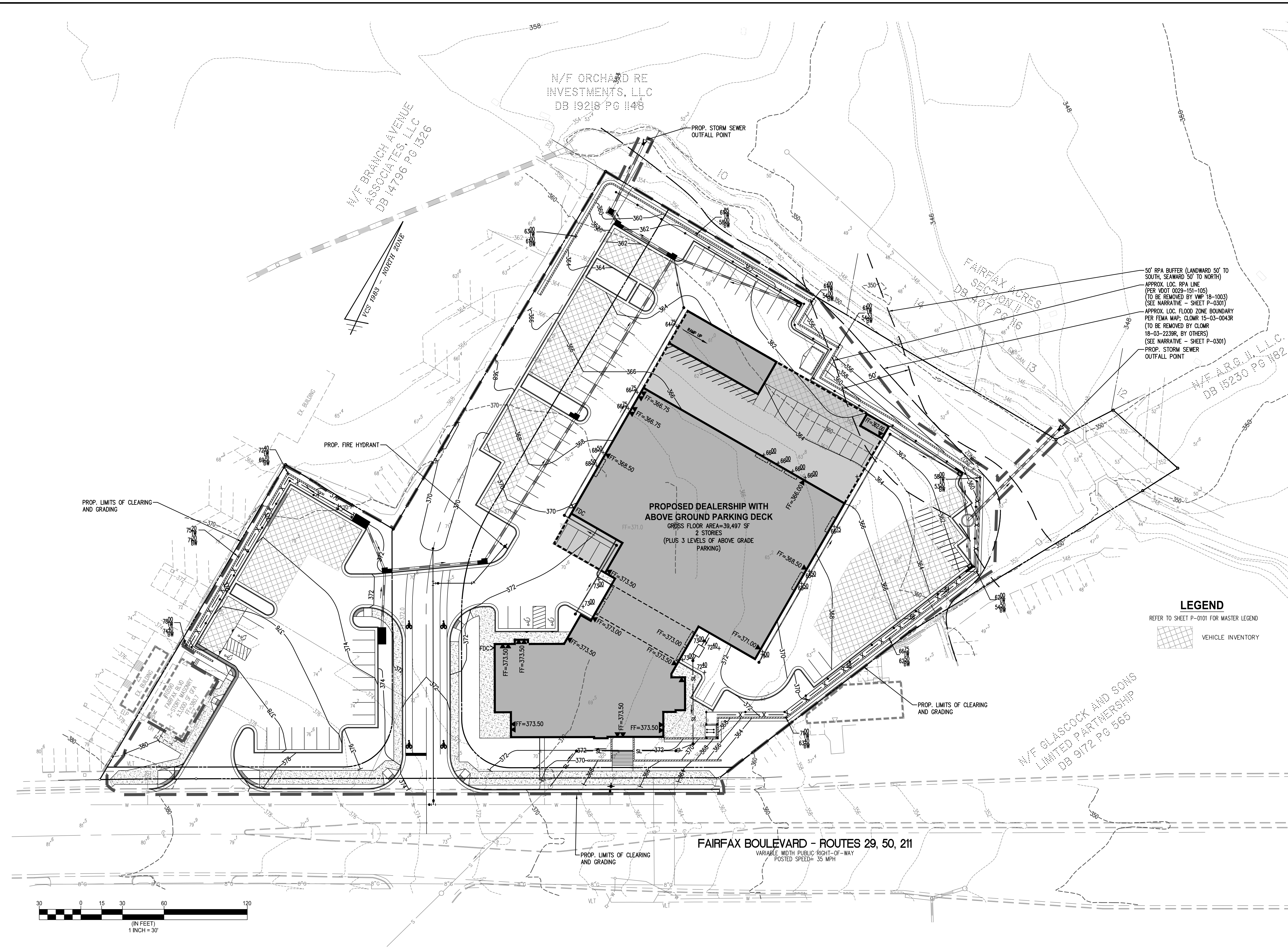
50' RPA BUFFER (LANDWARD 50' TO SOUTH, SEAWARD 50' TO NORTH)
APPROX. LOC. RPA LINE (PER VDOT 0029-151-105) (TO BE REMOVED BY VMP 18-1003) (SEE NARRATIVE - SHEET P-0301)
APPROX. LOC. FLOOD ZONE BOUNDARY PER FEMA MAP; CLOMR 15-03-0043R (TO BE REMOVED BY CLOMR 18-03-2239R, BY OTHERS) (SEE NARRATIVE - SHEET P-0301)
PROP. STORM SEWER OUTFALL POINT

LEGEND
REFER TO SHEET P-0101 FOR MASTER LEGEND
[Symbol] VEHICLE INVENTORY & STORAGE
[Symbol] 6' TALL SOLID WOOD FENCE
[Symbol] VEHICULAR GUARD RAIL
NOTE
REFER TO SHEET P-0605 FOR INTERIM CONDITION NARRATIVES.

Engineers • Surveyors • Planners
Landscape Architects • Arborists
WALTER L. PHILLIPS
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207 PARK AVENUE
FALLS CHURCH, VIRGINIA 22046
(703) 532-6163 Fax (703) 533-1301
www.WLPHINC.com
ESTABLISHED 1945
DATE: 03/03/2020
SCALE: 1" = 30'
DRAWN: DPM/HTT
CHECKED: AV

NO.	DESCRIPTION	DATE	REV. BY	APPROVED BY	DATE

SPECIAL USE PLAN - INTERIM
SPECIAL USE PLAN
BROWN'S FAIRFAX MAZDA
CITY OF FAIRFAX, VIRGINIA
SHEET: P-0601



N/F ORCHARD RE INVESTMENTS, LLC
DB 19218 PG 1148

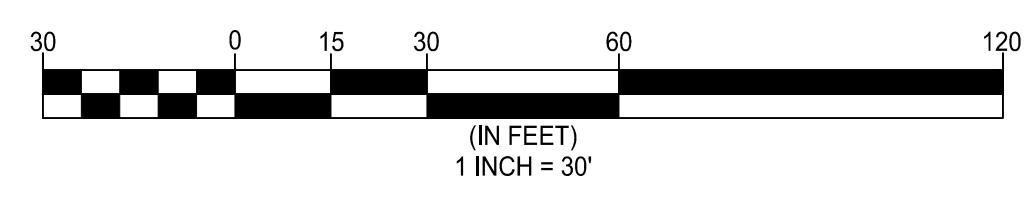
N/F BRANCH AVENUE ASSOCIATES, LLC
DB 14796 PG 1326

50' RPA BUFFER (LANDWARD 50' TO SOUTH, SEAWARD 50' TO NORTH)
APPROX. LOC. RPA LINE (PER VDOT 0029-151-105) (TO BE REMOVED BY VMP 18-1003) (SEE NARRATIVE - SHEET P-0301)
APPROX. LOC. FLOOD ZONE BOUNDARY PER FEMA MAP; CLOMR 15-03-0043R (TO BE REMOVED BY CLOMR 18-03-2239R, BY OTHERS) (SEE NARRATIVE - SHEET P-0301)
PROP. STORM SEWER OUTFALL POINT

PROPOSED DEALERSHIP WITH ABOVE GROUND PARKING DECK
GROSS FLOOR AREA=39,497 SF
2 STORIES
(PLUS 3 LEVELS OF ABOVE GRADE PARKING)

LEGEND
REFER TO SHEET P-0101 FOR MASTER LEGEND
VEHICLE INVENTORY

FAIRFAX BOULEVARD - ROUTES 29, 50, 211
VARIABLE WIDTH PUBLIC RIGHT-OF-WAY
POSTED SPEED= 35 MPH



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WALTER L. PHILLIPS
INCORPORATED ESTABLISHED 1946

FALLS CHURCH, VIRGINIA 22046
(703) 532-6163 Fax (703) 533-1301
www.WLPINC.com

DATE: 03/03/2020
SCALE: 1" = 30'
DRAWN: DPM/HTT
CHECKED: AV

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PRELIMINARY UTILITY AND GRADING PLAN - INTERIM

SPECIAL USE PLAN
BROWN'S FAIRFAX MAZDA
CITY OF FAIRFAX, VIRGINIA

TREE COVER CALCULATIONS - INTERIM

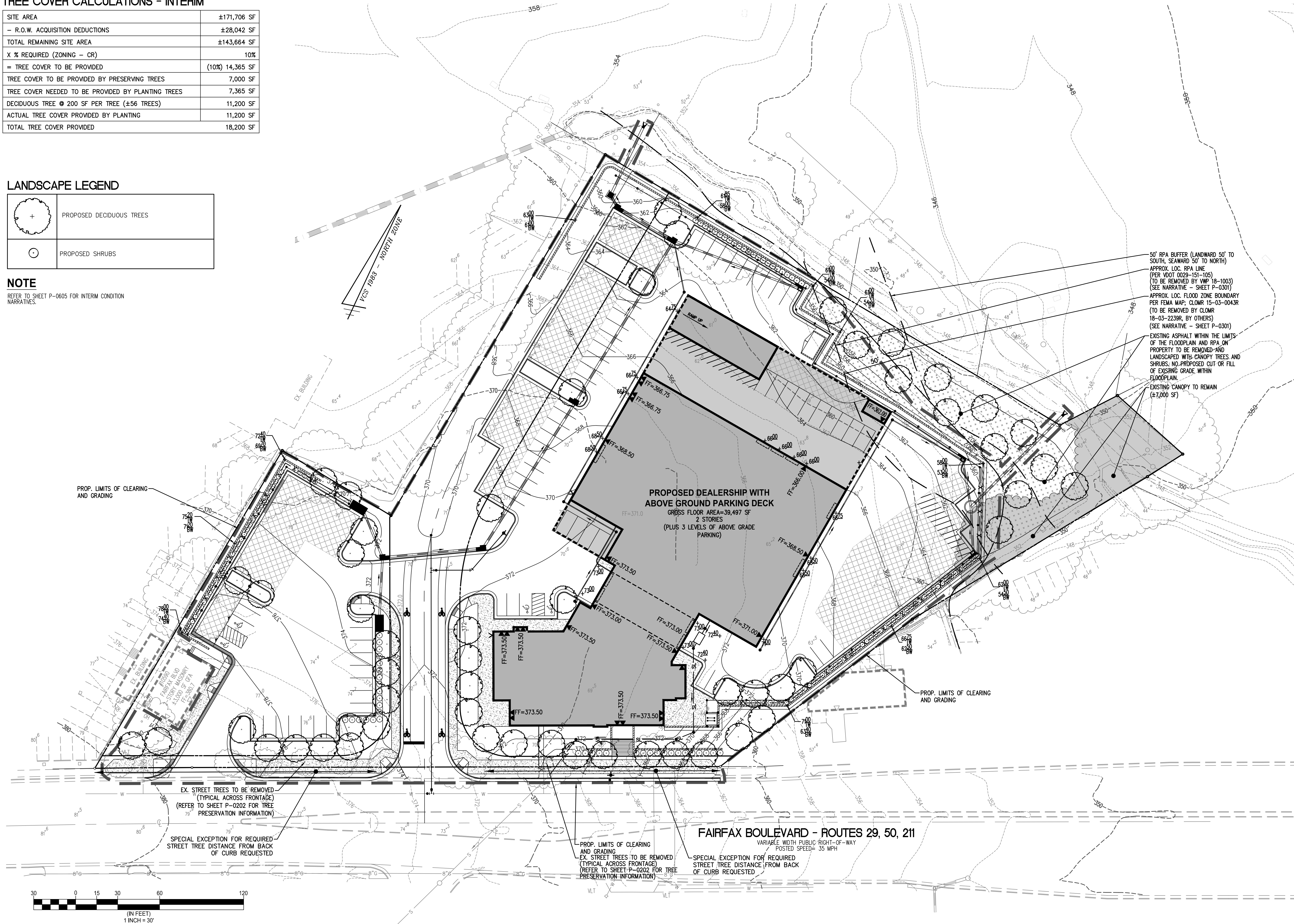
SITE AREA	±171,706 SF
- R.O.W. ACQUISITION DEDUCTIONS	±28,042 SF
TOTAL REMAINING SITE AREA	±143,664 SF
X % REQUIRED (ZONING - CR)	10%
= TREE COVER TO BE PROVIDED	(10%) 14,365 SF
TREE COVER TO BE PROVIDED BY PRESERVING TREES	7,000 SF
TREE COVER NEEDED TO BE PROVIDED BY PLANTING TREES	7,365 SF
DECIDUOUS TREE @ 200 SF PER TREE (±56 TREES)	11,200 SF
ACTUAL TREE COVER PROVIDED BY PLANTING	11,200 SF
TOTAL TREE COVER PROVIDED	18,200 SF

LANDSCAPE LEGEND

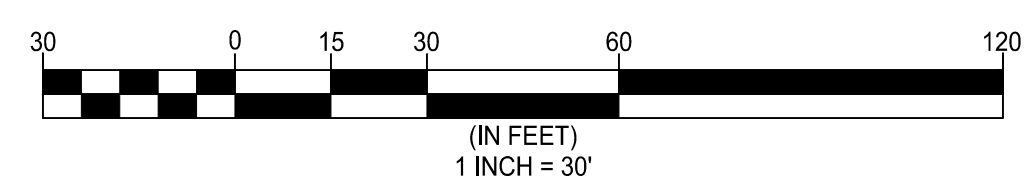
	PROPOSED DECIDUOUS TREES
	PROPOSED SHRUBS

NOTE

REFER TO SHEET P-0605 FOR INTERIM CONDITION NARRATIVES.



50' RPA BUFFER (LANDWARD 50' TO SOUTH, SEAWARD 50' TO NORTH)
 APPROX. LOC. RPA LINE (PER VDOT 0029-151-105) (TO BE REMOVED BY VMP 18-1003) (SEE NARRATIVE - SHEET P-0301)
 APPROX. LOC. FLOOD ZONE BOUNDARY PER FEMA MAP; CLOMR 15-03-0043R (TO BE REMOVED BY CLOMR 18-03-2239R, BY OTHERS) (SEE NARRATIVE - SHEET P-0301)
 EXISTING ASPHALT WITHIN THE LIMITS OF THE FLOODPLAIN AND RPA ON PROPERTY TO BE REMOVED AND LANDSCAPED WITH CANOPY TREES AND SHRUBS. NO PROPOSED CUT OR FILL OF EXISTING GRADE WITHIN FLOODPLAIN.
 EXISTING CANOPY TO REMAIN (±7,000 SF)

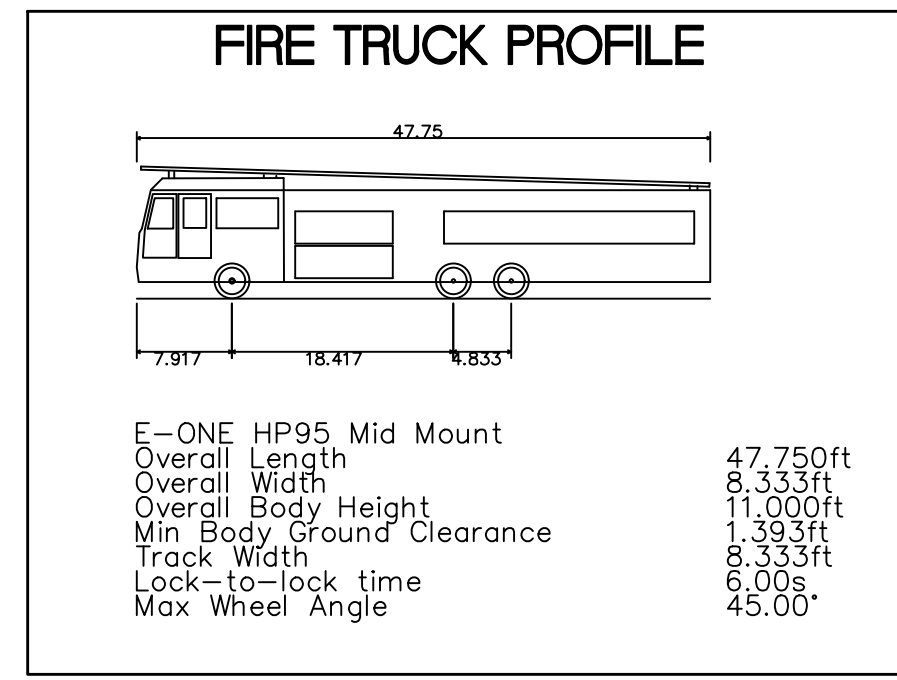


LANDSCAPE PLAN - INTERIM

**SPECIAL USE PLAN
 BROWN'S FAIRFAX MAZDA
 CITY OF FAIRFAX, VIRGINIA**

NO.	DESCRIPTION	DATE	REV. BY	APPROVED	DATE

WALTER L. PHILLIPS
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 ENGINEERS • SURVEYORS • PLANNERS
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 (703) 532-6163 Fax (703) 533-1301
 www.wlphillips.com
 ESTABLISHED 1945
 DATE: 03/03/2020
 SCALE: 1" = 30'
 DRAWN: DPM/HTT
 CHECKED: AV



NOTE
 TRUCK MOVEMENTS CREATED USING VEHICLE TRACKING SOFTWARE FOR AUTOCAD. ACTUAL TURNING MOVEMENTS MAY VARY.

N/F ORCHARD RE INVESTMENTS, LLC
 DB I9218 PG I48

N/F BRANCH AVENUE ASSOCIATES, LLC
 DB I4796 PG I326

FAIRFAX ACRES SECTION II
 DB 407 PG I16

50' RPA BUFFER (LANDWARD 50' TO SOUTH, SEAWARD 50' TO NORTH)
 APPROX. LOC. RPA LINE (PER VDOT 0029-151-105) (TO BE REMOVED BY VMP 18-1003) (SEE NARRATIVE - SHEET P-0301)
 APPROX. LOC. FLOOD ZONE BOUNDARY PER FEMA MAP; CLOMR 15-03-0043R (TO BE REMOVED BY CLOMR 18-03-2239R, BY OTHERS) (SEE NARRATIVE - SHEET P-0301)

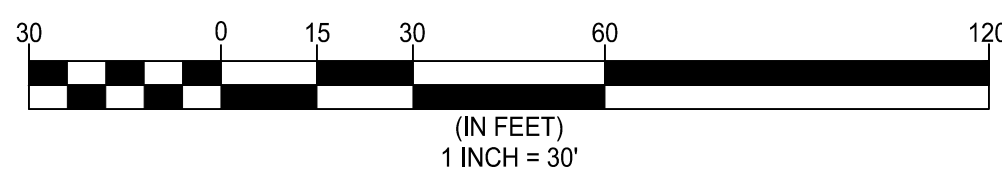
N/F ARG. II, LLC
 DB I0230 PG I82

DRIVE AISLE UNDER PARKING STRUCTURE TO BE ISOLATED HORIZONTALLY AND VERTICALLY FROM PROP. BUILDING THROUGH CODE-COMPLIANT FIRE RATED WALLS
 PROP. SERVICE ENTRY
PROPOSED DEALERSHIP WITH ABOVE GROUND PARKING DECK
 GROSS FLOOR AREA=39,497 SF
 2 STORIES
 (PLUS 3 LEVELS OF ABOVE GRADE PARKING)

LEGEND
 REFER TO SHEET P-0101 FOR MASTER LEGEND
 VEHICLE INVENTORY

N/F GLASSCOCK AND SOLES LIMITED PARTNERSHIP
 DB 9172 PG 566

FAIRFAX BOULEVARD - ROUTES 29, 50, 211
 VARIABLE WIDTH PUBLIC RIGHT-OF-WAY
 POSTED SPEED= 35 MPH



Engineers • Surveyors • Planners
 Landscape Architects • Arborists

WALTER L. PHILLIPS
 INCORPORATED ESTABLISHED 1946
 DATE: 03/03/2020
 SCALE: 1"=30'

PROFESSIONAL SEAL
 WALTER L. PHILLIPS
 ARRON M. WINSON
 Lic. No. 041851
 3/3/20

NO.	DESCRIPTION	DATE	REV. BY	APPROVED BY	DATE

FIRE SERVICE PLAN - INTERIM
SPECIAL USE PLAN
BROWN'S FAIRFAX MAZDA
 CITY OF FAIRFAX, VIRGINIA

INTERIM CONDITIONS NARRATIVE

THE APPLICANT INTENDS TO CONSTRUCT ALL REQUIRED IMPROVEMENTS IN ACCORDANCE WITH THE SPECIAL USE PLAN ON SHEET P-0301. HOWEVER, FULL DEVELOPMENT OF THE SITE AS SHOWN ON THAT SHEET PRESUMES THAT OFFSITE STORM DRAINAGE IMPROVEMENTS ARE APPROVED. OFFSITE DRAINAGE IMPROVEMENTS PLANNED BY OTHERS INCLUDE CONSTRUCTION OF A STORM CULVERT WHICH WILL PLACE TWO EXISTING STREAM CHANNELS INTO A PIPE SYSTEM. ONE OF THE TWO STREAM CHANNELS TO BE PIPED INCLUDES THE STREAM CHANNEL LOCATED ADJACENT TO THE SUBJECT SITE, JUST NORTH OF THE NORTHERN PROPERTY LINE. WHEN THE EXISTING STREAM CHANNEL IS PIPED, THE RESOURCE PROTECTION AREA (RPA) DELINEATION ASSOCIATED WITH THAT STREAM WILL BE REMOVED, THEREBY REMOVING AN RPA BUFFER FROM THE SUBJECT SITE. FURTHER, THE 100-YEAR FLOODPLAIN ASSOCIATED WITH THAT STREAM WILL ALSO BE REMOVED, THEREBY REMOVING A FLOODPLAIN FROM THE SUBJECT SITE.

IT IS CURRENTLY THE EXPECTATION OF THE APPLICANT THAT THESE OFFSITE DRAINAGE IMPROVEMENTS WILL BE COMPLETED IN SUCH A TIMEFRAME AS TO ALLOW FULL BUILD OUT OF THIS SITE AS DEPICTED ON SHEET P-0301. HOWEVER, IN THE EVENT THAT THESE OFFSITE IMPROVEMENTS ARE NOT COMPLETED IN TIME FOR FULL BUILD OUT, THE APPLICANT PROPOSES TO DEVELOP THE SUBJECT SITE AS DEPICTED AND DESCRIBED ON SHEETS P-0601 TO P-0605.

AS SHOWN, INTERIM CONDITIONS WILL INCLUDE CONSTRUCTION OF THE FULL BUILDING, BUT WILL OMIT SITE IMPROVEMENTS IN THE NORTHEAST CORNER OF THE PROPERTY. AN INTERIM DUMSPITER ENCLOSURE WILL BE CONSTRUCTED IN THE LOCATION SHOWN AND THE RETAINING WALL WHICH WILL ULTIMATELY RUN ACROSS THE NORTHERN PROPERTY LINE WILL TERMINATE OUTSIDE OF THE FLOODPLAIN, NO MORE THAN 18' OF FILL WILL BE PLACED WITHIN THE FLOODPLAIN, AND NO IMPROVEMENTS WILL BE CONSTRUCTED WITHIN THE 50 SEAWARD FEET OF THE RPA BUFFER. THIS APPLICATION INCLUDES A REQUEST FOR ADMINISTRATIVE WAIVER TO PERMIT ENCROACHMENT INTO THE 50 LANDWARD FEET OF THE RPA BUFFER.

THE APPLICANT WISHES TO RESERVE FLEXIBILITY TO IMPLEMENT REQUIRED IMPROVEMENTS IN THE MOST EFFICIENT AND ADVANTAGEOUS WAY POSSIBLE. OTHER CHANGES BEYOND THOSE LISTED ABOVE MAY BE MADE AS DESIGN PROGRESSES. FINAL DESIGN AND FINAL DETERMINATION OF INTERIM CONDITIONS, IF NECESSARY, WILL BE MADE AT TIME OF SITE PLAN.

INTERIM LANDSCAPE NARRATIVE

AS SHOWN ON SHEET P-0603, THE APPLICANT PROPOSES LANDSCAPING CONSISTENT WITH THE FULL DEVELOPMENT OF THE SITE, WITH THE EXCEPTION OF THE AREAS WITHIN THE FLOODPLAIN AND RPA AT THE NORTHEASTERN PORTION OF THE PROPERTY. IN THESE AREAS, WHILE THE APPLICANT DOES NOT PROPOSE TO CONSTRUCT ANY IMPROVEMENTS OR ADJUST GRADING WITHIN THE FLOODPLAIN, THEY INTEND TO REMOVE THE EXISTING ASPHALT WITHIN THE LIMITS OF THE FLOODPLAIN AND RPA AND LANDSCAPE IT WITH CANOPY TREES AND SHRUBS.

THE PROPOSED INTERIM LANDSCAPING IS DESIGNED TO MEET BOTH THE PROJECT'S SCREENING AND TREE COVER REQUIREMENTS. THE INTERIM PLAN DOES NOT PROPOSE ANY DEVIATIONS FROM THE TREE PRESERVATION AND REMOVAL DETAILS SHOWN ON SHEET P-0202.

INTERIM STORMWATER MANAGEMENT NARRATIVE

NO CHANGES ARE PROPOSED TO THE DRAINAGE PATTERNS AND GENERAL LOCATIONS OF THE TWO SITE OUTFALLS DESCRIBED IN THE STORMWATER MANAGEMENT PLAN FOR THE FULL DEVELOPMENT (SHEETS P-0501 TO P-0504). HOWEVER, AS THE INTERIM PLAN ASSUMES THAT THE OFFSITE STORM DRAINAGE IMPROVEMENTS TO THE NORTH HAVE NOT YET BEEN COMPLETED, THE ONSITE STORM SEWERS ARE PROPOSED TO DISCHARGE INTO THE EXISTING STREAM TO THE NORTH. THE LOCATIONS OF THE TWO PROPOSED MODULAR WETLANDS SYSTEMS AT THE SOUTHWEST PORTION OF THE SITE REMAIN CONSISTENT WITH WHAT IS PROPOSED WITH THE FULL DEVELOPMENT. IN THE INTERIM PLAN, ONE OF THE HYDRODYNAMIC SEPARATORS HAS BEEN REMOVED DUE TO THE OMISSION OF PORTIONS OF THE DRIVE AISLE AND PARKING AREAS AS THEY WOULD HAVE BEEN LOCATED WITHIN THE EXISTING FLOODPLAIN. CONSISTENT WITH THE FULL DEVELOPMENT DESIGN, THE REMAINING HYDRODYNAMIC SEPARATOR IS LOCATED SUCH THAT IT WILL CAPTURE AND TREAT A MAJORITY OF THE ONSITE IMPERVIOUS SURFACES FROM THE BUILDING AND PAVED AREAS AND PROVIDE THE NECESSARY PHOSPHORUS REDUCTION FOR THE DEVELOPMENT.

IT IS THE APPLICANT'S INTENT TO CONTINUE TO MEET THE PROJECT'S STORMWATER MANAGEMENT REQUIREMENTS FOR BOTH WATER QUALITY AND QUANTITY IN THE INTERIM PLAN THRU THE USE OF ON-SITE BMPS AND A GENERAL REDUCTION OF ONSITE IMPERVIOUS AREA FROM PRE TO POST-DEVELOPMENT.

INTERIM PARKING TABULATION

REQUIRED:

- 8,877 SF SALES AREA
- 8,877 SF @ 1 SP/500 SF = 18 SPACES
- 24 SERVICE BAYS
- 24 @ 2 SP/BAY = 48 SPACES

TOTAL PARKING REQUIRED: 66 SPACES

TOTAL PARKING PROVIDED: 71 SPACES (INCL. 4 HC)

*THE 71 PARKING SPACES PROVIDED DOES NOT INCLUDE THE ADDITIONAL PARKING LOT AREA DESIGNATED FOR INVENTORY AND DISPLAY PURPOSES, AS SHOWN ON SHEET P-0601. ALL SPACES WITHIN PROPOSED PARKING STRUCTURE ARE DESIGNATED FOR VEHICLE STORAGE AND ARE ALSO NOT INCLUDED IN THE 71 SPACES LISTED ABOVE.

BICYCLE PARKING

- REQUIRED: 4 (61-80 REQD. SPACES)
- PROVIDED: 4 (2 RACKS) (SEE SHEET P-0601 FOR LOCATION)

INTERIM LOADING TABULATION

REQUIRED:

LOADING REQUIRED = 1 SPACE (10,000 - 49,999 SF COMM. USE)

PROVIDED:

1 LOADING SPACE (SEE SHEET P-0601 FOR LOCATION)

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REVISION APPROVED BY

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INTERIM CONDITION NARRATIVES & TABULATIONS
SPECIAL USE PLAN
BROWN'S FAIRFAX MAZDA
 CITY OF FAIRFAX, VIRGINIA