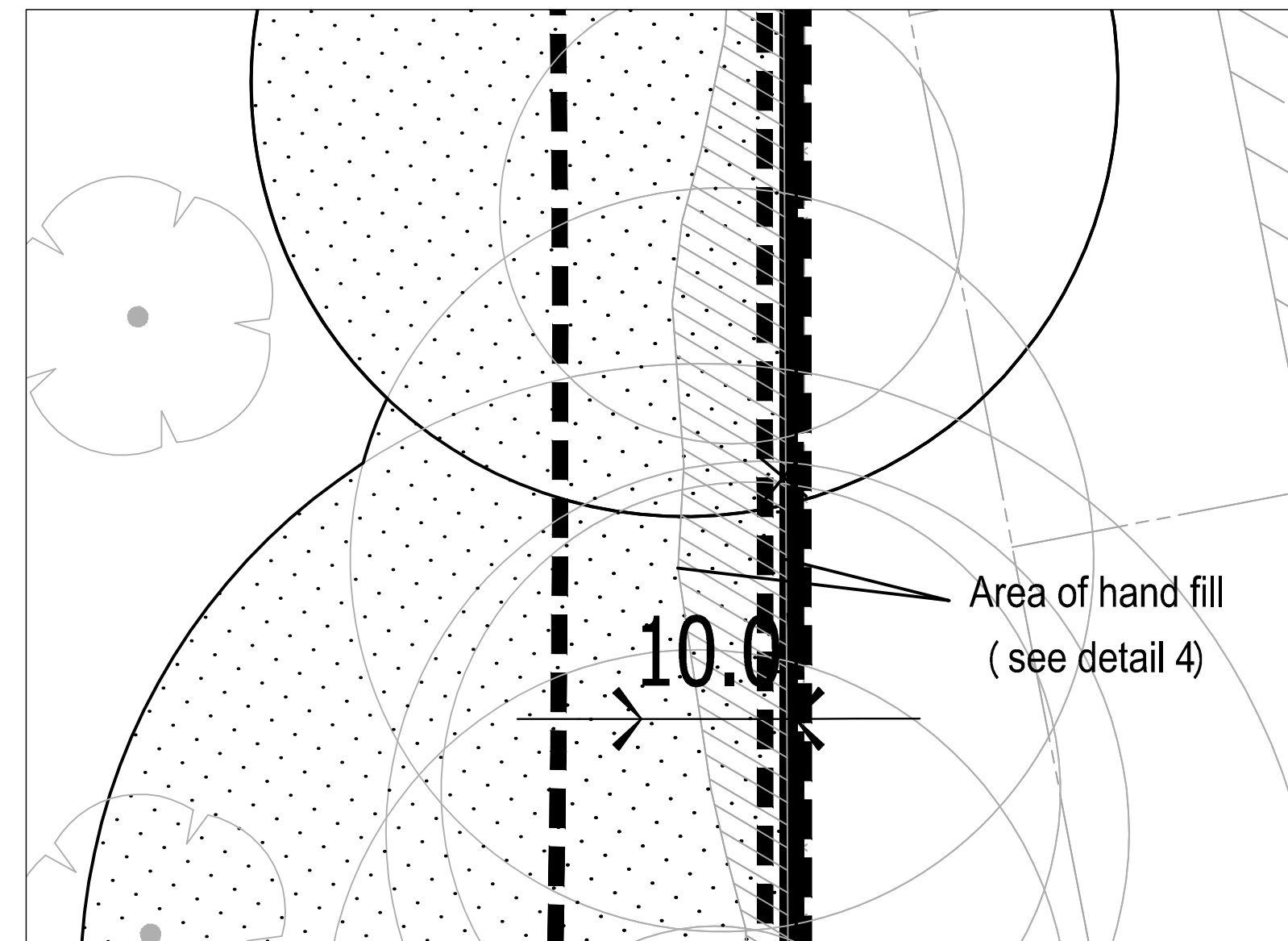
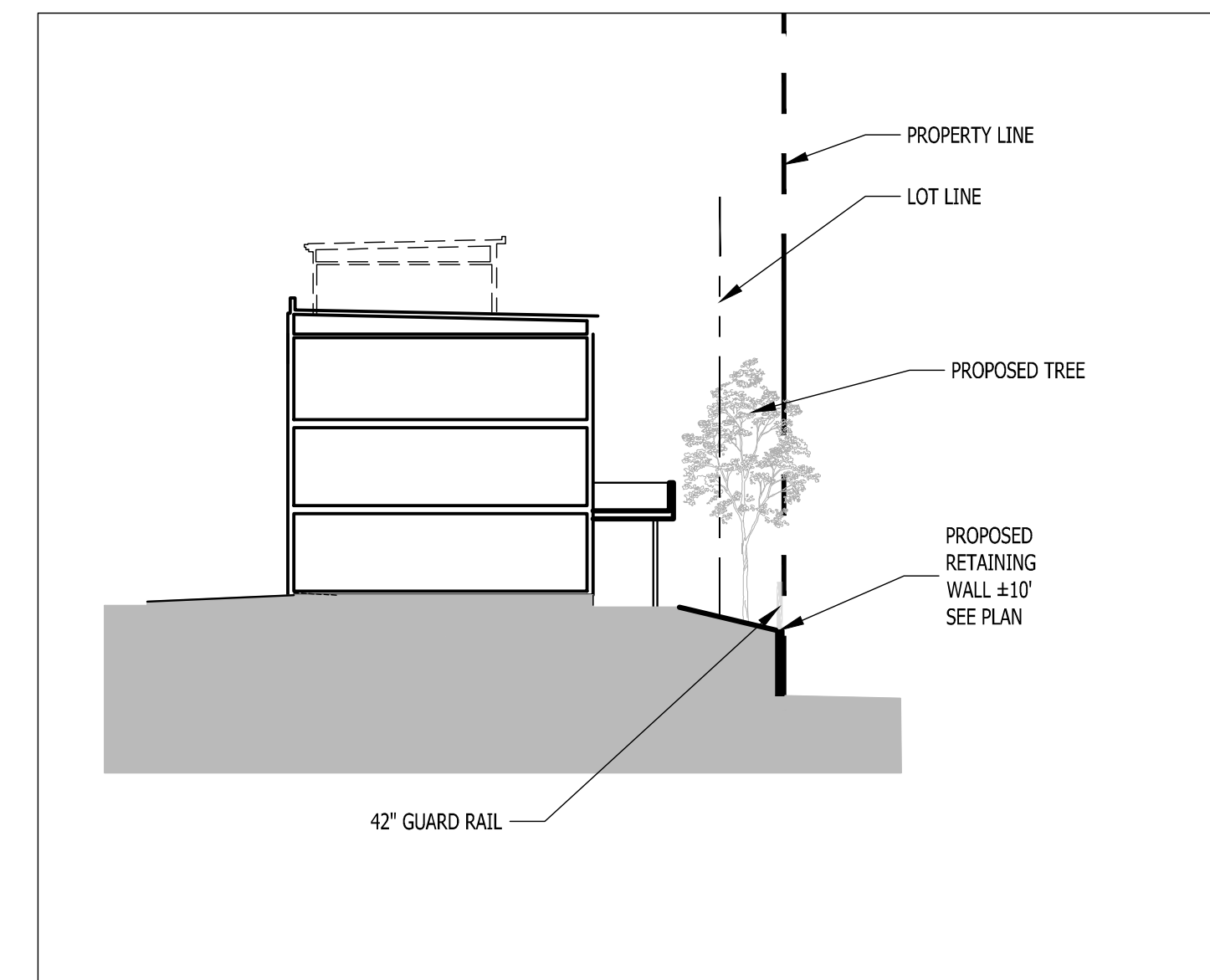


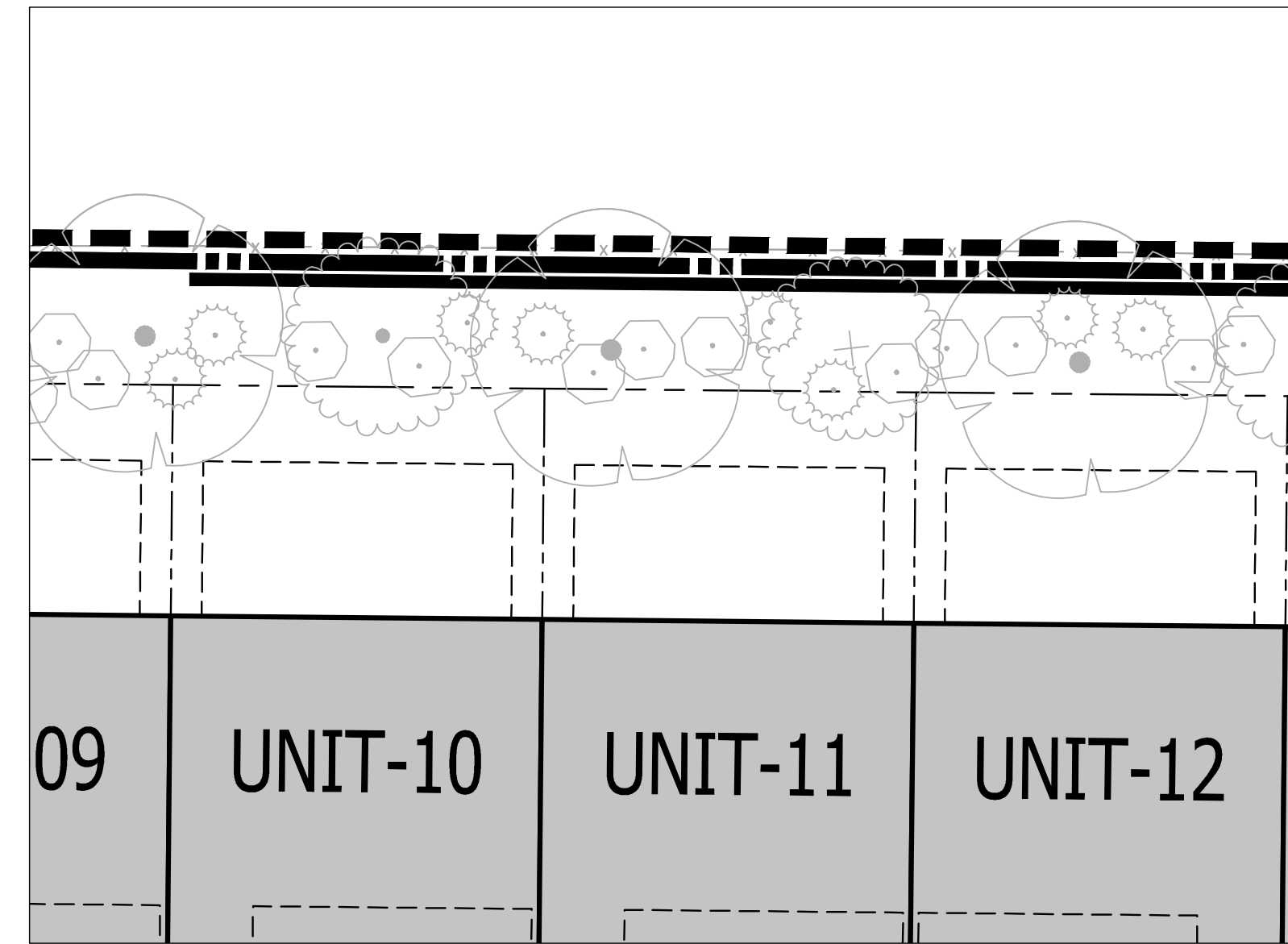
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SCALE: 1" = 20'



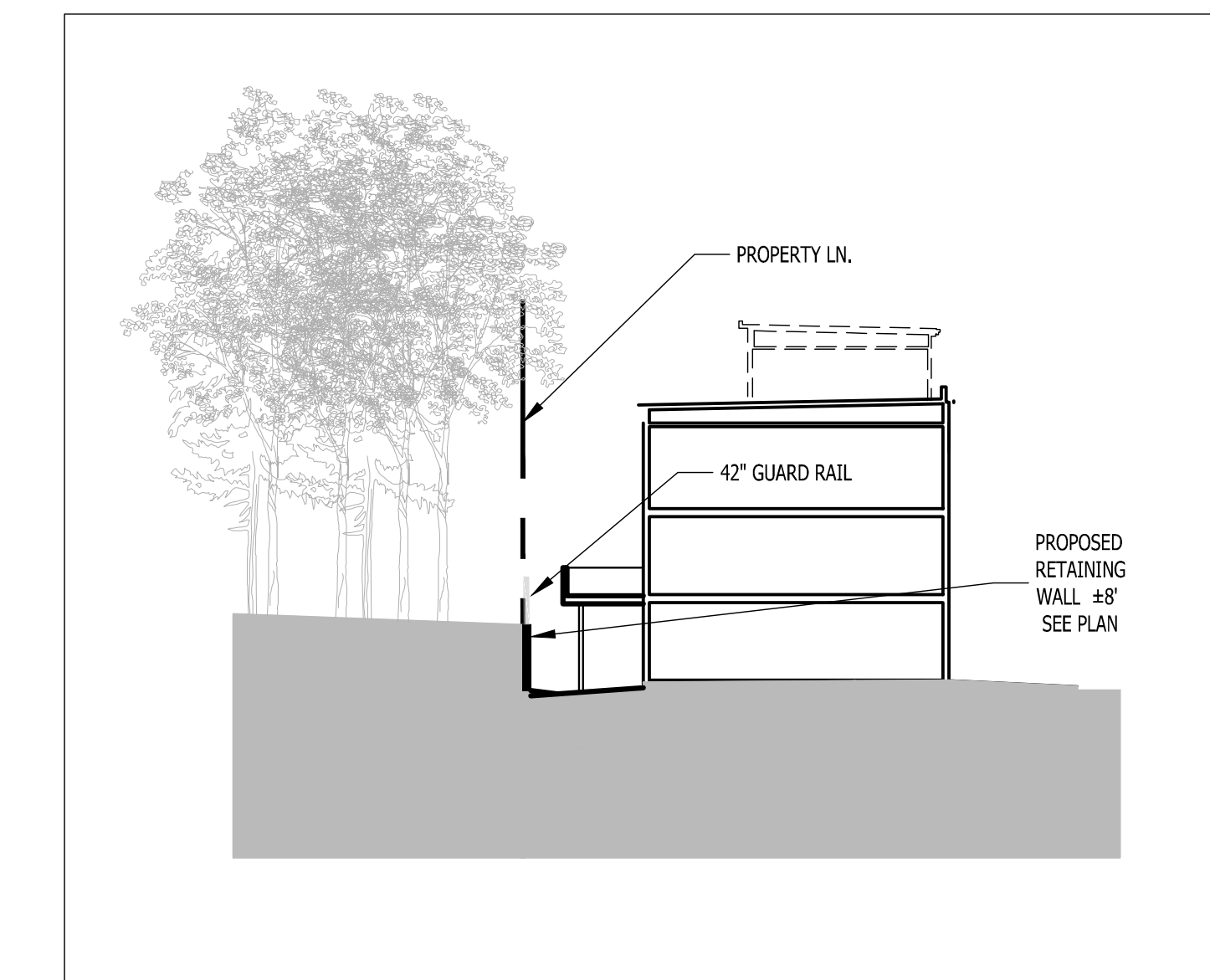
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SCALE: 1" = 10'



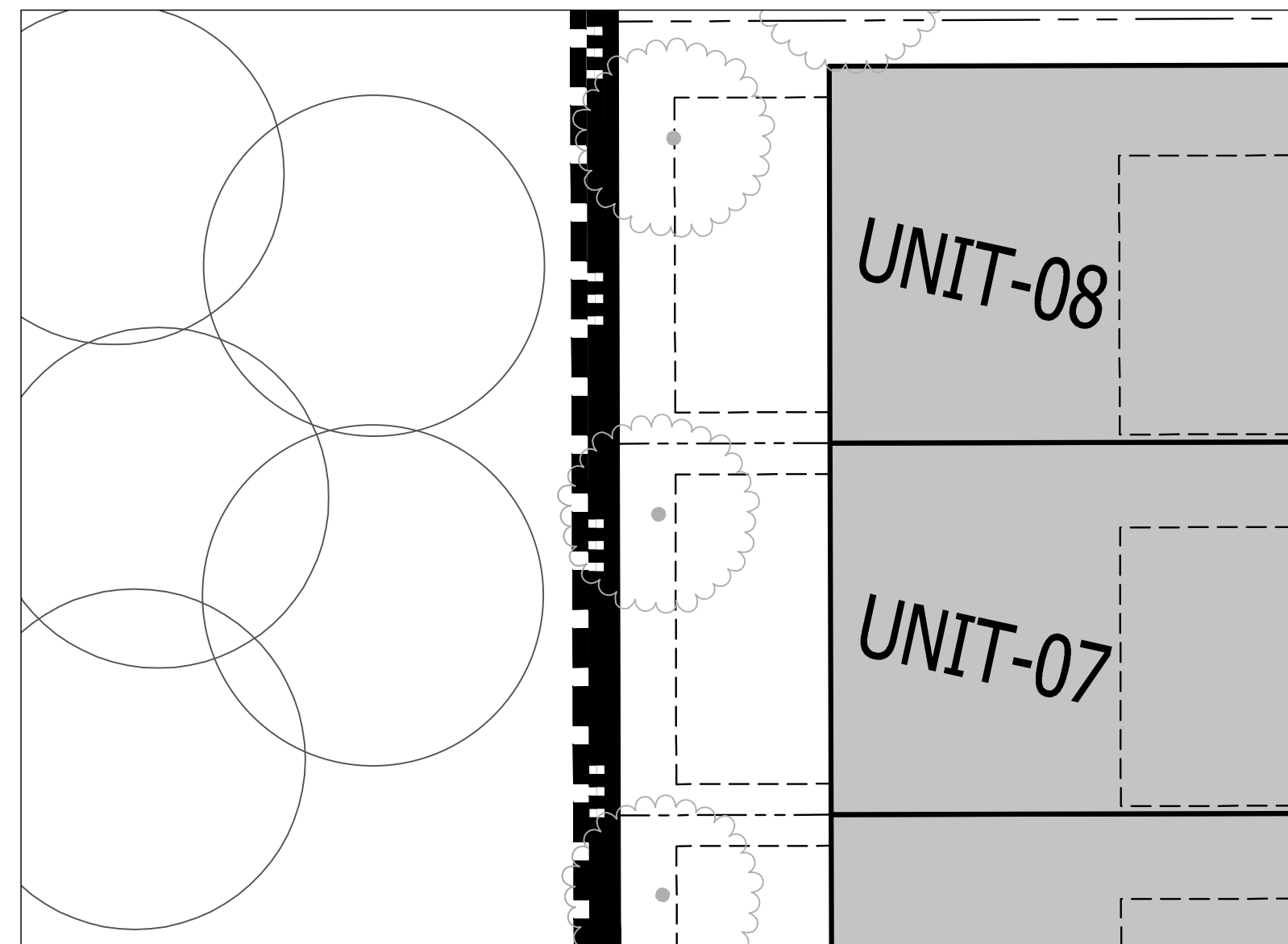
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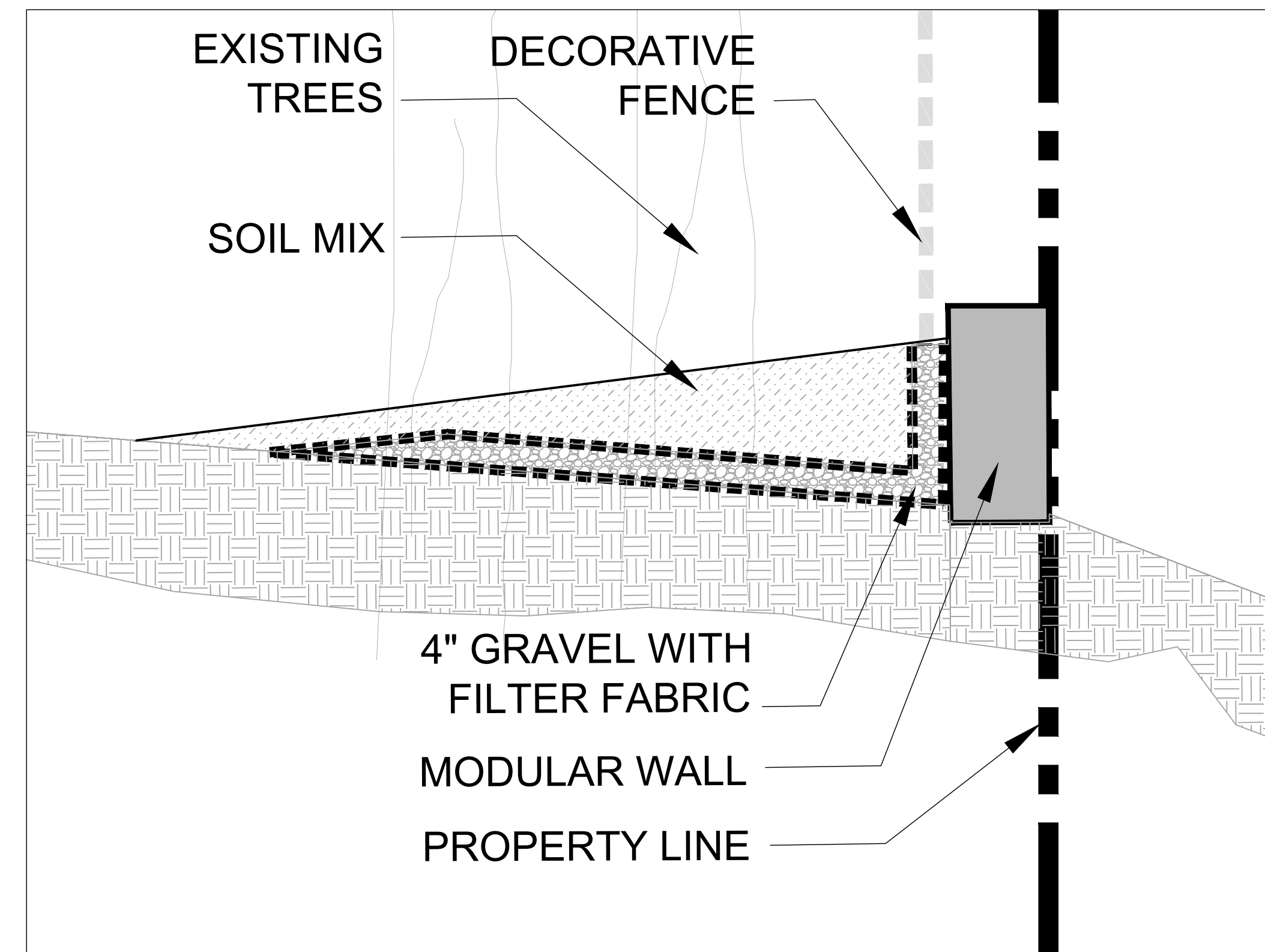
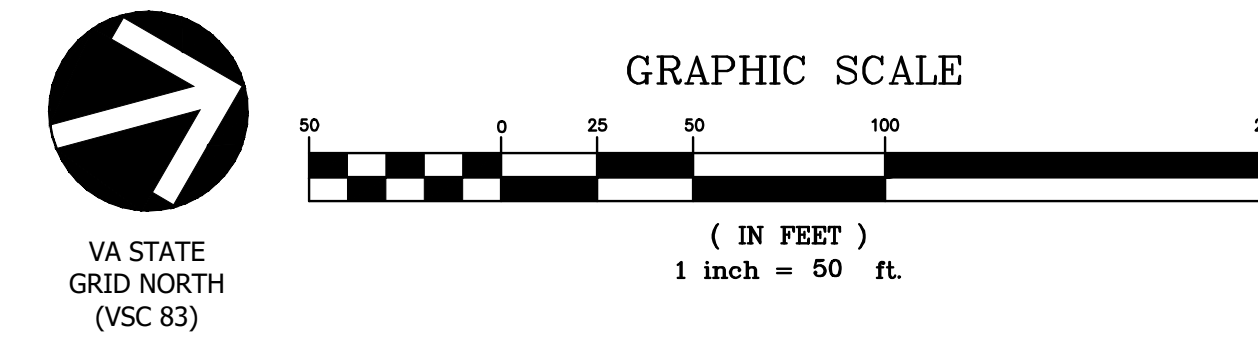
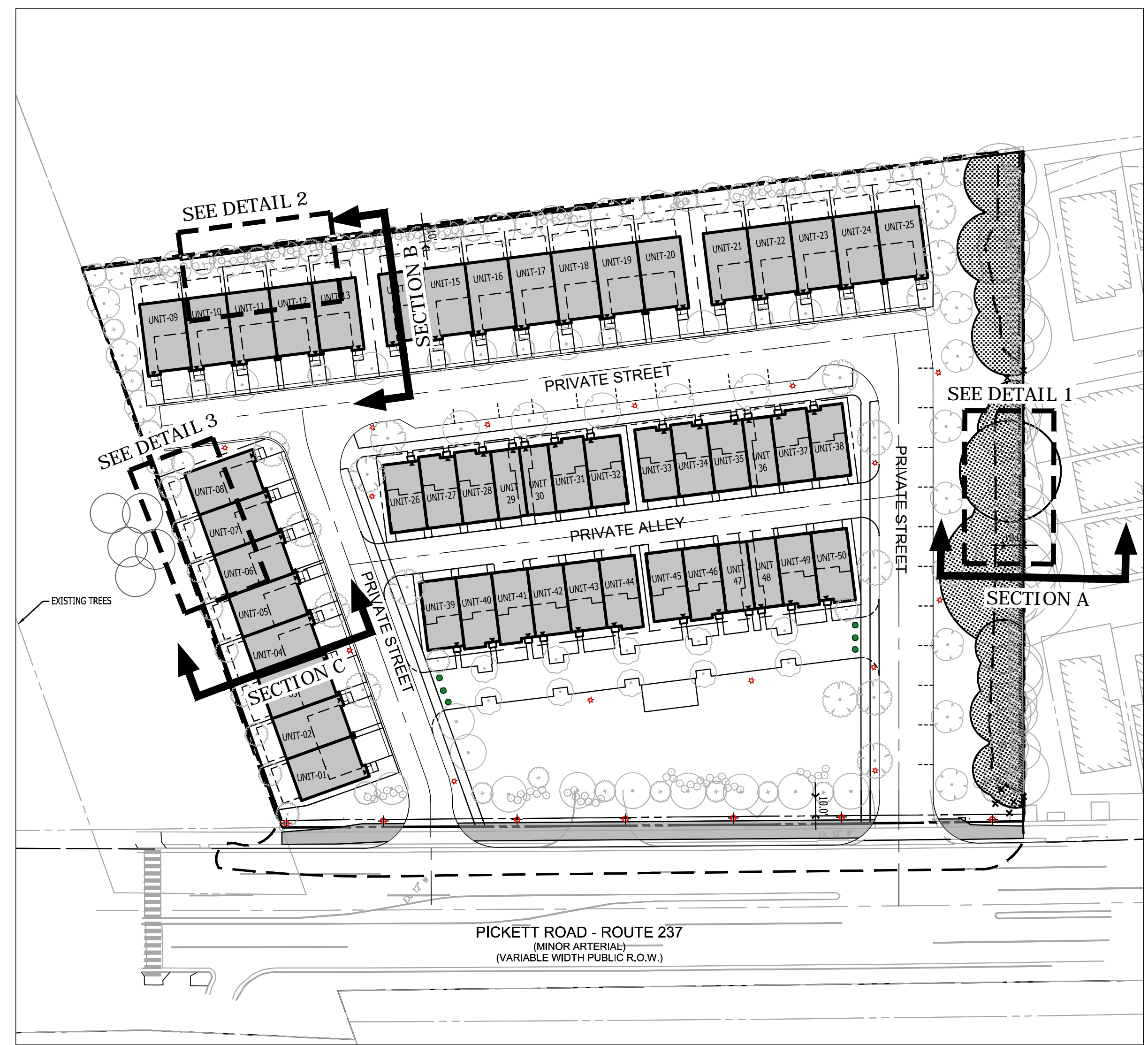
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SCALE: 1" = 10'



**Section C**  
SCALE: 1" = 20'



**Detail 3**  
SCALE: 1" = 10'

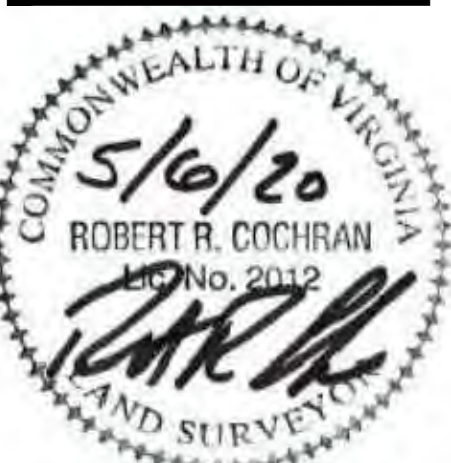


**Detail 4**  
NO SCALE

**VIVA**  
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REVISIONS	DATE
2ND SUBMISSION	02/07/2020
RESUBMISSION	04/10/2020
RESUBMISSION	05/06/2020



**3500 PICKETT ROAD**  
CITY OF FAIRFAX, VIRGINIA

**SITE SECTIONS**

DRAWN BY: \_\_\_\_\_  
DESIGNED BY: PR  
DATE ISSUED: NOVEMBER 22, 2019  
DWG. SCALE: AS SHOWN  
VIVA JOB NO.: WV7583C  
SHEET NO.: **C-14A**





DISTURBED AREA PRE-DEVELOPMENT LAND USE TOTALS (USED FOR VRRM)			
LAND USE TYPE:	AREA (ACRES)	SOIL TYPE	CN
EXISTING MANAGED TURF	1.38	95 (D)	80
EXISTING IMPERVIOUS AREA	2.94	95 (D)	98

- EXISTING MANAGED TURF
- EXISTING IMPERVIOUS AREA

**EXISTING CONDITIONS NARRATIVE**

THE SUBJECT 3.69 ACRE SITE WAS PREVIOUSLY DEVELOPED IN APRIL OF 1988 AND CONSISTS OF AN EXISTING CHURCH AND ASPHALT SURFACE PARKING LOT. THE AMOUNT OF EXISTING IMPERVIOUSNESS IS APPROXIMATELY 2.94 ACRES, WITH SOME EXISTING ON-SITE AND OFF-SITE STORMWATER MANAGEMENT (DETENTION ONLY) FACILITIES TREATING THE SITE.

PRIOR TO RE-DEVELOPMENT IN 1988, FOUR (4) EXISTING BELOW GRADE "GABION" STONE DETENTION PITS PROVIDED DETENTION FOR THE EXISTING SITE. WITH THE 1988 RE-DEVELOPMENT, DONE WITH THE 'CHURCH OF THE APOSTLES' SITE PLAN DATED APRIL 1988, PIT #1 WAS REMOVED AND REPLACED WITH A CMP DETENTION FACILITY AT THE SOUTHWEST CORNER OF THE SITE.

IN THE CURRENT EXISTING CONDITIONS, FOUR DETENTION FACILITIES REMAIN: CMP DETENTION PIPE, PIT #2, PIT #3AB, AND PIT #3CD. PER THE PREVIOUS SITE PLANS EACH OF THE FOLLOWING FACILITIES RECEIVES THE FOLLOWING:

FACILITY NAME	AREAS	ACRES	10-YEAR Q
CMP DET. PIPE	1A	1.37	4.85
PIT 2	2A	0.82	4.20
PIT 3AB	3C	0.21	1.06
PIT 3CD	3B, 3F	.54	1.85

AS SHOWN ON SHEET C-18 OF THIS PLAN, THE PREVIOUS SITE PLAN USED THESE FOUR FACILITIES TO PRODUCE A PEAK RELEASE RATE LESS THAN THE PRE-DEVELOPED (C=.30) SITE. THE CALCULATED 10-YEAR MAXIMUM ALLOWABLE RELEASE RATE FOR THE SITE IS CALCULATED BELOW:

**PRE-DEVELOPED**  
 SITE = 3.69 ACRES  
 C = 0.30  
 I = 6.77 IN/HR  
 Q = CIA = 7.49 CFS MAX ALLOWABLE RELEASE RATE

TO FURTHER ANALYZE THIS MAXIMUM ALLOWABLE 10-YEAR RELEASE, THE EXISTING OUTFLOWS FROM EACH FACILITY AND THE UNDETAINED RUNOFF WERE CALCULATED.

FACILITY NAME	10-YEAR OUTFLOW	ASSOCIATED OUTFALL
CMP DET. PIPE	0.96 CFS*	1
PIT 2	1.18 CFS*	2
PIT 3AB	0.78 CFS*	3
PIT 3CD	1.18 CFS*	3
UNDETAINED ON-SITE	3.31 CFS*	--
TOTAL	7.41 CFS	--

\*PER EXISTING PLAN, SEE SHEET C-18 OF THIS PLAN.

THE INFORMATION PROVIDED ABOVE ESTABLISHES A MAXIMUM 10-YEAR ALLOWABLE RELEASE RATE FOR EACH OF THE THREE OUTFALLS AS THE UNDETAINED RUNOFF. THESE PEAK FLOWS SHALL BE USED FOR PFM DETENTION COMPUTATIONS.

IT SHOULD BE NOTED THAT NONE OF THE EXISTING FACILITIES PROVIDE WATER QUALITY TREATMENT.



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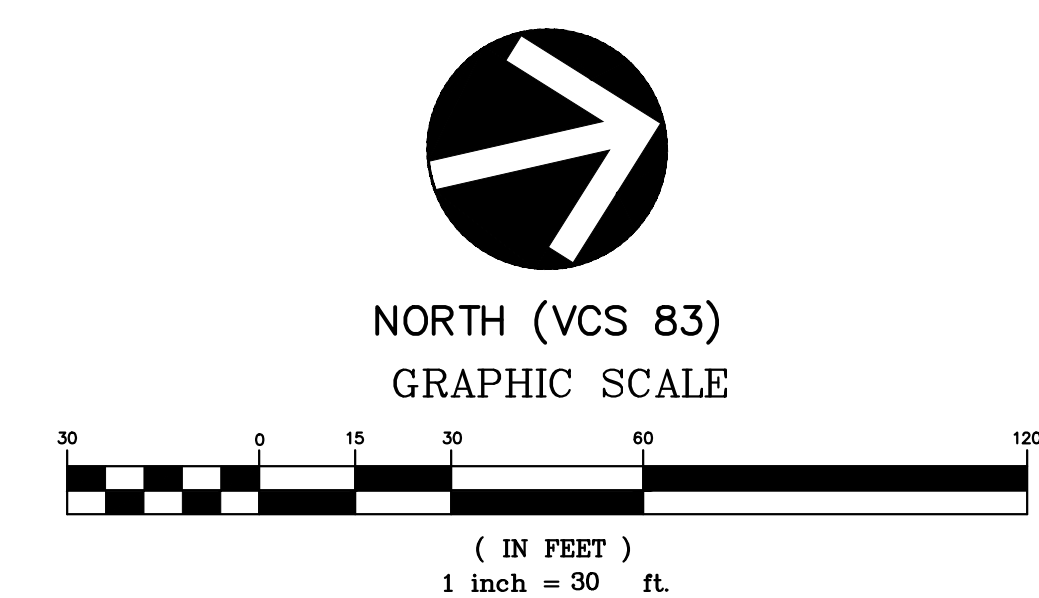
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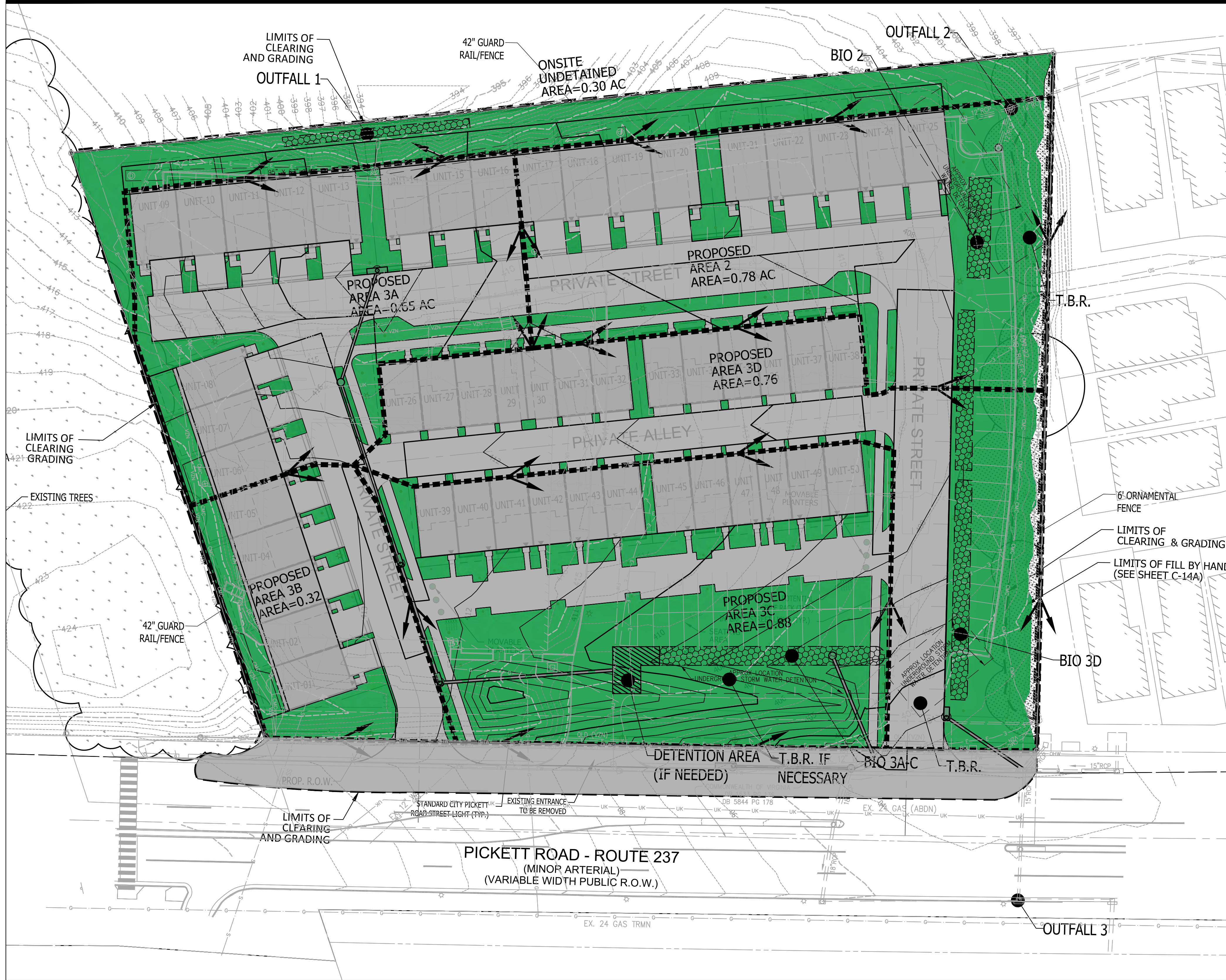
3500 PICKETT ROAD  
 CITY OF FAIRFAX, VIRGINIA

**EXISTING SWM MAP AND NARRATIVE**

DRAWN BY: DCZ  
 DESIGNED BY: KMO  
 DATE ISSUED: NOVEMBER 22, 2019  
 DWG. SCALE: 1" = 30'  
 VIKA JOB NO. WV7583C  
 SHEET NO. C-15



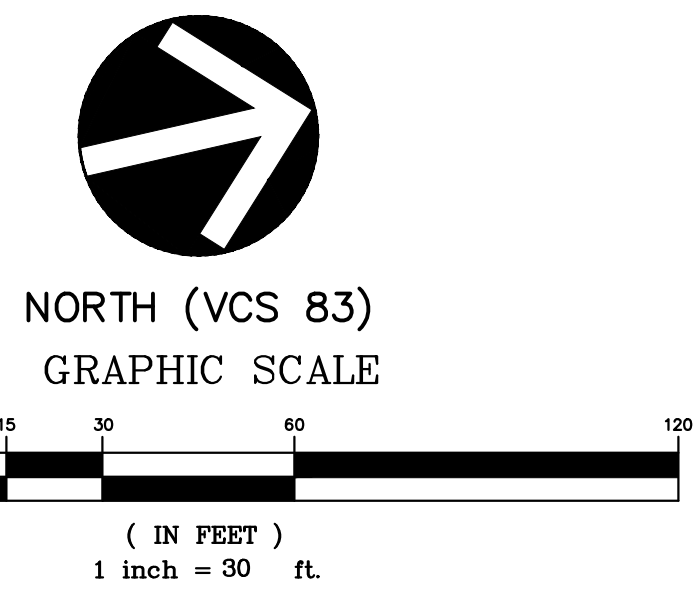




**DISTURBED AREA POST-DEVELOPMENT LAND USE TOTALS (USED FOR VRRM)**

LAND USE TYPE:	AREA (ACRES)	SOIL TYPE	CN
PROPOSED MANAGED TURF	1.51	95 (D)	80
PROPOSED IMPERVIOUS AREA	2.45	95 (D)	98

- PROPOSED MANAGED TURF
- PROPOSED IMPERVIOUS AREA
- PROPOSED STORMWATER FACILITY



**PROPOSED CONDITIONS NARRATIVE:**  
THE PROPOSED DEVELOPMENT WILL CONSIST OF A TOWNHOUSE DEVELOPMENT WITH PRIVATE ROADS AND OPEN SPACE AREAS. THE PROPOSED IMPERVIOUSNESS ASSOCIATED WITH THE IMPROVEMENTS IS 2.45 ACRES WHICH IS LESS THAN THE EXISTING TOTAL OF 2.94 ACRES.

**WATER QUALITY (VRRM):**  
TO MEET THE STATE VRRM PHOSPHORUS REDUCTION REQUIREMENT FOR REDEVELOPMENT, RUNOFF REDUCING PRACTICES HAVE BEEN PROPOSED ALONG WITH THE REDUCTION IN IMPERVIOUS AREA. THE PROPOSED FACILITIES CONSIST OF THREE LEVEL 1 BIO-RETENTION BASINS. THE BIO-RETENTION BASINS WILL TREAT A COMBINED TOTAL OF 0.90 ACRES OF IMPERVIOUS AREA AND 0.30 ACRES OF PERVIOUS AREA. THESE FACILITIES ARE LOCATED NEAR THE EXISTING DETENTION PITS (2, 3A, AND 3C). SIZING SPREADSHEETS AND DETAILS ARE PROVIDED ON SHEET C-13. VRRM SUMMARY TABLE SHOWING WATER QUALITY COMPLIANCE IS PROVIDED ON SHEET C-13.

**WATER QUANTITY (PFM DETENTION):**  
PER THE FAIRFAX CITY PFM, THE POST-DEVELOPED 10-YEAR PEAK RELEASE RATE MUST BE LESS THAN OR EQUAL TO THE PREDEVELOPED 10-YEAR RELEASE RATE. THE TRUE 'PREDEVELOPED' 10-YEAR PEAK RELEASE RATE FOR THE ENTIRE SITE IS 7.49 CFS. THIS EXISTING RELEASE RATE HAS BEEN FURTHER BROKEN DOWN INTO THREE INDIVIDUAL OUTFALLS. IN ORDER TO MEET THE INDIVIDUAL MAXIMUM ALLOWABLE RELEASE RATES AT OUTFALLS 1, 2 AND 3, STORMWATER MANAGEMENT FACILITIES WILL BE PROVIDED FOR EACH OUTFALL. THE LEVEL 1 BIO-RETENTION BASIN PROVIDED AT OUTFALL 2 WILL TREAT/DETAIN THE RUNOFF TO OUTFALL 2 TO AN EXTENT NECESSARY TO SATISFY THE PFM DETENTION REQUIREMENTS. THE LEVEL 1 BIO-RETENTION BASINS (3A-C, AND 3D) PROVIDED AT OUTFALL 3 WILL TREAT/DETAIN THE RUNOFF TO OUTFALL 3 TO AN EXTENT NECESSARY TO SATISFY THE PFM DETENTION REQUIREMENTS. ADDITIONAL ROUTING, DETENTION, AND INFILTRATION COMPUTATIONS WILL BE PROVIDED AT TIME OF FINAL SITE PLAN. THE FINAL LOCATION(S), CONFIGURATION, AND SIZING OF THE PROPOSED FACILITIES MAY BE ADJUSTED AT FINAL SITE PLAN.

**OUTFALL NARRATIVE:**  
THE SUBJECT PROPERTY IS IDENTIFIED ON THE FAIRFAX CITY TAX ASSESSMENT MAP 058-1-02-0021 AND IS LOCATED IN THE CITY OF FAIRFAX. THE SUBJECT PROPERTY IS BORDERED BY THE EXISTING BARRISTERS KEEPE NEIGHBORHOOD TO THE NORTH, AN EXISTING PETROLEUM PROCESSING FACILITY TO THE SOUTH, PICKETT ROAD TO THE EAST, AND AN EXISTING GOLF COURSE TO THE WEST. THE EXISTING CONDITIONS INCLUDE AN EXISTING CHURCH AND A PARKING LOT. THE EXISTING CONDITIONS ARE ASSUMED TO BE 1.38 ACRES MANAGED TURF AND 2.94 ACRES EXISTING IMPERVIOUS. THERE ARE THREE OUTFALLS FROM THE SITE, LABELED AS OUTFALLS #1, #2, AND #3 ON THE ADJACENT MAP. THROUGH A COMBINATION OF OVERLAND RUNOFF AND MANMADE STORMWATER CONVEYANCE SYSTEMS, THESE THREE POINTS CONVERGE WITHIN THE ACCOTINK CREEK WHICH IS AN EXISTING FLOOD PLAIN. A DETAILED DESCRIPTION OF THE THREE OUTFALLS IS PROVIDED BELOW:

**Outfall #1:**  
Outfall #1 in the post-developed condition will consist of un-detained managed turf area. This outfall will be in a sheet flow condition and will be conveyed in a westerly direction to the existing golf course. Runoff will continue, along with other unconcentrated sheet flow from the golf course, to Accotink Creek. The peak rate of runoff from the subject site will be reduced in the post-developed un-detained condition with a minor reduction in the area that is being directed towards this outfall. See below Minor Diversion section for detail.

**Outfall #2:**  
Outfall #2 is an existing closed conduit system that conveys flows, within an easement, through Barrister Keep to an existing detention facility. This outfall will continue until discharging into Accotink Creek. In order to ensure the existing closed conduit system downstream of Outfall #2 is adequate to convey the post-developed peak rate of runoff, it will be routed through Bio-Retention Pit #2 which will provide runoff reduction. Additionally, a minor diversion is proposed to slightly reduce the area draining to Outfall #2. See below Minor Diversion section for detail.

**Outfall #3:**  
Outfall #3 is an existing closed conduit system that is currently collecting and conveying runoff along Pickett Road. This outfall system is a closed conduit system that will eventually discharge into Accotink Creek. In order to ensure the adequacy of this outfall, bioretention pits are being proposed to reduce the peak flow rate from the post-developed area that will contribute drainage to this outfall. A minor diversion has slightly increased the drainage area to this outfall, but the increased drainage area is mitigated with the installation of the bioretention pits. See below Minor Diversion section for detail.

Please note that at site plan it is anticipated that the extent of the adequate outfall review will be downstream where the contributing drainage area from the site meets a comparison area that represents a confluence point of at least 90% or more per City Code section 124-4-4 (C)(6)D.

It is assumed that any storm drain pipes or conveyance systems into which the runoff will be conveyed have sufficient capacity and are therefore adequate. At site plan channel protection and flood protection requirements will be addressed per applicable City Code section 124-4-4.

**Minor Diversion:**  
As noted in the foreword of the City PFM, the execution of engineering design involves the judgement of the design engineer, with alternate designs being subject to the approval of the City Engineer. Per Section 6.2.4.5.C.2 of the City PFM, it is necessary to provide for a stormwater design that will provide downstream protection of the receiving channel(s). In order to achieve this goal for the subject plan, the applicant is proposing a minor diversion of drainage from outfall #1 and #2 to outfall #3. Because all of these outfalls are within the Accotink Creek drainage shed, natural drainage divides are being honored. By providing this minor diversion and appropriate on-site facilities for extended detention of the runoff from Outfall #3, the applicant is ensuring the drainage system will convey runoff into an adequate channel as required in the City PFM. It should be noted the minor diversion will reallocate minor drainage area from outfall #1 and #2 to outfall #3, and that outfall #3 discharges into Accotink Creek downstream of the points where outfalls #1 and #2 discharge into Accotink Creek. This fact, coupled with the fact that the extended detention at Outfall #3 will reduce the peak release rate from Outfall #3 to at or below pre-development conditions ensures there will be no adverse impact on the three (3) site outfalls.

It is the opinion of VIKVA Virginia that this project will have no adverse effect nor cause flooding on any downstream property or structure and that the outfalls above are adequate.



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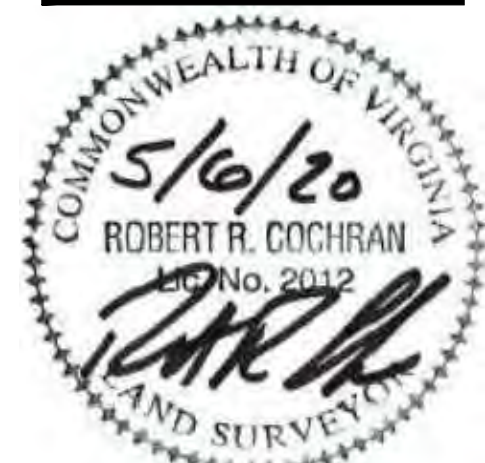
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REVISIONS	DATE
2ND SUBMISSION	02/07/2020
RESUBMISSION	04/10/2020
RESUBMISSION	05/06/2020



**3500 PICKETT ROAD**  
CITY OF FAIRFAX, VIRGINIA

**PROPOSED SWM MAP AND NARRATIVE**

DRAWN BY: DCZ  
DESIGNED BY: KMO  
DATE ISSUED: NOVEMBER 22, 2019  
DWG. SCALE: 1" = 30'  
VIKVA JOB NO. VV7583C  
SHEET NO. C-16

LAYOUT: C-16 PROPOSED SWM MAP AND NARRATIVE, Pktd by: ink



**VRRM SUMMARY SHEET**

**Site Summary**

Project Title: NA	Total Rainfall (in):	43
Date: 4/38/4	Total Disturbed Acreage:	3.96

**Site Land Cover Summary**

Pre-Development Land Cover (acres)	A Soils	B Soils	C Soils	D Soils	Totals	% of Total
Forest/Open (acres)	0.00	0.00	0.00	0.00	0.00	0
Managed Turf (acres)	0.00	0.00	0.00	1.38	1.38	35
Impervious Cover (acres)	0.00	0.00	0.00	2.58	2.58	65
					3.96	100

Post-Development Land Cover (acres)	A Soils	B Soils	C Soils	D Soils	Totals	% of Total
Forest/Open (acres)	0.00	0.00	0.00	0.00	0.00	0
Managed Turf (acres)	0.00	0.00	0.00	1.51	1.51	38
Impervious Cover (acres)	0.00	0.00	0.00	2.45	2.45	62
					3.96	100

**Site Tv and Land Cover Nutrient Loads**

	Final Post-Development (Post-Development & New Impervious)	Post-Development	Post-Development (New Impervious)	Adjusted Pre-Development
Site Rv	0.68	0.68	--	0.71
Treatment Volume (R <sup>3</sup> )	9,819	9,819	--	10,149
TP Load (lb/yr)	6.17	6.17	--	6.38

Pre-Development TP Load per acre (lb/acre/yr)	Final Post-Development TP Load per acre (lb/acre/yr)	Post-Development TP Load per acre (lb/acre/yr)
1.61	1.56	1.56

Total TP Load Reduction Required (lb/yr)	1.07	1.07	0
--	------	------	---

	Final Post-Development Load (Post-Development & New Impervious)	Pre-Development
TN Load (lb/yr)	44.13	45.62

**Site Compliance Summary**

Maximum % Reduction Required Below Pre-Development Load	20%
---	-----

	1,350
Total Runoff Volume Reduction (ft <sup>3</sup> )	1,350
Total TP Load Reduction Achieved (lb/yr)	1.17
Total TN Load Reduction Achieved (lb/yr)	9.70
Remaining Post Development TP Load (lb/yr)	5.00
Remaining TP Load Reduction (lb/yr) Required	0.00

**\*\* TARGET TP REDUCTION EXCEEDED BY 0.1 LB/YEAR \*\***

**Drainage Area Summary**

	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	Total
Forest/Open (acres)	0.00	0.00	0.00	0.00	0.00	0.00
Managed Turf (acres)	1.51	0.00	0.00	0.00	0.00	1.51
Impervious Cover (acres)	2.45	0.00	0.00	0.00	0.00	2.45
Total Area (acres)	3.96	0.00	0.00	0.00	0.00	3.96

**Drainage Area Compliance Summary**

	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	Total
TP Load Reduced (lb/yr)	1.17	0.00	0.00	0.00	0.00	1.17
TN Load Reduced (lb/yr)	9.70	0.00	0.00	0.00	0.00	9.70

**Drainage Area A Summary**

**Land Cover Summary**

	A Soils	B Soils	C Soils	D Soils	Total	% of Total
Forest/Open (acres)	0.00	0.00	0.00	0.00	0.00	0
Managed Turf (acres)	0.00	0.00	0.00	1.51	1.51	38
Impervious Cover (acres)	0.00	0.00	0.00	2.45	2.45	62
					3.96	

**BMP Selections**

Practice	Managed Turf Credit Area (acres)	Impervious Cover Credit Area (acres)	BMP Treatment Volume (R <sup>3</sup> )	TP Load from Upstream Practices (lbs)	Untreated TP Load to Practice (lbs)	TP Removed (lb/yr)	TP Remaining (lb/yr)	Downstream Treatment to be Employed
G.a. Bioretention #1 or Micro-Bioretention #1 or Urban Bioretention (Spec #9)	0.5	1.25	4,764.38	0.00	2.99	1.64	1.35	

Total Impervious Cover Treated (acres)	0.90
Total Turf Area Treated (acres)	0.30
Total TP Load Reduction Achieved in D.A. (lb/yr)	1.17
Total TN Load Reduction Achieved in D.A. (lb/yr)	9.70

**Runoff Volume and CN Calculations**

Target Rainfall Event (in)	1-year storm	2-year storm	10-year storm
	2.62	3.17	4.87

Drainage Areas	RV & CN	Drainage Area A	Drainage Area B	Drainage Area C	Drainage Area D	Drainage Area E
CN		91	0	0	0	0
RR (ft <sup>3</sup> )		1,350	0	0	0	0
1-year return period	RV w RR (w-in)	1.72	0.00	0.00	0.00	0.00
	RV w RR (w-in)	1.63	0.00	0.00	0.00	0.00
	CN adjusted	90	0	0	0	0
2-year return period	RV w RR (w-in)	2.23	0.00	0.00	0.00	0.00
	RV w RR (w-in)	2.14	0.00	0.00	0.00	0.00
	CN adjusted	90	0	0	0	0
10-year return period	RV w RR (w-in)	3.86	0.00	0.00	0.00	0.00
	RV w RR (w-in)	3.76	0.00	0.00	0.00	0.00
	CN adjusted	90	0	0	0	0

**BIO-RETENTION SIZING**

**BIORETENTION BASIN #2 COMPUTATIONS**

Impervious DA to Bioretention=	0.42 acres
Pervious DA to Bioretention=	0.16 acres
Rv=	0.37
1" Water Quality Volume=	772 ft <sup>3</sup>

Minimum Required Surface Area=	406 ft <sup>2</sup>
Provided Surface Area=	625 ft <sup>2</sup>
Void Ratio of Ponding (6")=	1
Void Ratio of Soil Media=	0.25
Void Ratio of 12" Stone Sump=	0.4
Design Depth of Media Filter=	4.0 ft
Storage Depth of Bioretention Filter=	1.90 ft

Provided Storage Volume=	1187.5 ft <sup>3</sup>
--------------------------	------------------------

**BIORETENTION BASIN #3D COMPUTATIONS**

Impervious DA to Bioretention=	0.42 acres
Pervious DA to Bioretention=	0.16 acres
Rv=	0.76
1" Water Quality Volume=	1600 ft <sup>3</sup>

Minimum Required Surface Area=	842 ft <sup>2</sup>
Provided Surface Area=	1125 ft <sup>2</sup>
Void Ratio of Ponding (6")=	1
Void Ratio of Soil Media=	0.25
Void Ratio of 12" Stone Sump=	0.4
Design Depth of Media Filter=	4.0 ft
Storage Depth of Bioretention Filter=	1.90 ft

Provided Storage Volume=	2138 ft <sup>3</sup>
--------------------------	----------------------

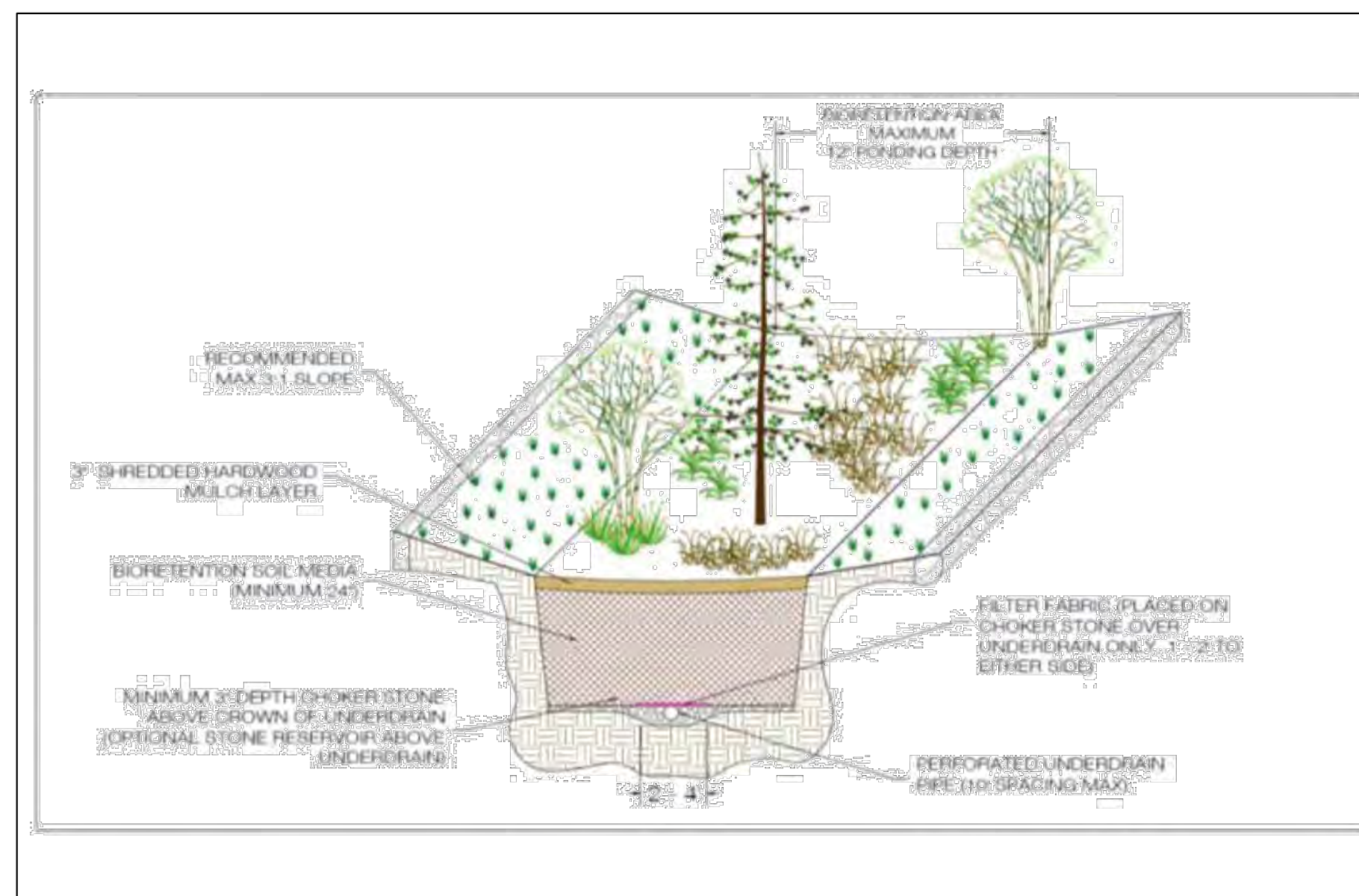
**BIORETENTION BASIN #3A-C COMPUTATIONS**

Impervious DA to Bioretention=	0.42 acres
Pervious DA to Bioretention=	0.16 acres
Rv=	0.37
1" Water Quality Volume=	772 ft <sup>3</sup>

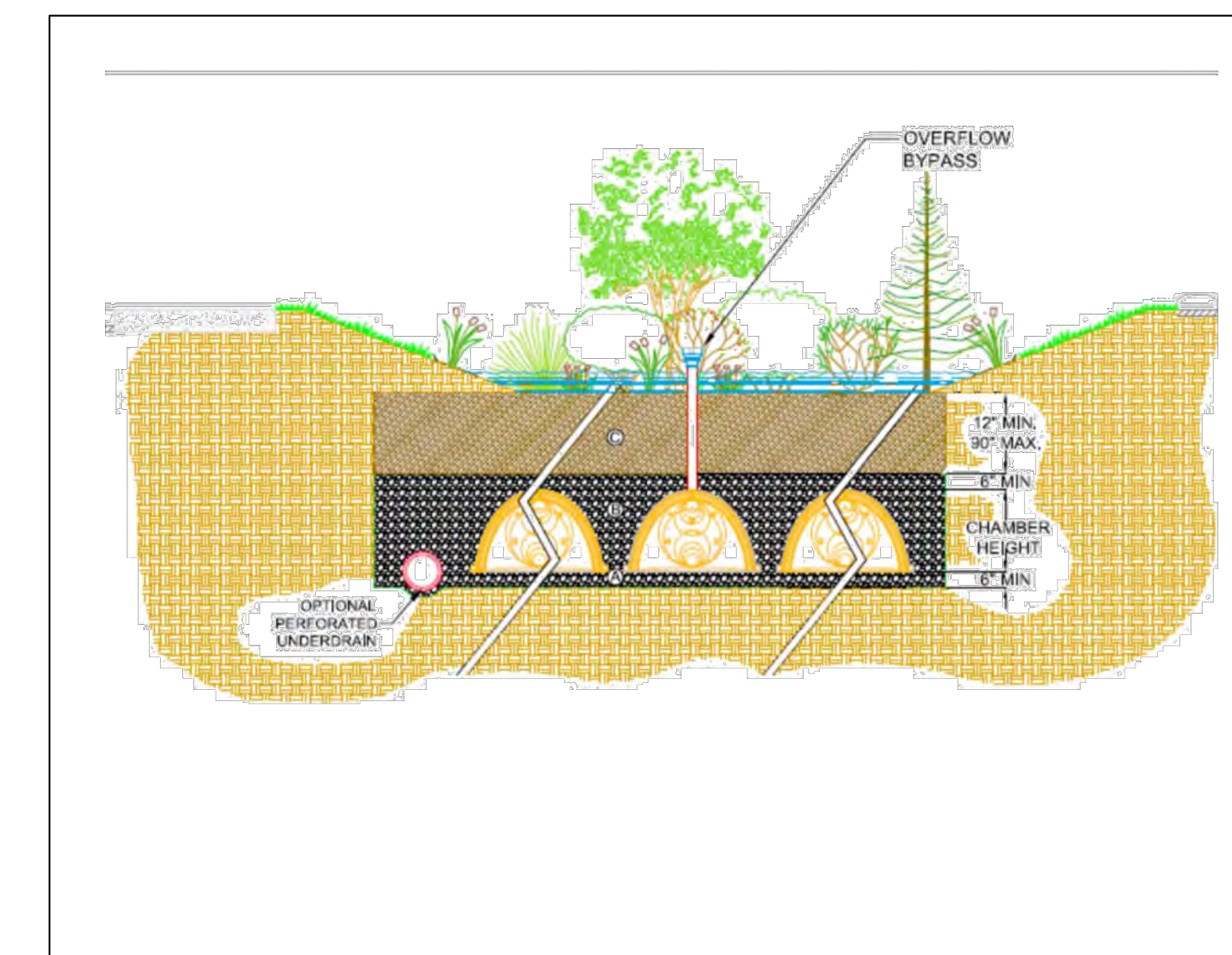
Minimum Required Surface Area=	406 ft <sup>2</sup>
Provided Surface Area=	1178 ft <sup>2</sup>
Void Ratio of Ponding (6")=	1
Void Ratio of Soil Media=	0.25
Void Ratio of 12" Stone Sump=	0.4
Design Depth of Media Filter=	4.0 ft
Storage Depth of Bioretention Filter=	1.90 ft

Provided Storage Volume=	2238.2 ft <sup>3</sup>
--------------------------	------------------------

**TYPICAL DETAILS**



TYPICAL LEVEL 1 BIO-RETENTION BASIN



TYPICAL UNDERGROUND DETENTION CHAMBER



ENGINEERING SURVEYING/GEOMATICS  
LANDSCAPE ARCHITECTURE PLANNING  
VIKA VIRGINIA, LLC  
8180 GREENSBORO DRIVE SUITE 200  
TYSONS, VIRGINIA 22102  
PHONE: (703) 442-7800  
FAX: (703) 761-2787  
TYSONS, VA. GERMANTOWN, MD.

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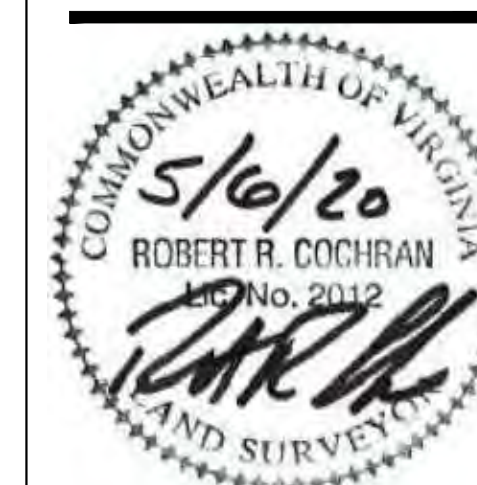
© 2019 VIKA VIRGINIA, LLC

DEVELOPER  
EYA DEVELOPMENT LLC  
4800 HAMPTON LANE  
SUITE 300  
BETHESDA, MD 20814  
301-634-8614

LAND USE ATTORNEY:  
COOLEY LLP  
11951 FREEDOM DRIVE  
RESTON, VA 20190-5656  
ATTN: MARK LOONEY  
(703) 456-8039

LANDSCAPE ARCHITECT:  
STUDIO 39  
6416 GROVEDALE DRIVE  
ALEXANDRIA, VA 22310  
ATTN: JOE PLUMPE  
(703) 719-6500

REVISIONS	DATE
2ND SUBMISSION	02/07/2020
RESUBMISSION	04/10/2020
RESUBMISSION	05/06/2020



3500 PICKETT ROAD  
CITY OF FAIRFAX, VIRGINIA

**SWM COMPUTATIONS AND DETAILS**

DRAWN BY: DCZ  
DESIGNED BY: KMO  
DATE ISSUED: NOVEMBER 22, 2019  
DWG. SCALE: N/A  
VIKA JOB NO. VV7583C  
SHEET NO. C-17





ENGINEERING SURVEYING/GEOMATICS  
LANDSCAPE ARCHITECTURE PLANNING  
VIKA VIRGINIA, LLC  
8180 GREENSBORO DRIVE SUITE 200  
TYSONS, VIRGINIA 22102  
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TYSONS, VA. GERMANTOWN, MD.

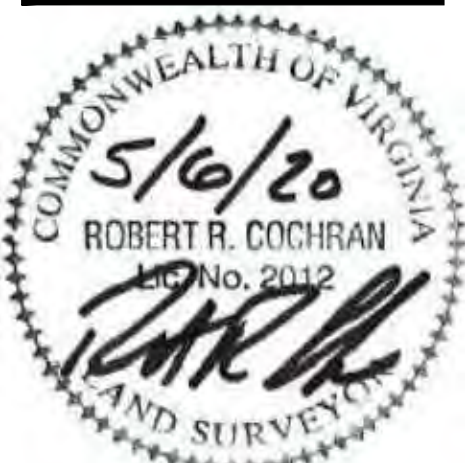
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REVISIONS	DATE
2ND SUBMISSION	02/07/2020
RESUBMISSION	04/10/2020
RESUBMISSION	05/06/2020



3500 PICKETT ROAD  
CITY OF FAIRFAX, VIRGINIA

EXISTING SWM PLAN

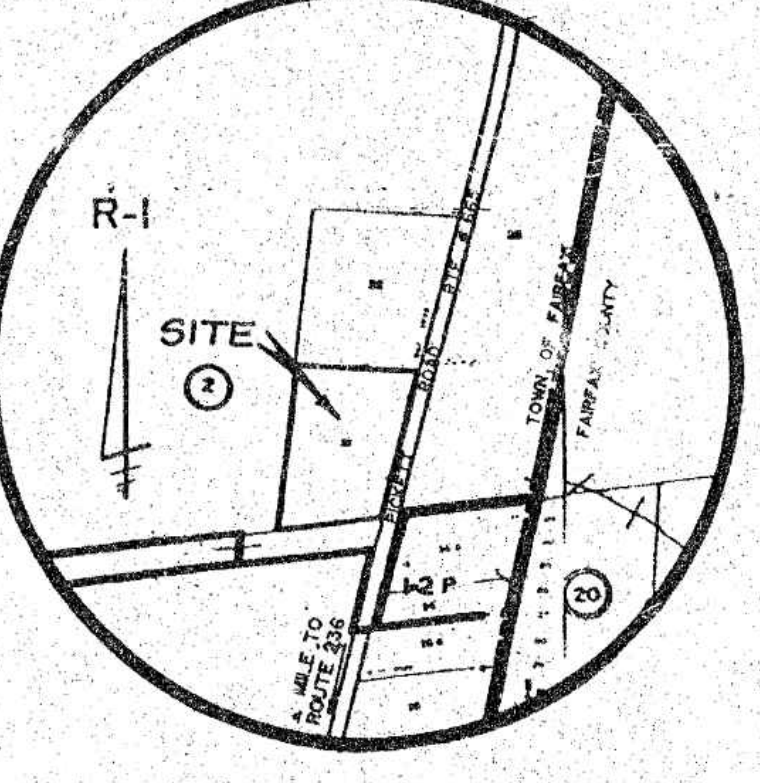
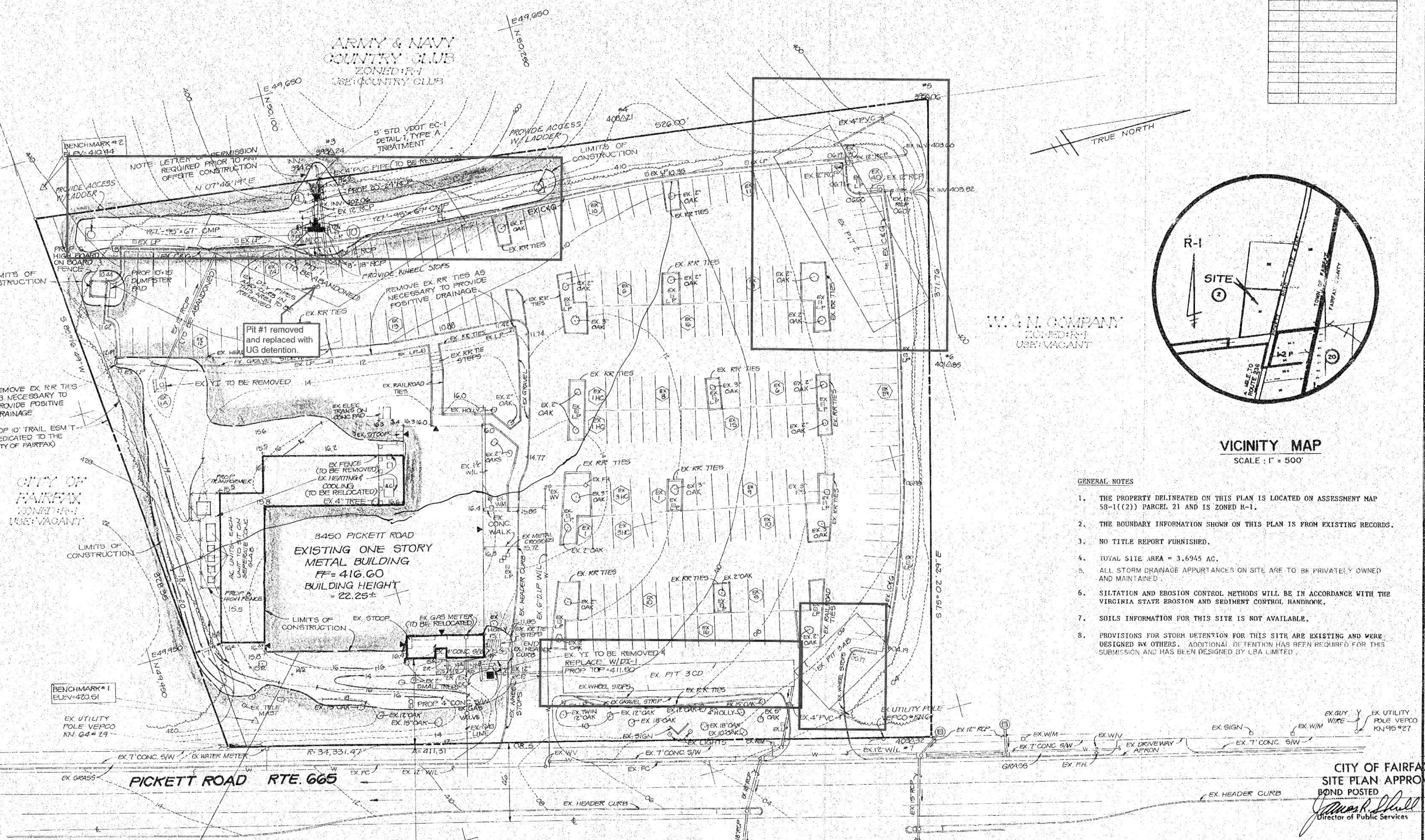
DRAWN BY: DCZ  
DESIGNED BY: KMO  
DATE ISSUED: NOVEMBER 22, 2019  
DWG. SCALE: N/A  
VIKA JOB NO.: WV7583C  
SHEET NO.: C-18

REVISION	
DATE	DESCRIPTION

- C.S. Tests to be performed for soil determination of foundation (including prior to construction). Depth of subsurface to be tested shall be 10' below finished floor level. If soil is not suitable for use, a soil report shall be submitted to the City of Fairfax for review and approval.
- The contractor shall provide adequate means for parking construction equipment and provide adequate parking on site.
- Contractors will notify the Public Works Department (Facilities Inspector) of 335-7828 or 335-7900 for all work on streets 10' off site one day prior to starting. Inspections of all work shall be required.
- All construction shall conform to the latest City of Fairfax standards and the Virginia Department of Highways & Transportation 1995 specifications except as shown or altered by these plans.
- Facilities Inspector will need a four (4) hour notice prior to making inspections.
- It shall be the contractor's responsibility to perform the work in such a manner to prevent the widening of any curbs, sidewalks, or other adjacent properties.
- The permittee shall provide adequate means of cleaning trucks and/or other equipment of mud prior to entering the city rights-of-way. It is the permittee's responsibility to clean streets and sidewalks and to take whatever measures necessary to insure that the roads are maintained in a clean and dust-free condition at all times.
- All curb and gutter shown on plans and not in profiles shall be on straight tangent grades. The contractor shall round all vertical breaks with smooth spline curves.
- All base and sub-base material shall be compacted to 92% of theoretical maximum density as determined by A.S.T.M. D-1557 Method A within 10' of surface of any sub-base material, curb and gutter, or any dedicated right-of-way and all commercial, commercial and industrial parking lots, private streets, parking bays, curb and gutter and sidewalks and parking lots. To include storm sewer, sanitary sewer and water.
- Plans and specifications must conform to the requirements set forth in the City of Fairfax Code as amended and in the Public Works Manual.
- All underground utilities within the street right-of-way shall be installed to the required depth beyond the right-of-way line prior to the installation of any sub-base material, curb and gutter, or sidewalk. Areas of placement on all utilities are to be submitted to the City of Fairfax for approval prior to placement.
- Storm sewer and surface pipe shall be reinforced concrete pipe to conform to the current A.S.T.M. D-2081 description R10, unless otherwise designated on the plans. Class II pipe will be required within the limits of street right-of-way. Class III pipe will be required within the limits of the right-of-way.
- All sidewalks, curb and gutters, driveways, streets, storm sewer, water lines, sanitary sewer, conduits, and fire lines will be installed by the City. All work in the city streets will be performed between the hours of 9:00 a.m. and 3:30 p.m. Contact Mr. Bob Shillingburg at 335-7828 for instructions.
- Traffic signs found to be in the way at construction sites shall be removed or relocated only by personnel to the sign and sign division of the City of Fairfax's Public Works Department at the contractor's specific request. Any contractor found responsible for moving City property without permission will receive a citation. All street markings will be done by the City of Fairfax.
- Construction work may be performed by the contractor. Subgrade for curb and gutter and sidewalk will be every 50' sub-base will be alternate every 25'. Subgrade for curbs and sidewalks on streets and sub-base. Copy of results is required prior to placing by type of material. All structures require 12' tests on subgrade and sub-base.
- Construction tests for roadways are performed by City only, unless approved by City of Fairfax Inspector.
- All erosion siltation control to be installed prior to start of project, to conform to the current Virginia Erosion and Sediment Control.
- Inspections on all buildings, plumbing and electrical, are performed by the building inspectors. Contact Office of Inspections at 335-7828.
- Pre-construction meeting will be required at least three (3) days prior to starting. Contact Bob Shillingburg at 335-7828.
- All pavement placed on City right-of-way must have a minimum approved prior to placing material.
- Provide proper distance from back of sidewalk to building to streets and signs, etc.
- All trees, ground areas, yards, curbs and conduits shall be protected into a separate storm sewer, or a combined sewer system.
- No portion of this building shall be occupied until a certificate of occupancy has been obtained.

AREA TABULATION	
EXISTING USE GROUP:	A4/CHURCH
EXISTING BUILDING AREA:	12,500 SQ. FT.
PROPOSED ADDITION:	5,100 SQ. FT.
TOTAL BUILDING AREA:	17,600 SQ. FT.
EXISTING SEATING CAPACITY:	700 SEATS
PARKING REQUIREMENTS:	
TOTAL SPACES REQUIRED:	700 SEATS/4 = 175 SPACES
TOTAL HANDICAPPED PARKING REQUIRED:	3 SPACES
EXISTING REGULAR SPACES PROVIDED:	211 SPACES
EXISTING HANDICAP SPACES PROVIDED:	8 SPACES
TOTAL EXISTING SPACES PROVIDED:	219 SPACES
SET BACKS:	FRONT: 50' SIDE: 15' REAR: 25'
DECK SPACE PROVIDED:	NONE

CONCRETE DUMPSTER PAD  
TYPICAL SECTION  
(NOT TO SCALE)



- GENERAL NOTES
- THE PROPERTY DELINEATED ON THIS PLAN IS LOCATED ON ASSESSMENT MAP 58-1(2) PARCEL 21 AND IS ZONED R-1.
  - THE BOUNDARY INFORMATION SHOWN ON THIS PLAN IS FROM EXISTING RECORDS.
  - NO TITLE REPORT FURNISHED.
  - TOTAL SITE AREA = 3.6945 AC.
  - ALL STORM DRAINAGE APPURTANCES ON SITE ARE TO BE PRIVATELY OWNED AND MAINTAINED.
  - SILTATION AND EROSION CONTROL METHODS WILL BE IN ACCORDANCE WITH THE VIRGINIA STATE EROSION AND SEDIMENT CONTROL HANDBOOK.
  - SOILS INFORMATION FOR THIS SITE IS NOT AVAILABLE.
  - PROVISIONS FOR STORM DETENTION FOR THIS SITE ARE EXISTING AND WERE DESIGNED BY OTHERS. ADDITIONAL DETENTION HAS BEEN REQUIRED FOR THIS SUBMISSION AND HAS BEEN DESIGNED BY LBA LIMITED.

CITY OF FAIRFAX  
SITE PLAN APPROVED  
BOND POSTED  
*James R. Shillingburg*  
Director of Public Services  
Date: 05/18/20

ALL CONSTRUCTION SHALL CONFORM TO CITY OF FAIRFAX AND/OR VDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.  
THE EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK AND FOR ANY DAMAGES WHICH MIGHT OCCUR BY HIS FAILURE TO LOCATE OR PRESERVE THESE UNDERGROUND UTILITIES. IF DURING CONSTRUCTION OPERATIONS THE CONTRACTOR SHOULD ENCOUNTER UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS, HE SHALL IMMEDIATELY NOTIFY THE ENGINEER AND TAKE NECESSARY AND PROPER STEPS TO PROTECT THE FACILITY AND ASSURE THE CONTINUANCE OF SERVICE.  
ALL CONSTRUCTION SHALL COMPLY WITH THE LATEST U.S. DEPT. OF LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION RULES AND REGULATIONS.



REVISIONS	SITE PLAN	APRIL 1988

OWNER/DEVELOPER  
CHURCH OF THE APOSTLE  
3500 PICKETT ROAD  
FAIRFAX, VIRGINIA 22031  
TELEPHONE: (703) 696-1574

FOR INFORMATION ONLY

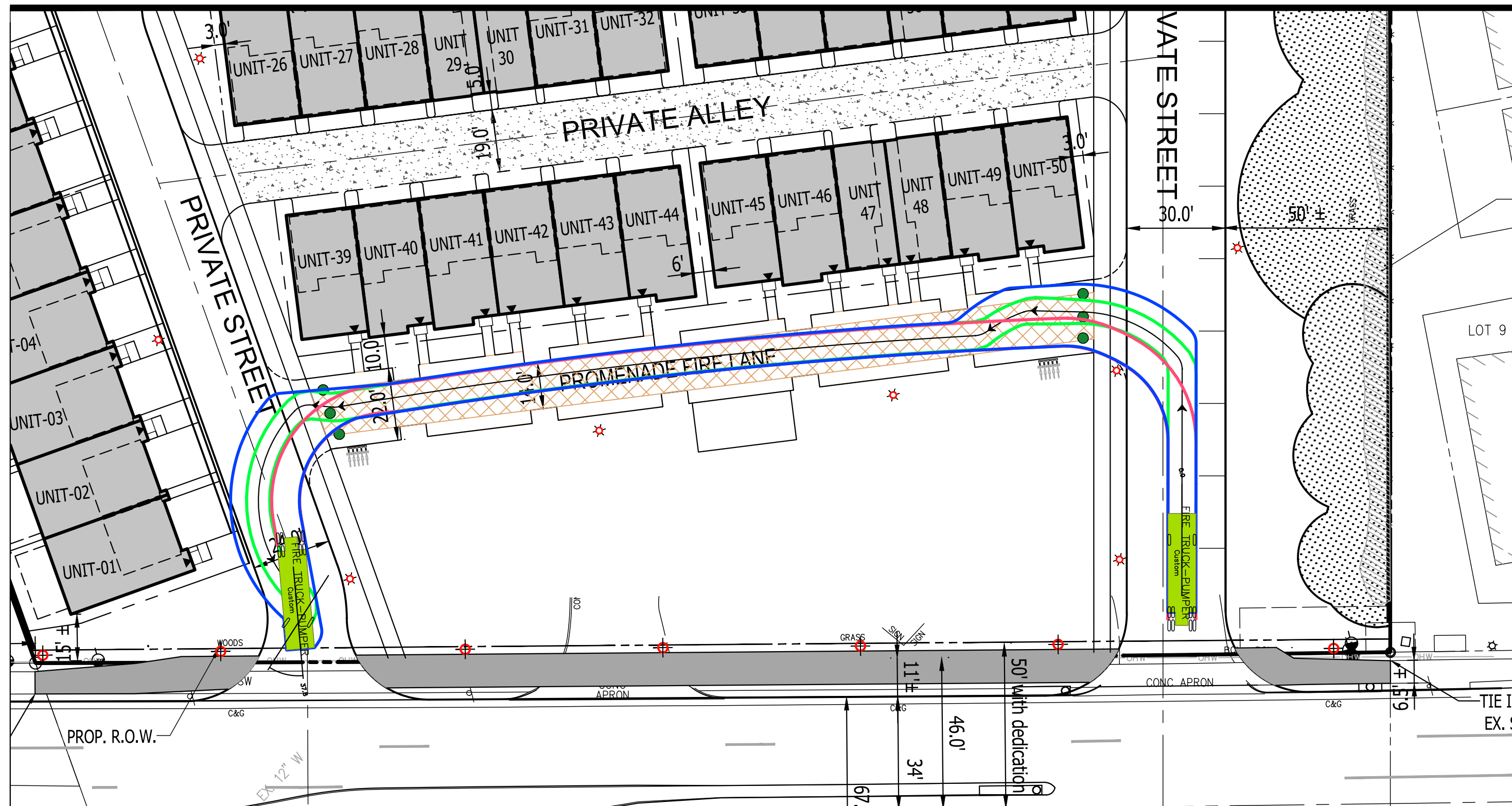
STREET DIVISION

LAYOUT: C-18 EXISTING SWM PLAN, Plotted By: kmo









**FIRE TRUCK - PUMPER**



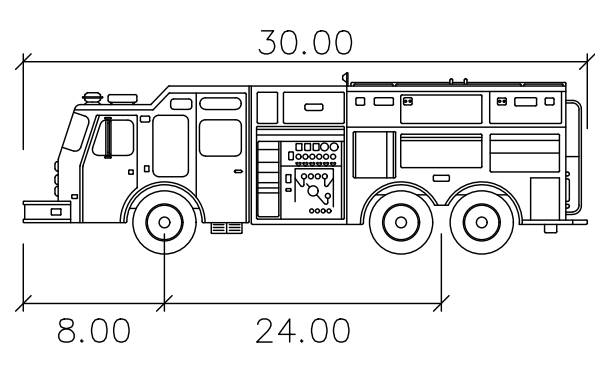
**FRONT LOAD - TRASH TRUCK**



**FIRE TRUCK - PUMPER**

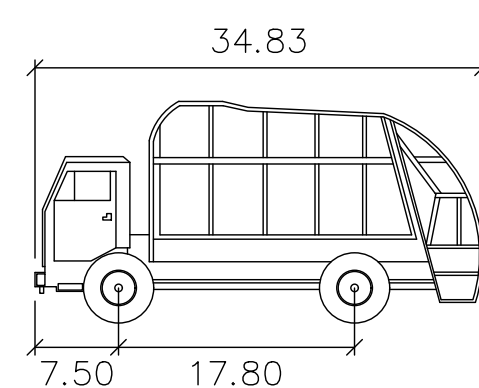


**FRONT LOAD - TRASH TRUCK**



**FIRE TRUCK - PUMPER**

	feet
Width	: 8.50
Track	: 8.50
Lock to Lock Time	: 6.0
Steering Angle	: 37.8

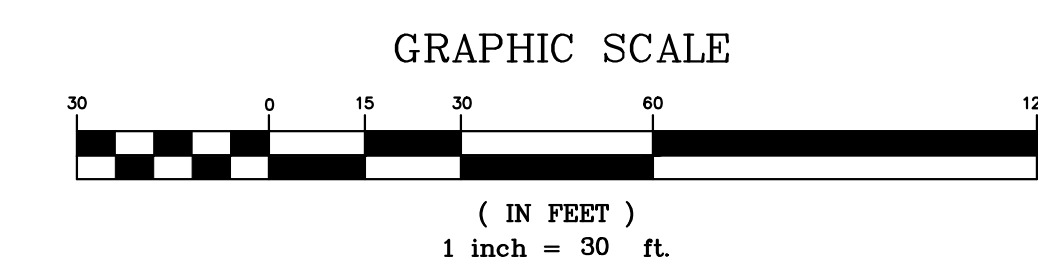


**BFI**

	feet
Width	: 8.00
Track	: 8.00
Lock to Lock Time	: 6.0
Steering Angle	: 25.7

**LEGEND**

- FRONT TIRES
- REAR TIRES
- VEHICLE BODY



**VIVA**  
 ENGINEERING SURVEYING/GEOMATICS  
 LANDSCAPE ARCHITECTURE PLANNING  
**VIVA VIRGINIA, LLC**  
 8180 GREENSBORO DRIVE SUITE 200  
 TYSONS, VIRGINIA 22102  
 PHONE: (703) 442-7800  
 FAX: (703) 761-2787  
 TYSONS, VA. GERMANTOWN, MD.

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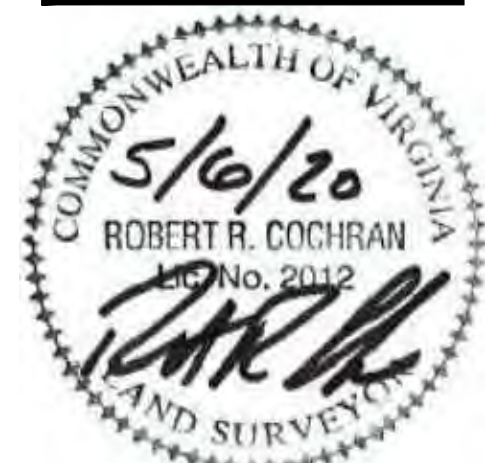
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**DEVELOPER**  
 EYA DEVELOPMENT LLC  
 4800 HAMPTON LANE  
 SUITE 300  
 BETHESDA, MD 20814  
 301-634-8614

**LAND USE ATTORNEY:**  
 COOLEY LLP  
 11951 FREEDOM DRIVE  
 RESTON, VA 20190-5656  
 ATTN: MARK LOONEY  
 (703) 456-8039

**LANDSCAPE ARCHITECT:**  
 STUDIO 39  
 6416 GROVEDALE DRIVE  
 ALEXANDRIA, VA 22310  
 ATTN: JOE PLUMPE  
 (703) 719-6500

REVISIONS	DATE
2ND SUBMISSION	02/07/2020
RESUBMISSION	04/10/2020
RESUBMISSION	05/06/2020



**3500 PICKETT ROAD**  
 CITY OF FAIRFAX, VIRGINIA

**AUTOTURN EXHIBIT**

DRAWN BY: RYM  
 DESIGNED BY: PR  
 DATE ISSUED: NOVEMBER 22, 2019  
 DWG. SCALE: AS SHOWN  
 VIVA JOB NO.: WV7583C  
 SHEET NO.: **C-20**





ENGINEERING SURVEYING/GEOMATICS  
 LANDSCAPE ARCHITECTURE PLANNING  
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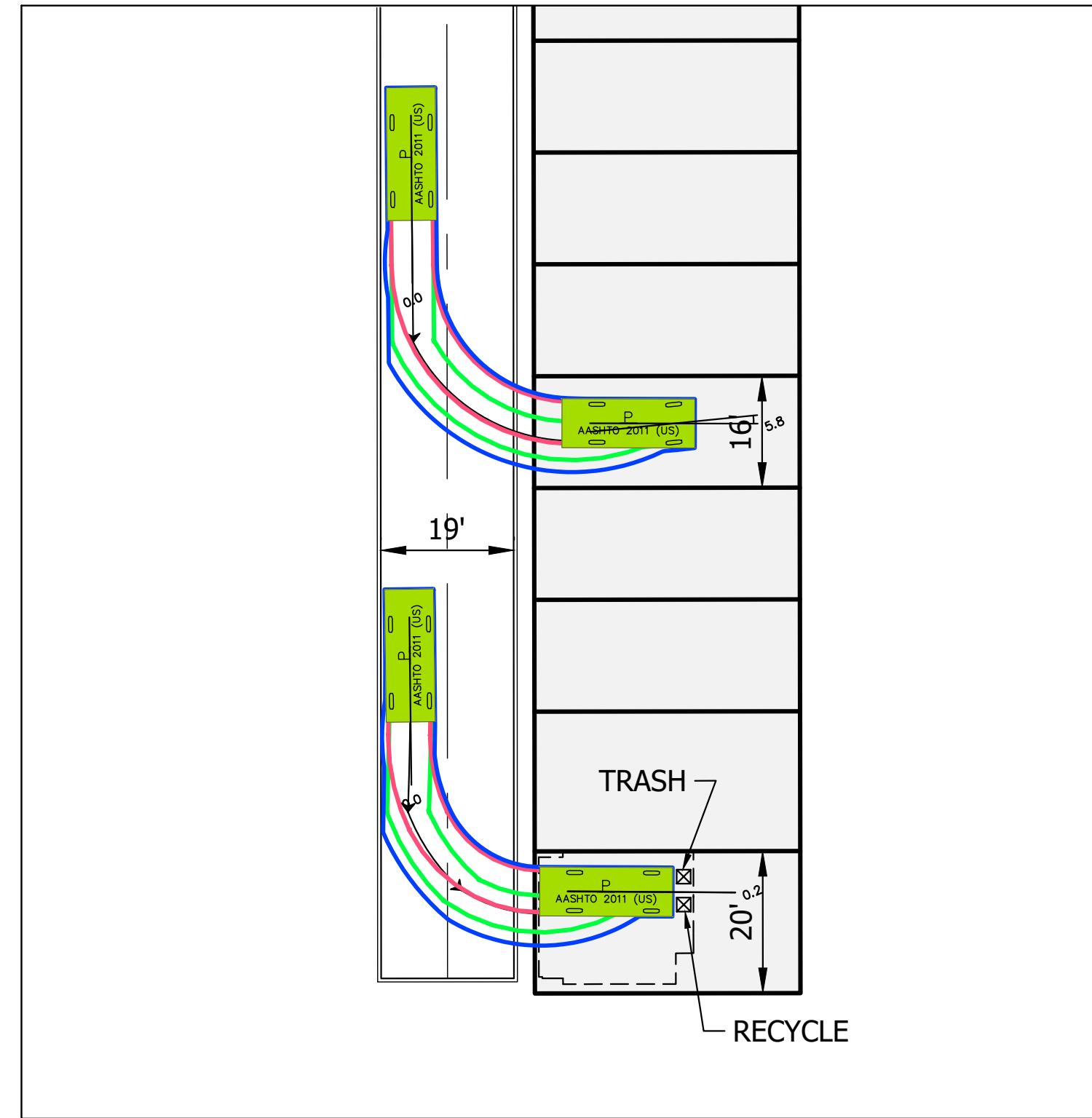
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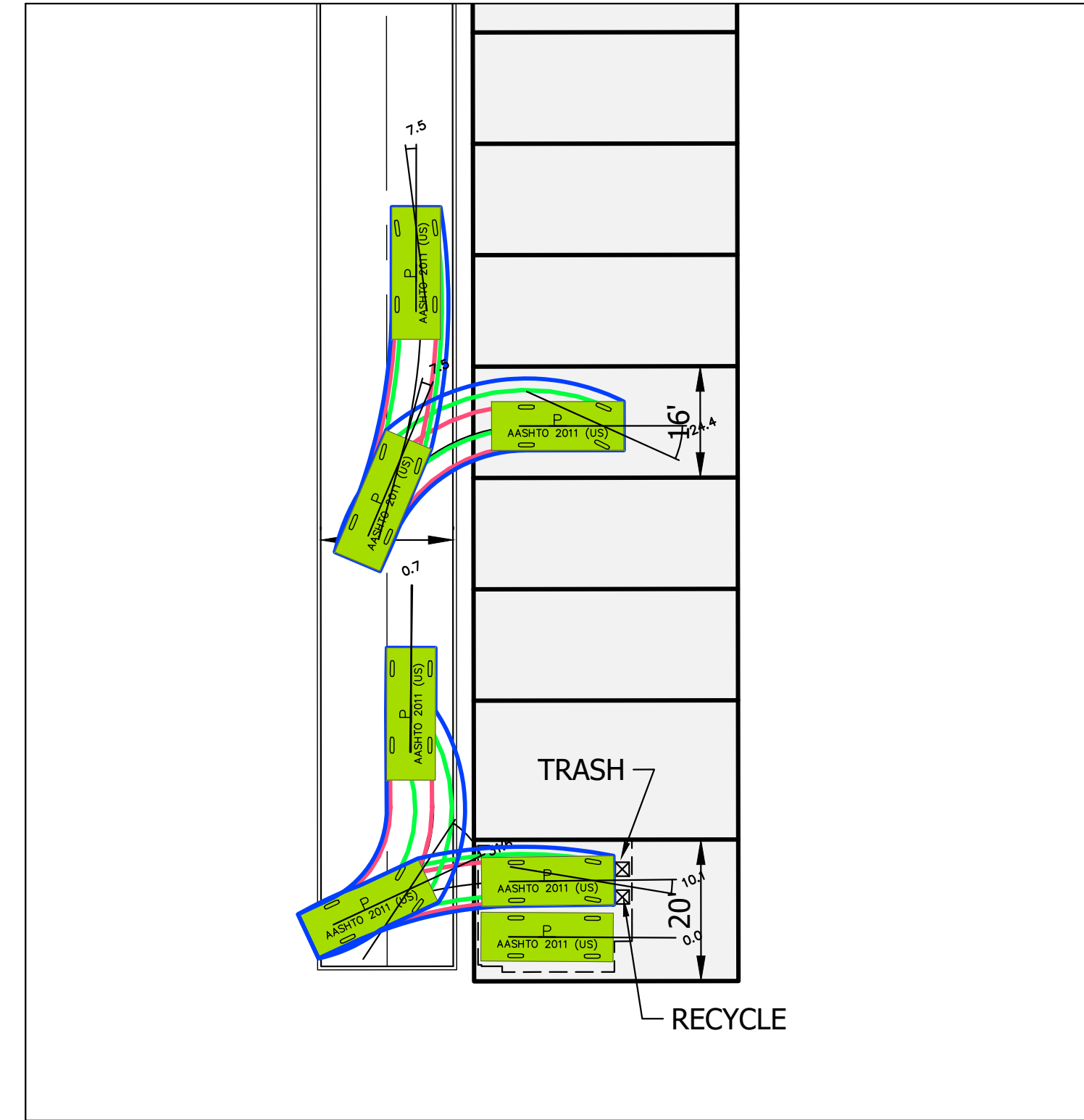
**LAND USE ATTORNEY:**  
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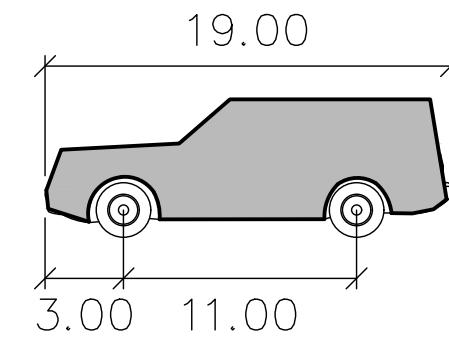
REVISIONS	DATE
2ND SUBMISSION	02/07/2020
RESUBMISSION	04/10/2020
RESUBMISSION	05/06/2020



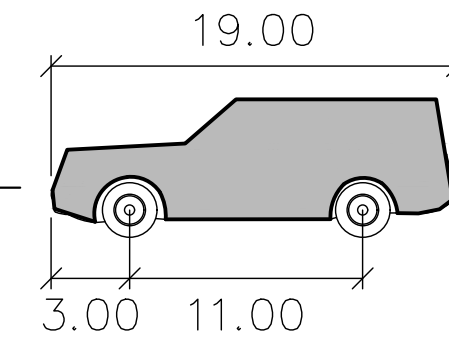
LARGE VEHICLE/SUV  
 PULLING IN (16' & 20' UNIT)



LARGE VEHICLE/SUV PULLING  
 OUT (16' & 20' UNIT)



GRAPHIC SHOWN MEETS SUV  
 LENGTH DIMENSIONS

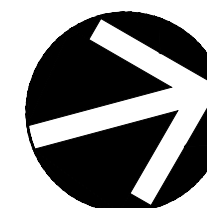
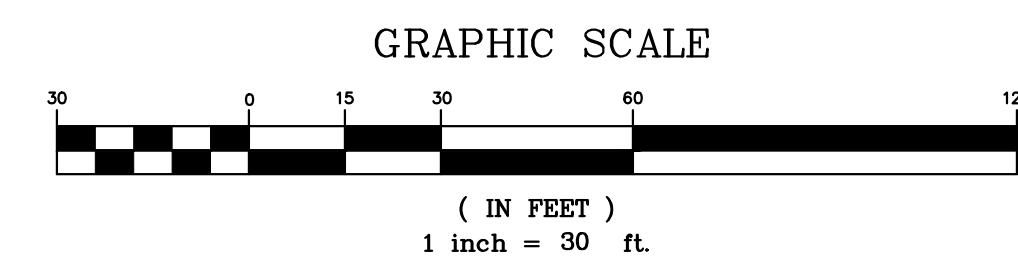


P

Width	: 7.00	<b>LEGEND</b> 	FRONT TIRES
Track	: 6.00		REAR TIRES
Lock to Lock Time	: 6.0		VEHICLE BODY
Steering Angle	: 31.6		

P

Width	: 7.00	<b>LEGEND</b> 	FRONT TIRES
Track	: 6.00		REAR TIRES
Lock to Lock Time	: 6.0		VEHICLE BODY
Steering Angle	: 31.6		



VA STATE  
 GRID NORTH  
 (VSC 83)

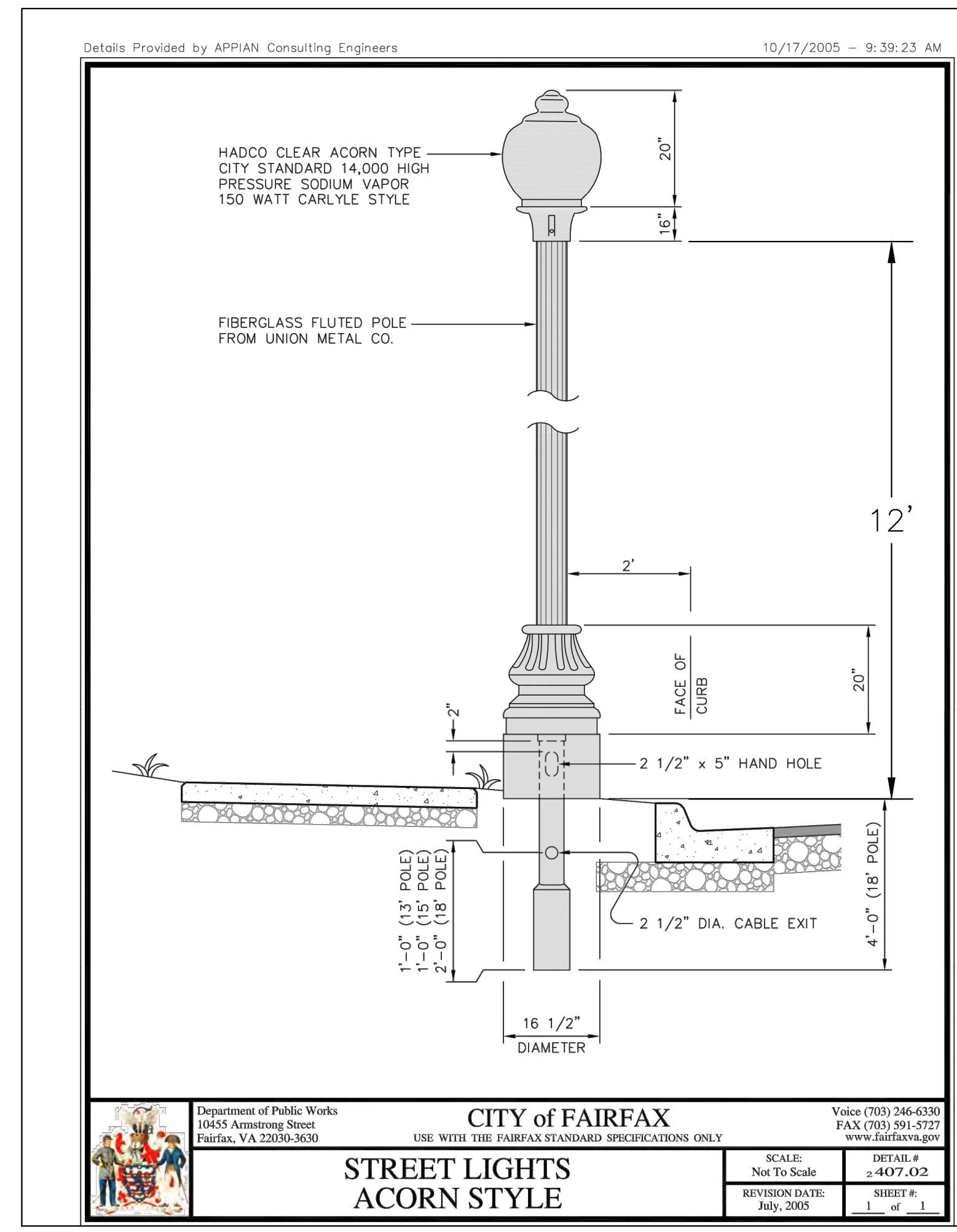
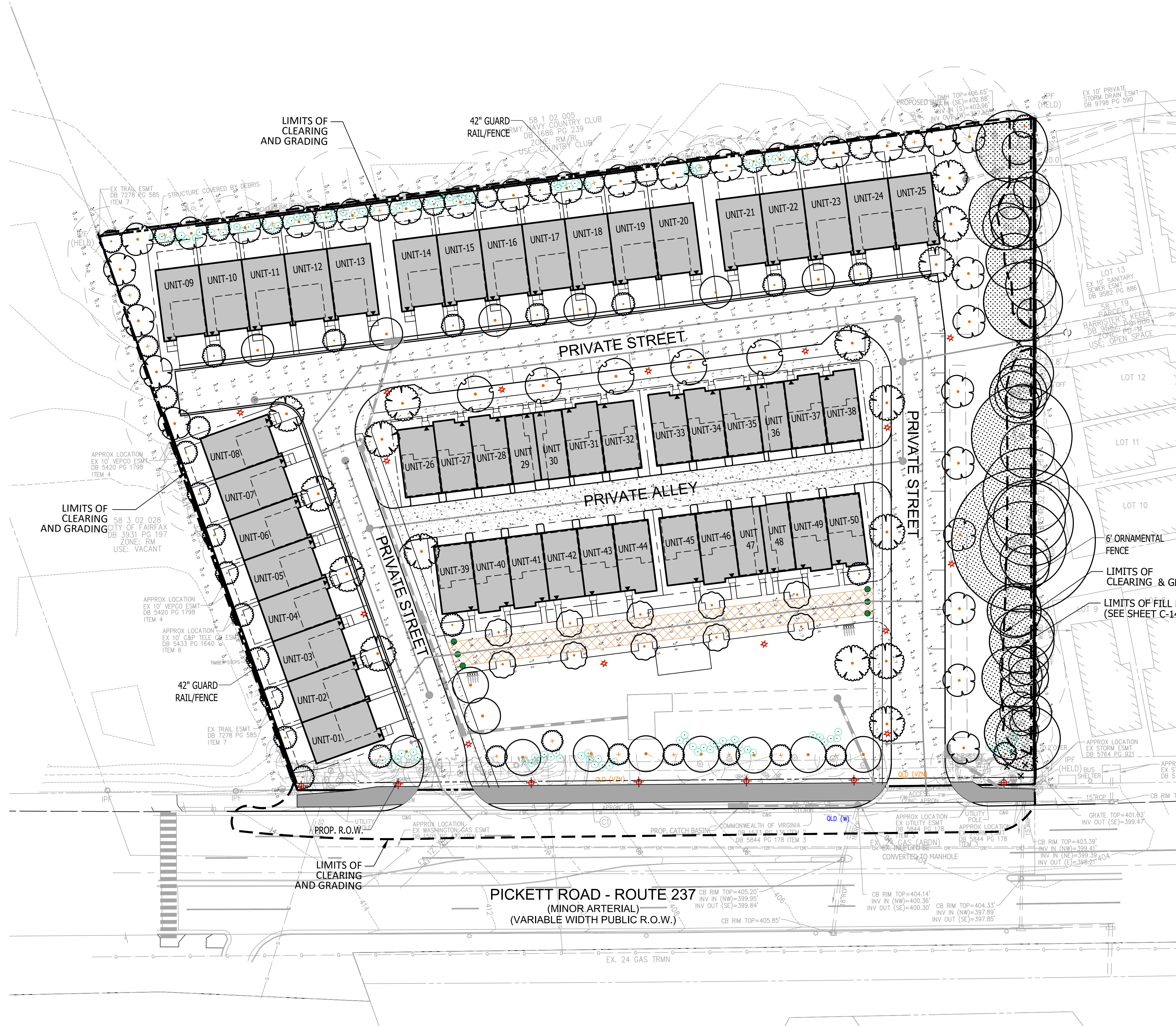


3500 PICKETT  
 ROAD  
 CITY OF FAIRFAX, VIRGINIA

TOWNHOME  
 AUTOTURN

DRAWN BY:	RYM
DESIGNED BY:	PR
DATE ISSUED:	NOVEMBER 22, 2019
DWG. SCALE:	AS SHOWN
VIKA JOB NO.:	VV7583C
SHEET NO.:	C-21



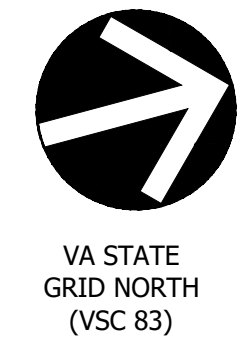
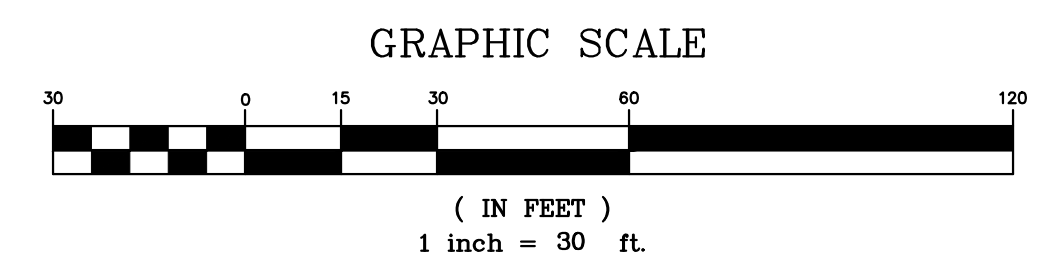


**PICKETT ROAD LIGHT FIXTURE**  
**CITY OF FAIRFAX STANDARD OR EQUAL**  
 FIXTURE TYPE AND SPACING WILL CONFORM TO THE CITY LIGHT STANDARDS



**MetroScope LED Post-Top Comfort (MPTR)**  
 by PHILIPS LUMEC OR EQUAL

**INTERNAL STREET LIGHT FIXTURE**  
 LED FIXTURE TYPE WILL CONFORM TO THE CITY LIGHT STANDARDS



ENGINEERING SURVEYING/GEOMATICS  
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REVISIONS	DATE
2ND SUBMISSION	02/07/2020
RESUBMISSION	04/10/2020
RESUBMISSION	05/06/2020

Department of Public Works  
 10455 Armstrong Street  
 Fairfax, VA 22030-3630

**CITY OF FAIRFAX**  
 USE WITH THE FAIRFAX STANDARD SPECIFICATIONS ONLY

Voice (703) 246-6330  
 FAX (703) 591-5727  
 www.fairfaxva.gov

SCALE: Not To Scale  
 REVISION DATE: July, 2005  
 SHEET #: 1 of 1



**3500 PICKETT ROAD**  
 CITY OF FAIRFAX, VIRGINIA

**SITE LIGHTING AND PHOTOMETRICS**

DRAWN BY: \_\_\_\_\_  
 DESIGNED BY: PR  
 DATE ISSUED: NOVEMBER 22, 2019

DWG. SCALE: AS SHOWN  
 VIVA JOB NO. WV7583C  
 SHEET NO. C-22

FILE: Q:\Projects\7583\CADD\PLANNING\PLANNING DRAWINGS\7583C SITE LIGHTING AND PHOTOMETRICS.dwg USER: rinek DATE: May 6, 2020 TIME: 11:52:23 AM





ENGINEERING SURVEYING/GEOMATICS  
LANDSCAPE ARCHITECTURE PLANNING  
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REVISIONS	DATE
2ND SUBMISSION	02/07/2020
RESUBMISSION	04/10/2020
RESUBMISSION	05/06/2020



**3500 PICKETT ROAD**  
CITY OF FAIRFAX, VIRGINIA

**ARCHITECTURAL ELEVATIONS**

DRAWN BY: \_\_\_\_\_  
DESIGNED BY: PR  
DATE ISSUED: NOVEMBER 22, 2019  
DWG. SCALE: AS SHOWN  
VIKA JOB NO. VV7583C  
SHEET NO. **A-1**



**B** TYPICAL BUILDING ELEVATIONS (UNIT A)  
Scale: 1/8" = 1'-0"  
FRONT LOAD ELEVATIONS



**A** TYPICAL BUILDING ELEVATIONS (UNIT B & C)  
Scale: 1/8" = 1'-0"  
REAR LOAD ELEVATIONS













ENGINEERING SURVEYING/GEOMATICS  
 LANDSCAPE ARCHITECTURE PLANNING  
**VIKA VIRGINIA, LLC**  
 8180 GREENSBORO DRIVE SUITE 200  
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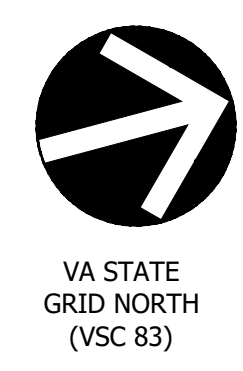
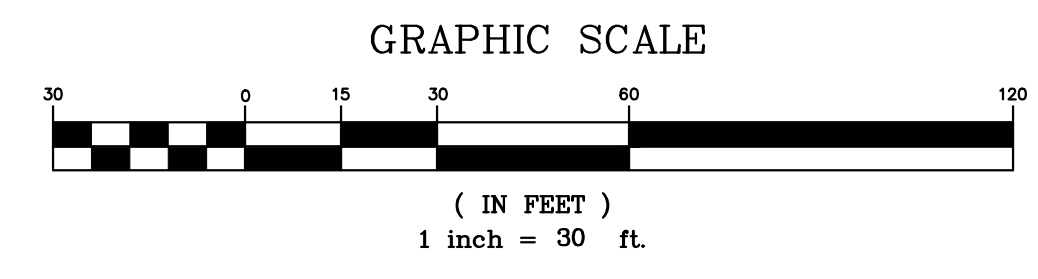
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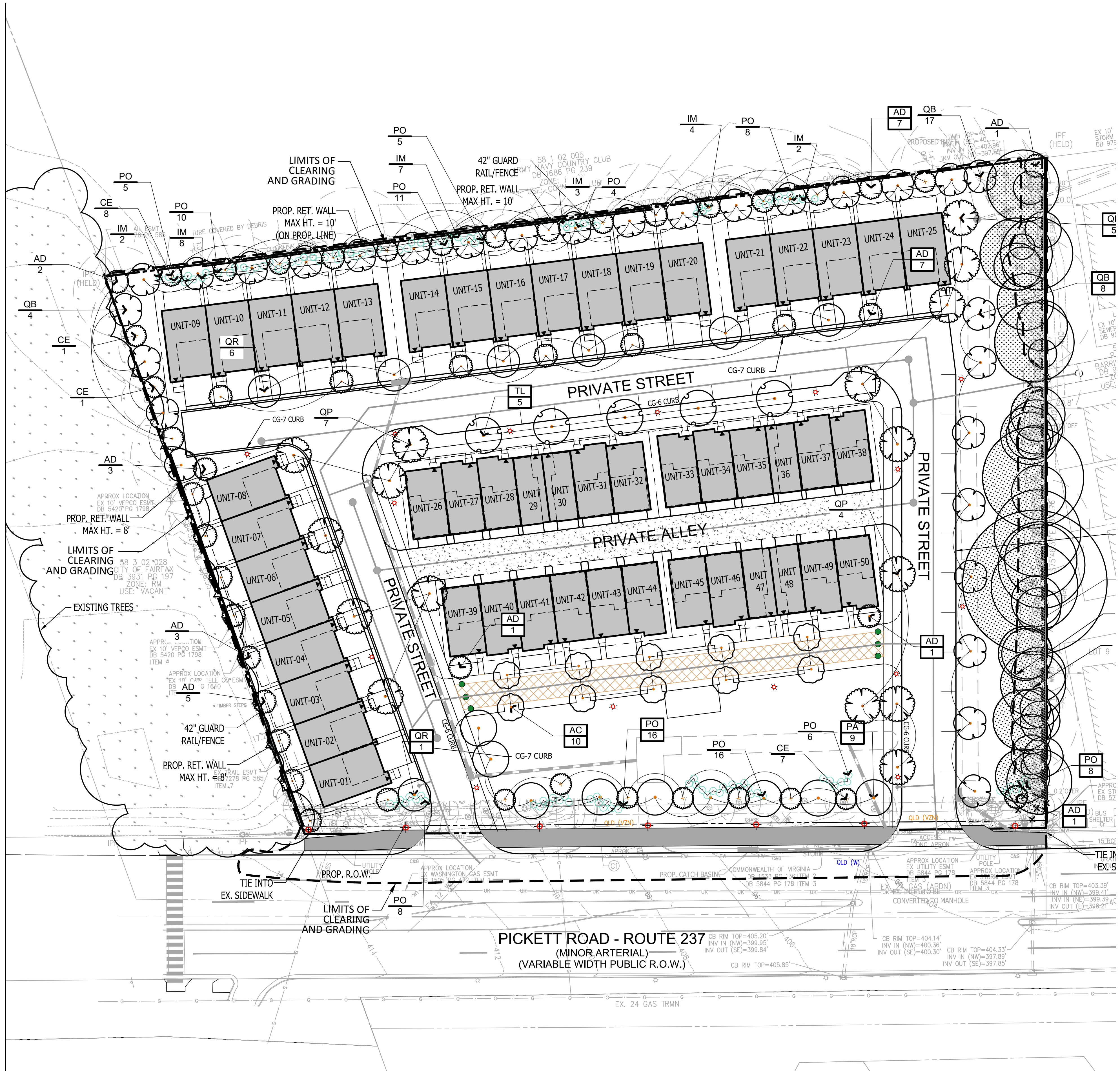
**3500 PICKETT ROAD**  
 CITY OF FAIRFAX, VIRGINIA

**OVERALL SITE ILLUSTRATIVE**

DRAWN BY: PR  
 DESIGNED BY: PR  
 DATE ISSUED: NOVEMBER 22, 2019  
 DWG. SCALE: AS SHOWN  
 VIKA JOB NO.: VV7583C  
 SHEET NO.: L-01







**LEGEND**

- CANOPY TREES
- UNDERSORY TREES
- SHRUBS
- EXISTING TREES

\* TRANSITIONAL YARDS- SEE L-03 AND C-01 FOR MORE DETAIL

**PLANT SCHEDULE**

CANOPY TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
	AC	ACER RUBRUM 'COLUMNARE'	COLUMNAR RED MAPLE	3" CAL.	B&B
	PA	PLATANUS X ACERIFOLIA	LONDON PLANE TREE	3" CAL.	B&B
	QB	QUERCUS BICOLOR	SWAMP WHITE OAK	3" CAL.	B&B
	QP	QUERCUS PHELLOS	WILLOW OAK	3" CAL.	B&B
	QR	QUERCUS RUBRA	RED OAK	3" CAL.	B&B
	TL	TILIA AMERICANA	AMERICAN LINDEN	3" CAL.	B&B
UNDERSORY TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
	AD	AMELANCHIER ARBOREA	DOWNY SERVICEBERRY	3" CAL.	B&B
	CE	CERCIS CANADENSIS	EASTERN REDBUD MULTI-TRUNK	3" CAL.	B&B
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
	IM	ILEX X MESERVEAE	MESERVE HOLLY	---	---
	PO	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN LAUREL	---	---

**CATEGORY II DECIDUOUS TREES**

CODE	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	CONT.	10 YR CANOPY CREDIT	SUB-TOTAL 10 YR TREE CANOPY CREDIT
AM	31	AMELANCHIER ARBOREA	DOWNEY SERVICEBERRY	3" CAL.	B&B	125	3,875
CE	16	CERCIS CANADENSIS	EASTERN RED BUD	3" CAL.	B&B	125	2,000
	<b>31</b>						<b>5,875</b>

**CATEGORY IV DECIDUOUS TREES**

PA	QB	QP	QR	TL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	CONT.	10 YR CANOPY CREDIT	SUB-TOTAL 10 YR TREE CANOPY CREDIT
					9	PLATANUS X ACERIFOLIA	LONDON PLANE TREE	3" CAL.	B&B	250	2,250
					29	QUERCUS BICOLOR	SWAMP WHITE OAK	3" CAL.	B&B	250	7,250
					16	QUERCUS PHELLOS	WILLOW OAK	3" CAL.	B&B	250	4,000
					7	QUERCUS RUBRA	RED OAK	3" CAL.	B&B	250	1,750
					5	TILIA AMERICANA	AMERICAN LINDEN	3" CAL.	B&B	250	1,250
					<b>66</b>						<b>16,500</b>

**CATEGORY I DECIDUOUS TREES**

AC	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	CONT.	10 YR CANOPY CREDIT	SUB-TOTAL 10 YR TREE CANOPY CREDIT
	10	ACER RUBRUM 'COLUMNARE'	COLUMNAR RED MAPLE	3" CAL.	B&B	75	750
	<b>10</b>						<b>750</b>
	<b>107</b>						<b>23,125</b>
							<b>9,467</b>

**TOTAL 10 YR TREE CREDIT PROVIDED 32,592.00 SF.**  
**TOTAL 10 YR TREE CREDIT REQUIRED 32,199.00 SF.**

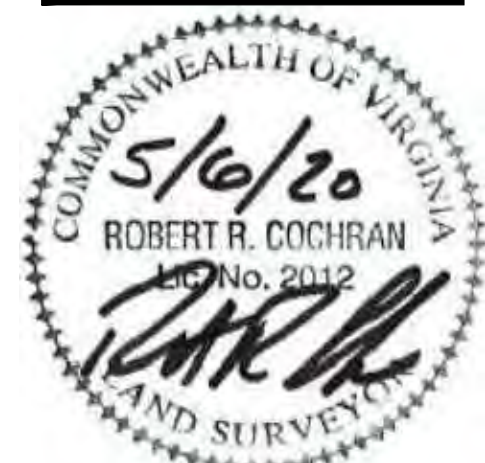
SITE AREA	160,993 SF (3.694 AC)
ZONE PD-R 10 YR TREE CANOPY REQUIREMENT	20%
EXISTING TREE CANOPY	9,467 SF
10 YR TREE CANOPY REQUIRED	32,199 SF
TOTAL TREE CANOPY PROVIDED	32,342 SF

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**REVISIONS**

REVISIONS	DATE
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RESUBMISSION	05/06/2020



**3500 PICKETT ROAD**  
 CITY OF FAIRFAX, VIRGINIA

**LANDSCAPE PLAN**

DRAWN BY: PR  
 DESIGNED BY: PR  
 DATE ISSUED: NOVEMBER 22, 2019  
 DWG. SCALE: AS SHOWN  
 VIVA JOB NO.: VV7583C  
 SHEET NO.: L-02



PLANTING NOTES

**I. General**

- Landscape Specifications:** Landscape specifications shall be as outlined below. Any item or procedure not mentioned below shall be as specified in the Landscape specification guidelines published by the Landscape Contractors Association (latest edition).
- Plant Materials:** The Landscape Contractor shall furnish and install and/or dig, ball, burlap, and transplant plant materials called for on the drawings and/or listed in the plant schedule. The City reserves the right to inspect plant material at the nursery source, before off-loading at the project site, when in storage or prior to installation.
- Plant Names:** Plant names used in the plant schedule shall be identified in accordance with Hortus Third, by L.H. Bailey, 1976.
- Plant Standards:** Plant materials shall be equal to or better than the requirements of the "American Standard for Nursery Stock" (ANSI Z60.1 latest edition), as published by the American Association of Nurserymen (hereinafter referred to as AAN standards). Plants shall be typical of their species and variety, shall have a normal habit of growth, and shall be first quality, sound, vigorous, well branched, and with healthy, well-furnished root systems. They shall be free of disease, insect pests, and mechanical injuries.
  - Plants shall be nursery grown and shall have been grown under the same climatic conditions as the location of the subject project for at least two years before planting. Neither heeled-in plant, nor plants from cold storage will be accepted.
  - Collected plants or transplanted trees when specified by the landscape architect may be used, provided that locations and soil conditions will permit proper balling.
- Materials for Planting:**
  - Stakes for guying trees shall be sound oak or other approved hardwood. Three stakes spread 120-degrees apart shall be used when detailed. Notch stakes for wire. See details. Trees located between sidewalk and curb shall have two stakes.
  - Tree Guys: Provide wire ties and guys of 2-strand, twisted, pliable galvanized steel wire not lighter than 12-gauge with zinc coated turnbuckles. Provide w-ply garden hose not less than 0.5-inch hose size, cut to lengths to protect tree trunks from damage by wires. Provide 14-gauge wire for trees less than 12-ft. height. Wire for guy may be twisted when a turnbuckle is not specified by the landscape architect. Use of tree ties in lieu of wire is acceptable.
  - Mulching: Mulch shall consist of double shredded hardwood mulch.
- Planting Schedule:** A professional horticulturist/nurseryman shall be consulted to determine the proper time, based on plant species and weather conditions, to move and install plant materials to minimize stress to the plant. Planting of deciduous material may be continued during the winter months provided there is no frost on the ground and frost-free soil planting mixtures are used.

Department of Public Works  
10455 Armstrong Street  
Fairfax, VA 22030-3630

**CITY of FAIRFAX**  
USE WITH THE FAIRFAX STANDARD SPECIFICATIONS ONLY

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FAX (703) 591-5727  
www.fairfaxva.gov

SCALE: Not To Scale  
REVISION DATE: December 2016

DETAIL # **8.08**  
SHEET #: 1 of 3

**II. Planting Execution**

- Excavation of Plant Pits**
  - Circular Pits, with vertical sides shall be excavated for all plants. In heavy soils, slope the sides outward. The diameter of the holes shall be 18-inches greater than the diameter of the ball for trees, or 1.5 times the diameter of shrubs and container grown material.
  - The depth of pits shall allow for one-eighth of the tree root ball or container depth to be above existing grade.
  - Obstructions encountered in excavated or planted areas shall be removed or plants relocated as approved.
  - Plants shall be planted plumb, at slightly above grade as in the nursery (in relation to finished grade); tamp topsoil under and around base of ball to fill all voids. Remove all burlap, ropes, plastic or synthetic twine or film, and wires from sides and tops of balls, but do not remove burlap from under ball. Thoroughly water when hole is two-thirds full of topsoil. Mix soil amendments thoroughly with soil mixture. Backfill pit halfway and tamp as pit is filled. Do not over compact remainder of backfill. After watering, 3" of mulch shall be applied over a 3" earth berm to create a shallow watering basin around the tree.
  - Shrubs shall be planted in conformance with deciduous shrub planting Detail 8.05.
- Staking and Guying**
  - Each tree or evergreen shall be immediately staked or guyed after planting.
    - Deciduous trees 2-2.5" caliper or larger and all evergreen trees shall be staked and guyed with three 2" x 2" x 6' hardwood stakes per tree, spread 120-degrees apart. Hardwood stakes shall be driven no less than 10-inches below subgrade and outside the root ball. A double strand of 12-gauge galvanized wire shall be twisted and threaded through 0.5-inch garden hose to protect the tree trunk and secured to the hardwood stake. Notch stakes for wire.
    - The 12-gauge galvanized wire shall be placed at a 45-degree angle from the tree to the stake. See Detail 8.04.
- Plant Pruning, Edging, and Mulching**
  - Pruning shall be by experienced landscape personnel. Remove broken or damaged branches and roots. Cut back and thin deciduous material to retain two-thirds of the initial branches. Cut back evergreens to give compact uniform appearance. Damaged or pruned tree leaders shall be cause for rejection. Do not cut leaders.
  - If foliage is present on deciduous plant material, they shall be sprayed with an anti-desiccant, which slows down the transpiration process, through reducing the danger of dehydration.
  - The areas around isolated plants shall be edged and cultivated to the full diameter of the pit.
  - After cultivation, plant material shall be mulched with a three-inch layer of double shredded mulch over the entire area of the bed or saucer.

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DETAIL # **8.08**  
SHEET #: 2 of 3

**III. Warranty:** Plant material shall have a one-year warranty commencing on the date of initial acceptance. Plant material shall be alive and in satisfactory condition at the end of the warranty period. Plant material will be considered dead if 25% or more of the material is found to be dead. Trees with a leader that has died will be considered dead. Trees with 25% or more crown found to be dead will also be considered dead.

- Dead plants shall be replaced in the next planting period or as approved.
- Replacements shall be of same type and size of specie originally specified or as approved.
- The warranty shall be for a one-time only replacement.
- Contractor will not be responsible for vandalism or losses due to abnormal weather conditions.

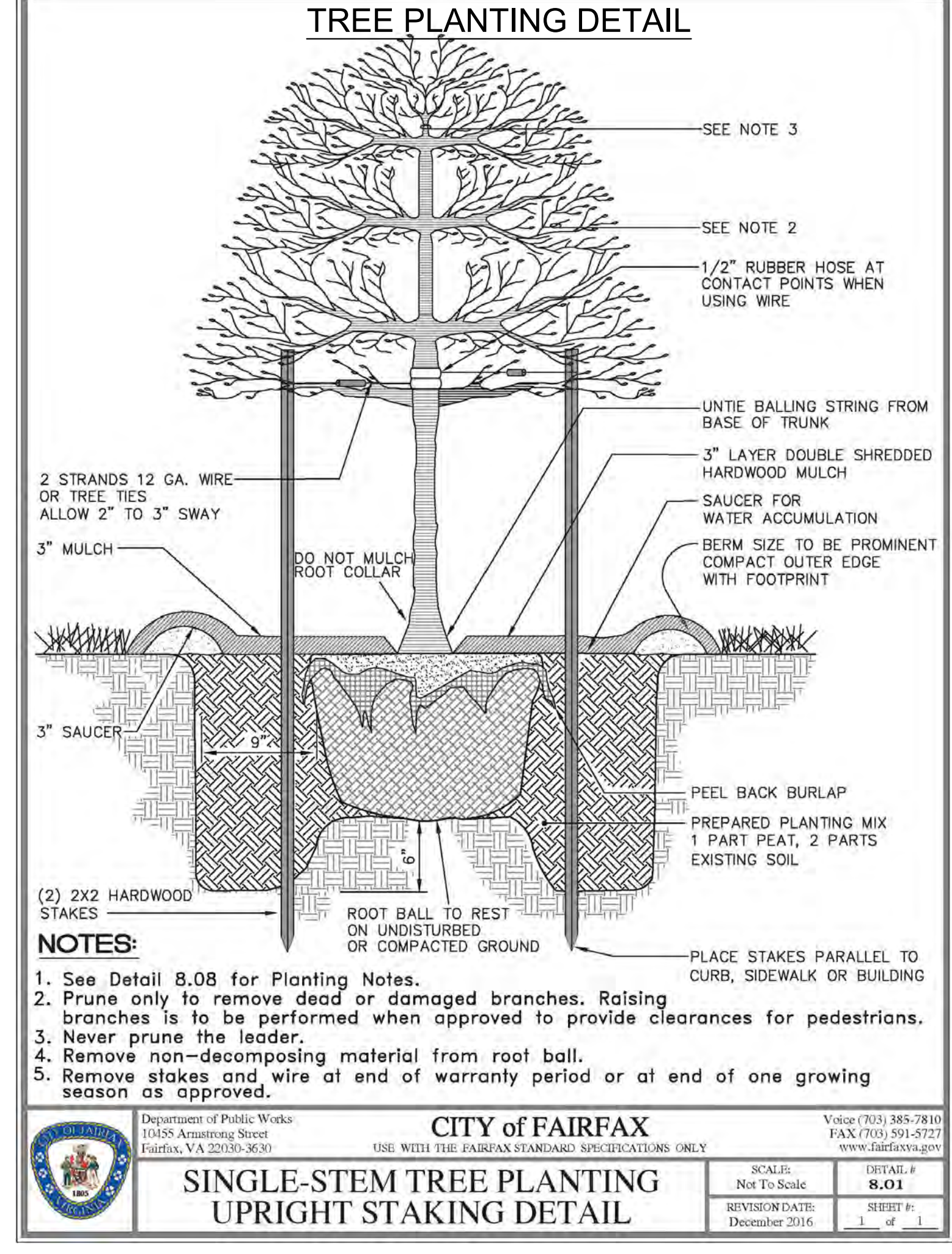
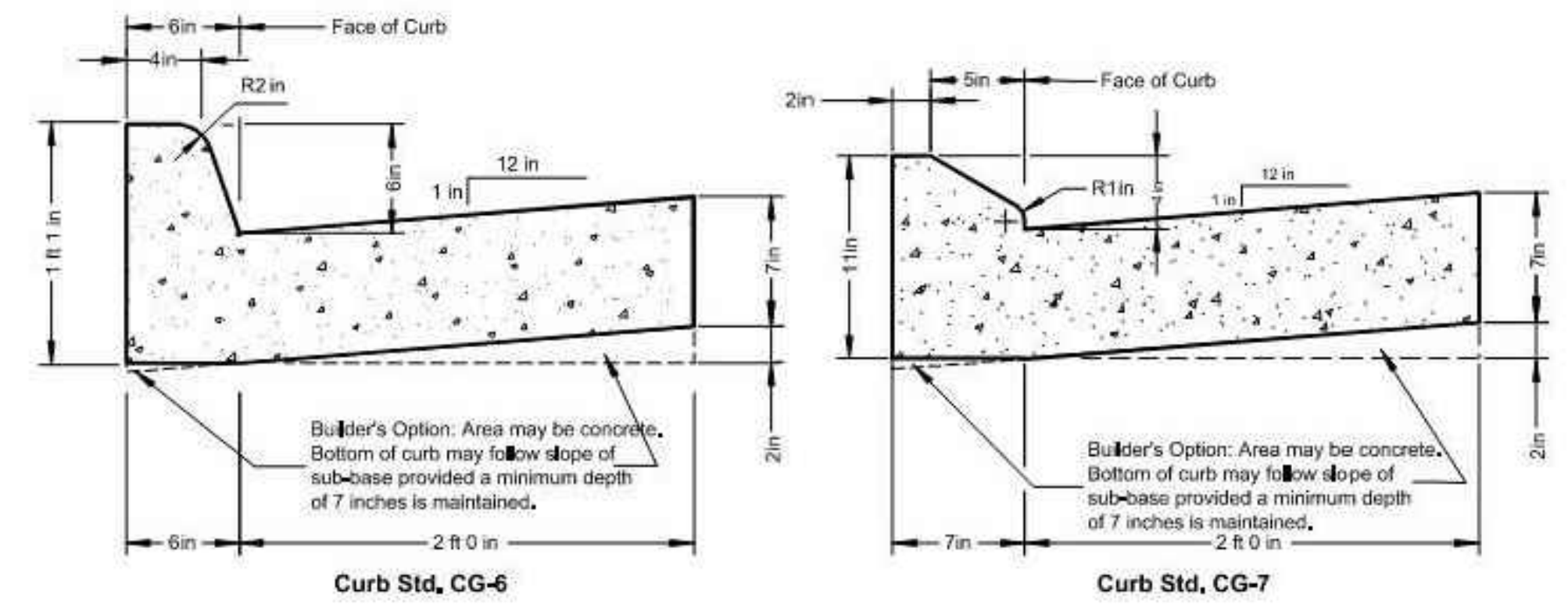
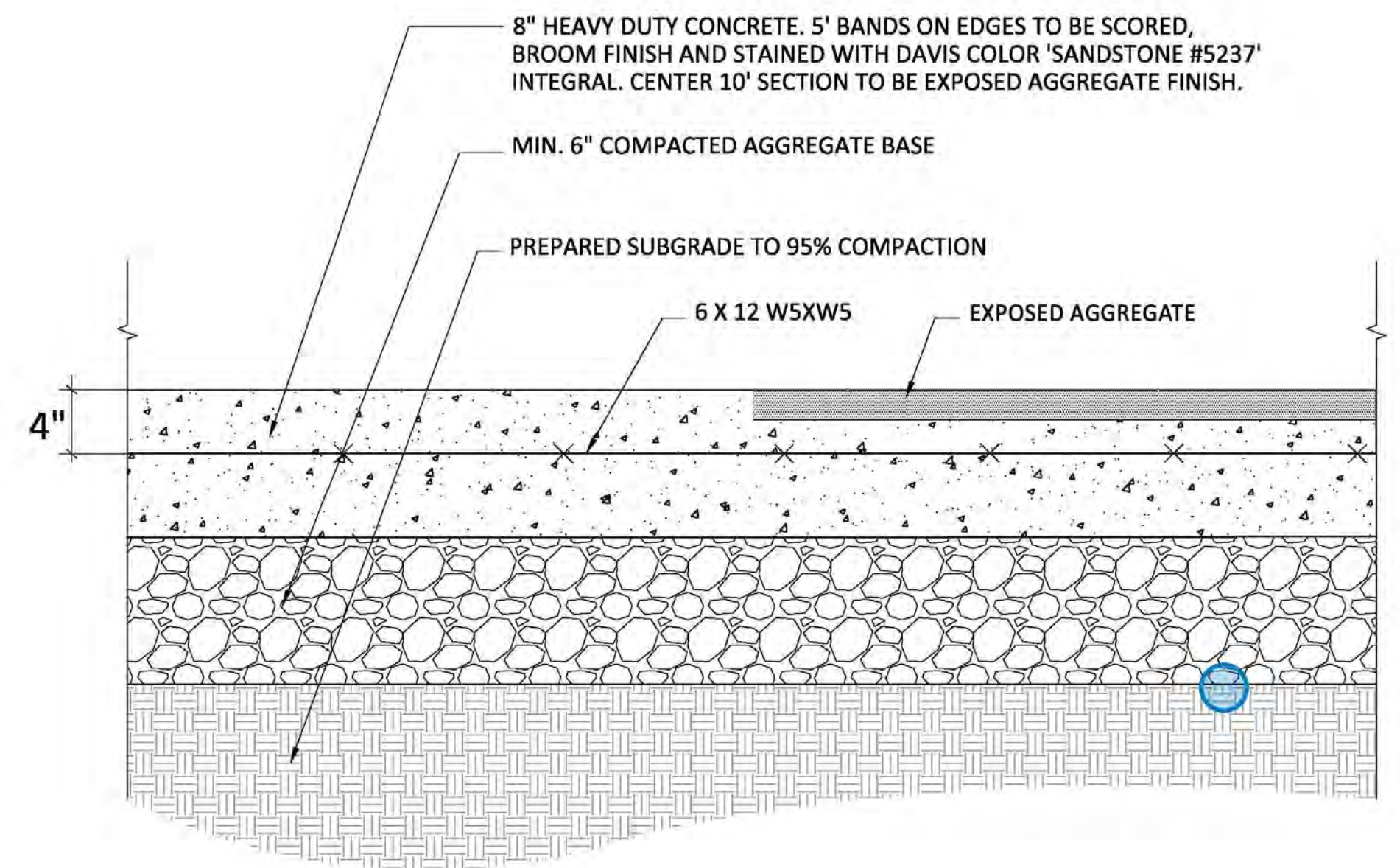
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DETAIL # **8.08**  
SHEET #: 3 of 3



**1 PROMENADE/FIRE LANE DETAIL SECTION**  
NOT TO SCALE

**VIVA**

ENGINEERING SURVEYING/GEOMATICS  
LANDSCAPE ARCHITECTURE PLANNING

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RESUBMISSION	04/10/2020
RESUBMISSION	05/06/2020



**3500 PICKETT ROAD**  
CITY OF FAIRFAX, VIRGINIA

**LANDSCAPE TABULATION AND DETAILS**

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DESIGNED BY: PR  
DATE ISSUED: NOVEMBER 22, 2019

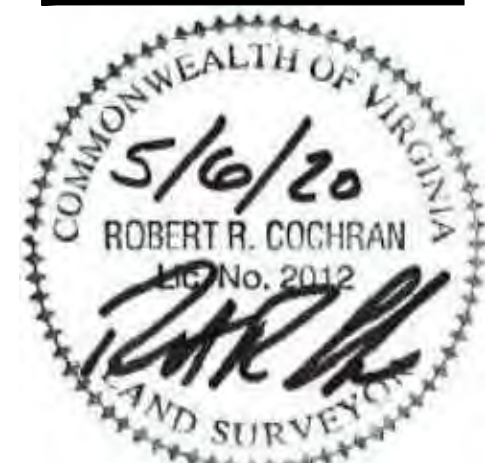
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VIVA JOB NO. WV7583C  
SHEET NO. L-03

DATE: April 14, 2020 TIME: 7:50:59 AM USER: Richardson AND DETAILS.dwg



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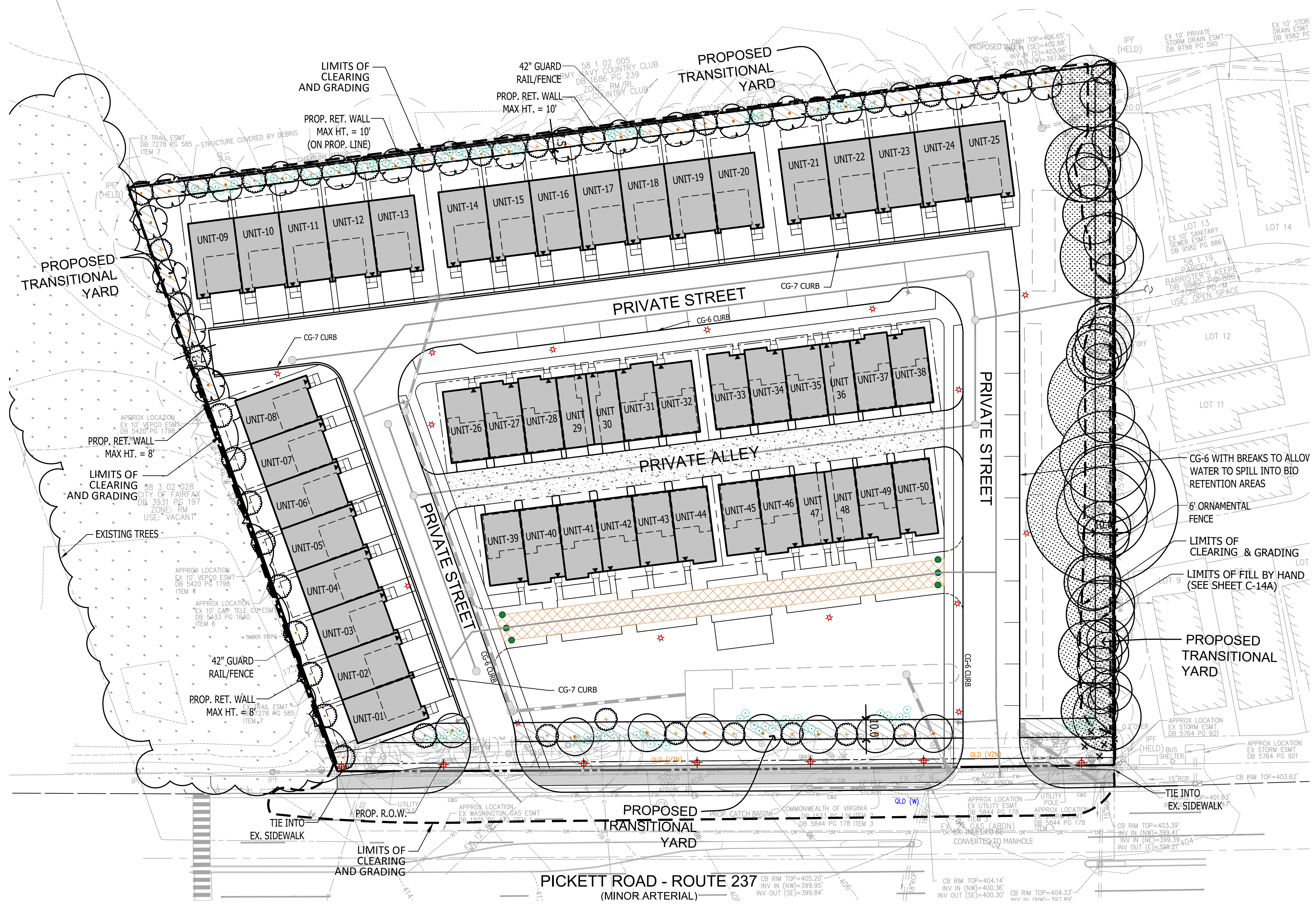
**3500 PICKETT ROAD**  
 CITY OF FAIRFAX, VIRGINIA

**PROPOSED TRANSITIONAL SCREENING YARDS**

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 DESIGNED BY: PR  
 DATE ISSUED: NOVEMBER 22, 2019  
 DWG. SCALE: AS SHOWN  
 VIVA JOB NO. VV7583C  
 SHEET NO. L-04

**LEGEND**

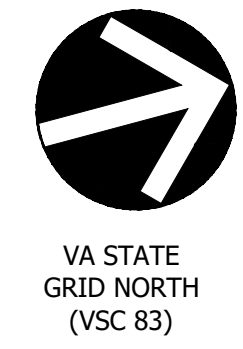
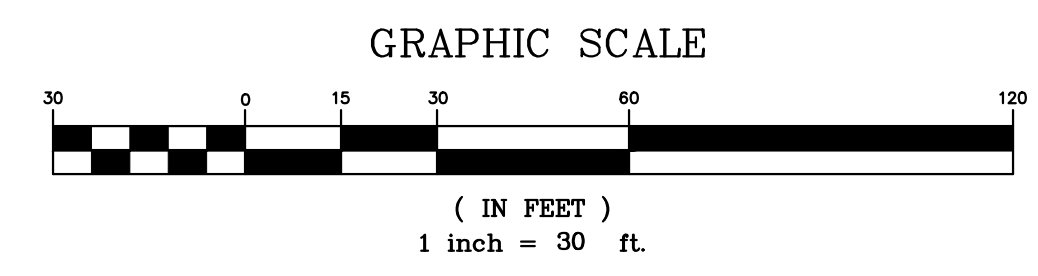
- CANOPY TREES
- TREE PRESERVE
- UNDERSORY TREES
- SHRUBS



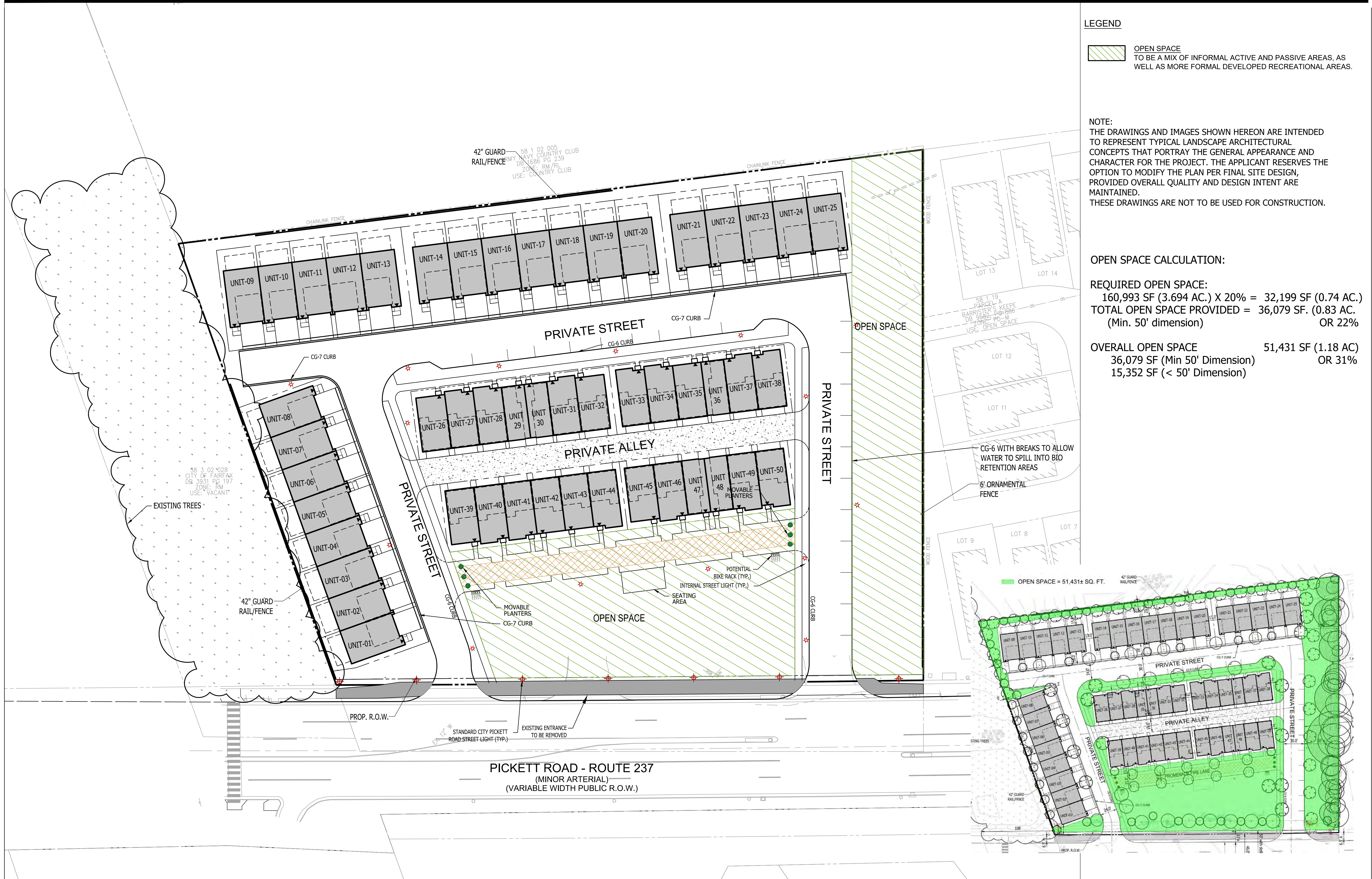
**TRANSITIONAL YARD & FENCE REQUIREMENTS**

Lot Line Length (Feet)	Transitional Yard Required	Transitional Yard Width Required (Feet)	Proposed Transitional Yard Width (Feet)	Required Fence (Feet)	Proposed Fence (feet)	Minimum Canopy Required (3 every 100')	Minimum Undersory Required (3 every 100')	Minimum Shrubs Required (per 100')	Canopy Provided	Undersory Provided	Evergreen Povided	Shrubs Povided	Justification
371.76	TY2	10	North - 10'	6' (WR)	North - 6' Metal	11	11	-	(WR)	(WR)			A large swath of existing vegetation along the northern boundary will be preserved
328.35	TY2	10	South - 0-7.5'	6' (WR)	South - 42" Railing	10	10	-	4 (WR)	4 (WR)			106' of densely wooded property to the south, owned by the City of Fairfax.
242	TY2	10	East - 10'	6' (WR)	East - None	8	8	-	9	8		54	A small portion tapers down to zero although the full required amount of plant is provided.
526	TY2	10	West - 0-7.5'	6' (WR)	West - 42" Railing	16	16	-	17 (WR)	17 (WR)		92	A reduction in the width to 7.5' although the full plantings of a TY2 is provided.

WAIVER REQUEST (WR)  
 TRANSITIONAL YARDS- SEE C-01  
 FOR MODIFICATION REQUEST





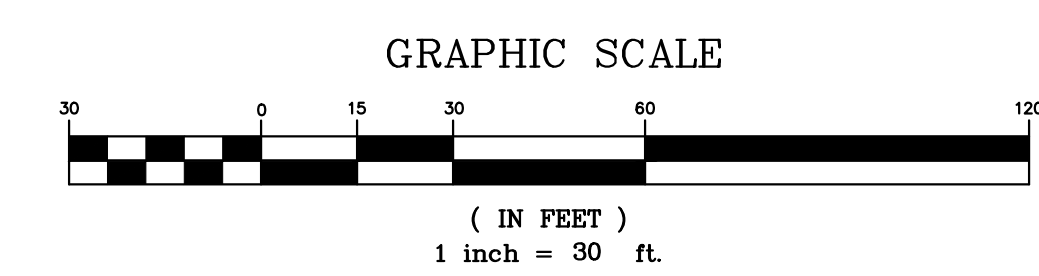


LEGEND

OPEN SPACE TO BE A MIX OF INFORMAL ACTIVE AND PASSIVE AREAS, AS WELL AS MORE FORMAL DEVELOPED RECREATIONAL AREAS.

NOTE:  
THE DRAWINGS AND IMAGES SHOWN HEREON ARE INTENDED TO REPRESENT TYPICAL LANDSCAPE ARCHITECTURAL CONCEPTS THAT PORTRAY THE GENERAL APPEARANCE AND CHARACTER FOR THE PROJECT. THE APPLICANT RESERVES THE OPTION TO MODIFY THE PLAN PER FINAL SITE DESIGN, PROVIDED OVERALL QUALITY AND DESIGN INTENT ARE MAINTAINED.  
THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION.

OPEN SPACE CALCULATION:  
REQUIRED OPEN SPACE:  
160,993 SF (3.694 AC.) X 20% = 32,199 SF (0.74 AC.)  
TOTAL OPEN SPACE PROVIDED = 36,079 SF. (0.83 AC.) (Min. 50' dimension) OR 22%  
OVERALL OPEN SPACE 51,431 SF (1.18 AC)  
36,079 SF (Min 50' Dimension) OR 31%  
15,352 SF (< 50' Dimension)



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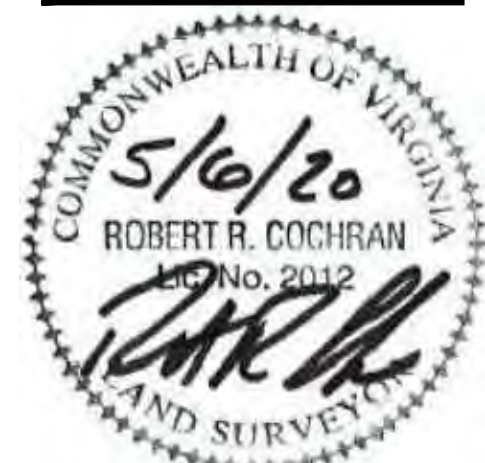
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REVISIONS	DATE
2ND SUBMISSION	02/07/2020
RESUBMISSION	04/10/2020
RESUBMISSION	05/06/2020



3500 PICKETT ROAD  
CITY OF FAIRFAX, VIRGINIA

OPEN SPACE PLAN

DRAWN BY: RYM  
DESIGNED BY: PR  
DATE ISSUED: NOVEMBER 22, 2019  
DWG. SCALE: AS SHOWN  
VIVA JOB NO.: WV7583C  
SHEET NO.: L-05









ENGINEERING SURVEYING/GEOMATICS  
LANDSCAPE ARCHITECTURE PLANNING  
VIKA VIRGINIA, LLC  
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TYSONS, VIRGINIA 22102  
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TYSONS, VA. GERMANTOWN, MD.

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301-634-8614

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RESTON, VA 20190-5656  
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6416 GROVEDALE DRIVE  
ALEXANDRIA, VA 22310  
ATTN: JOE PLUMPE  
(703) 719-6500

REVISIONS	DATE
2ND SUBMISSION	02/07/2019
3RD SUBMISSION	04/10/2020

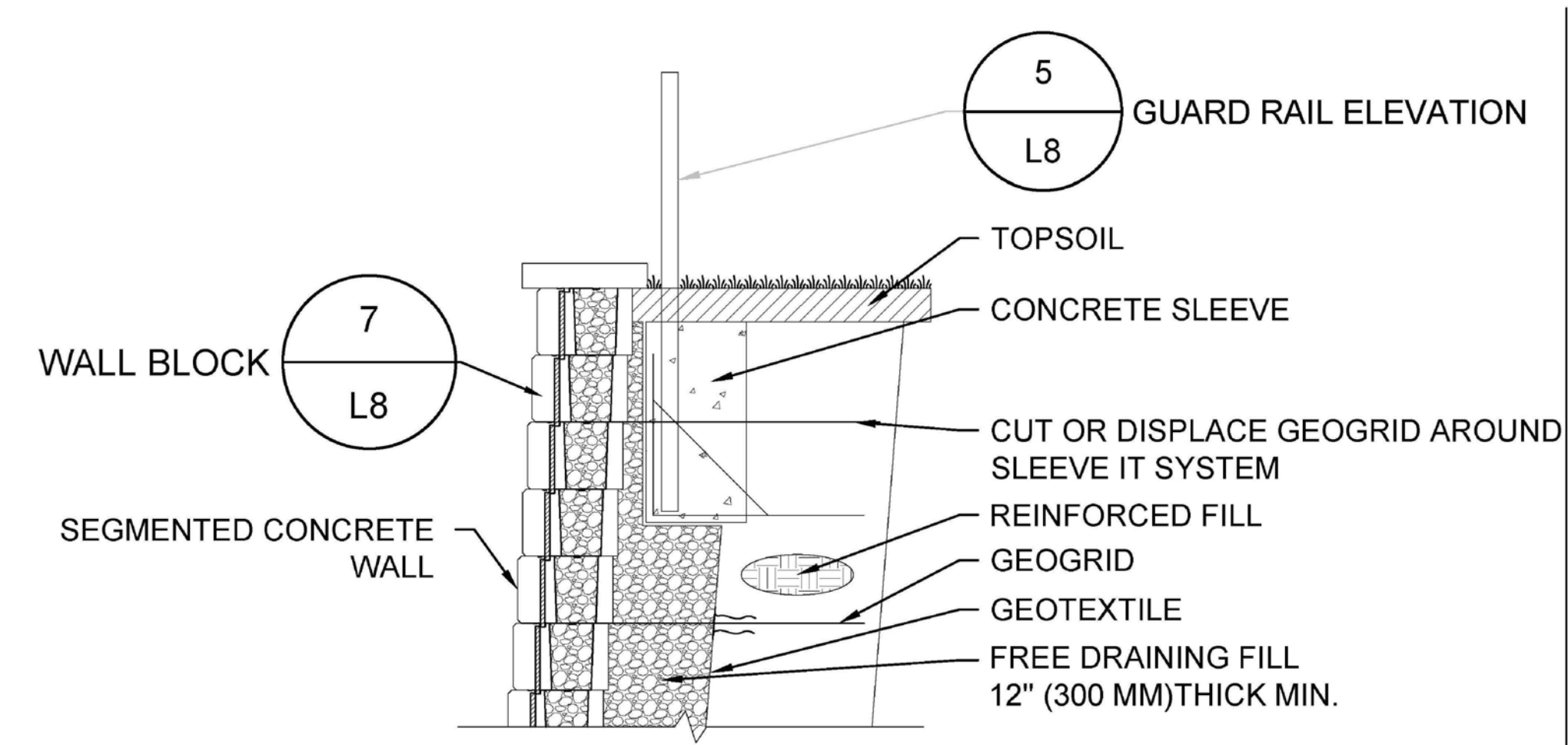
PROFESSIONAL SEAL



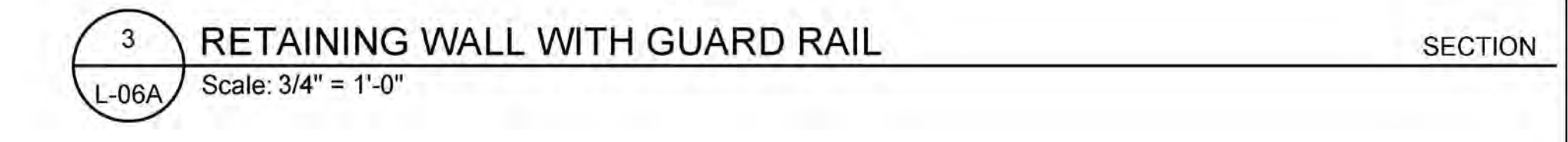
3500 PICKETT ROAD  
CITY OF FAIRFAX, VIRGINIA

HARDSCAPE  
DETAILS AND  
PRODUCT  
INFORMATION

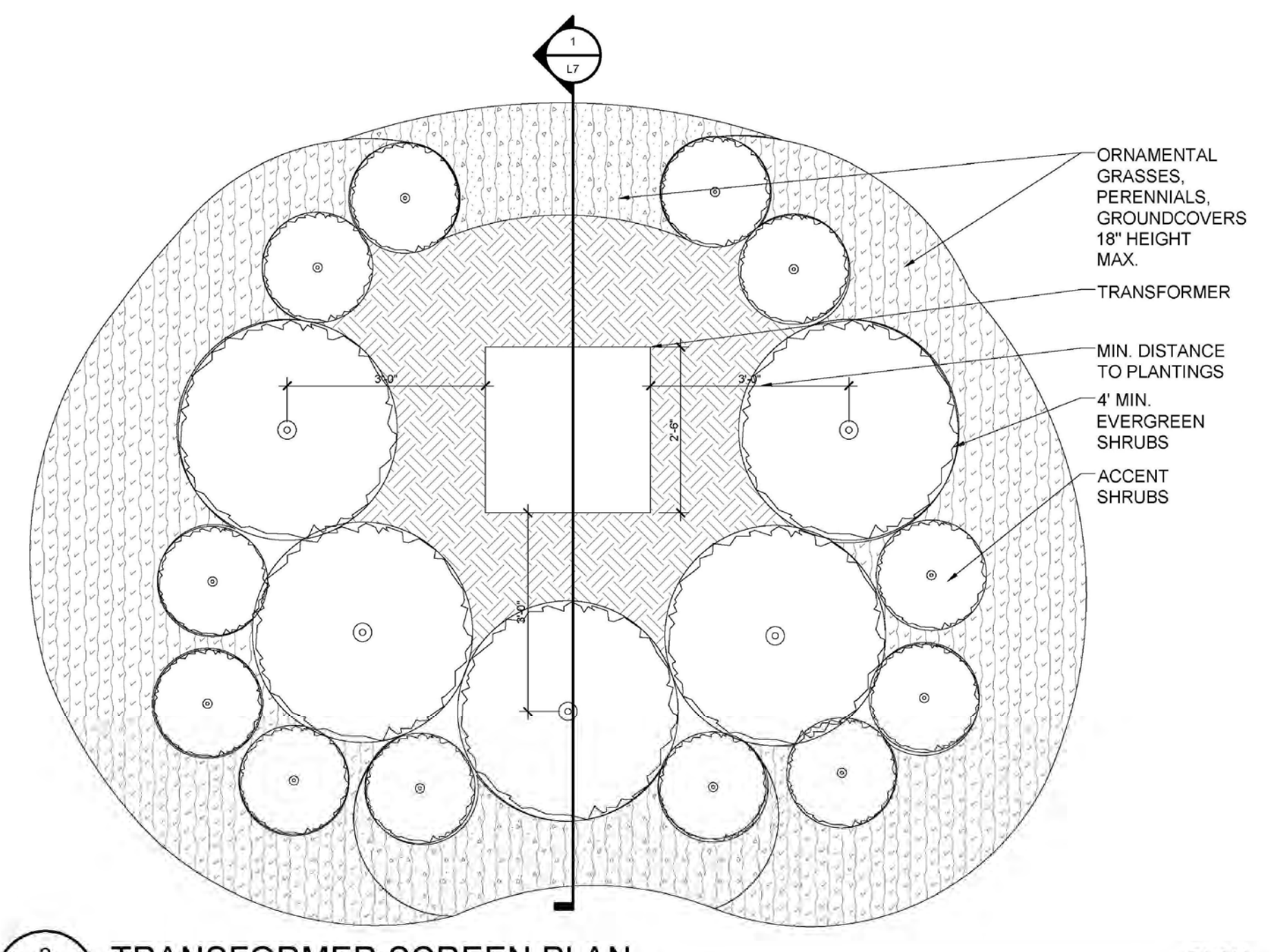
DRAWN BY: B.C.  
DESIGNED BY: D. DOVE  
DATE ISSUED: JANUARY 20, 2020  
DWG. SCALE: AS SHOWN  
VIKA JOB NO.: VV7583C  
SHEET NO.: L-06A



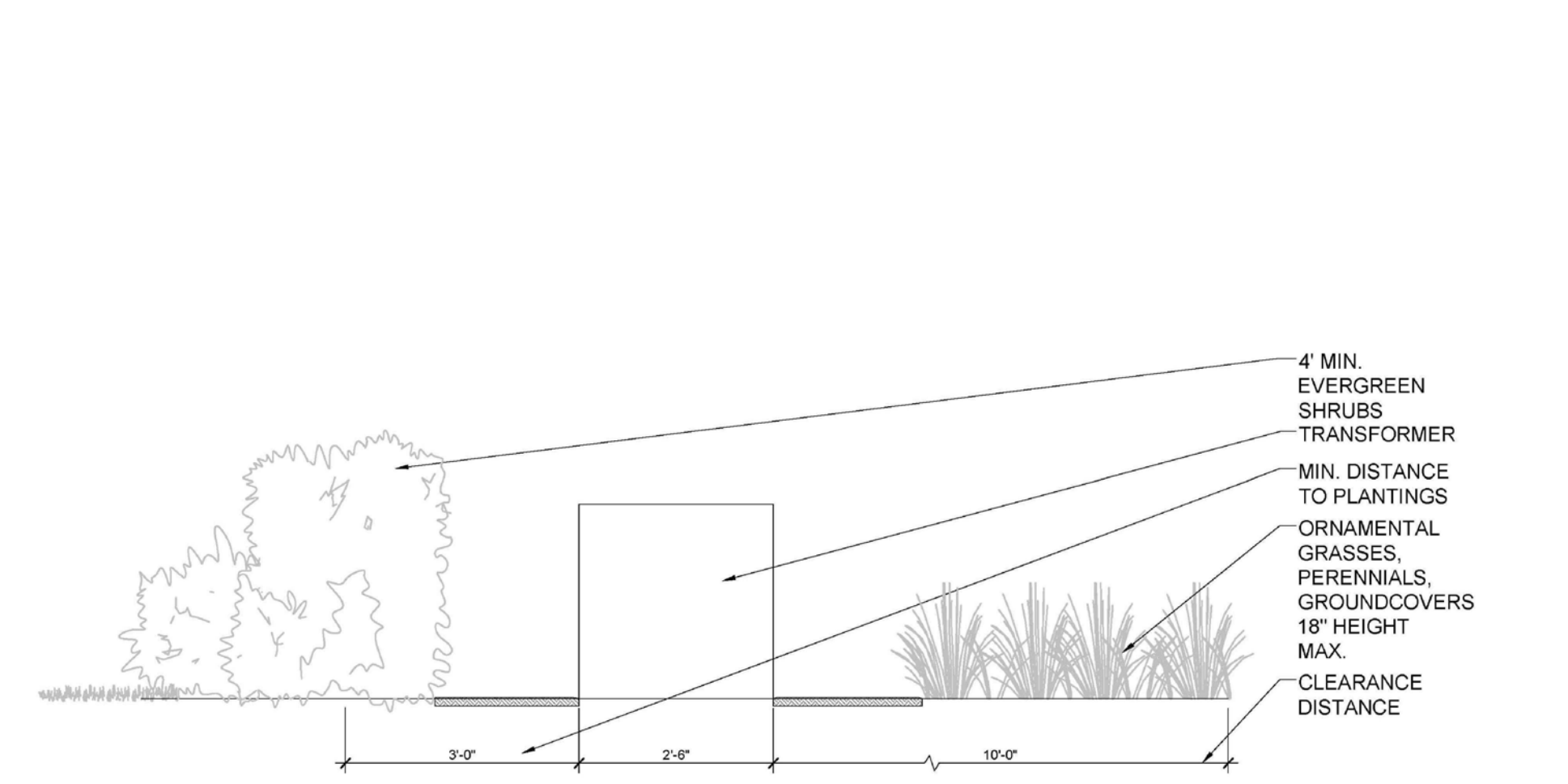
NOTES:  
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.



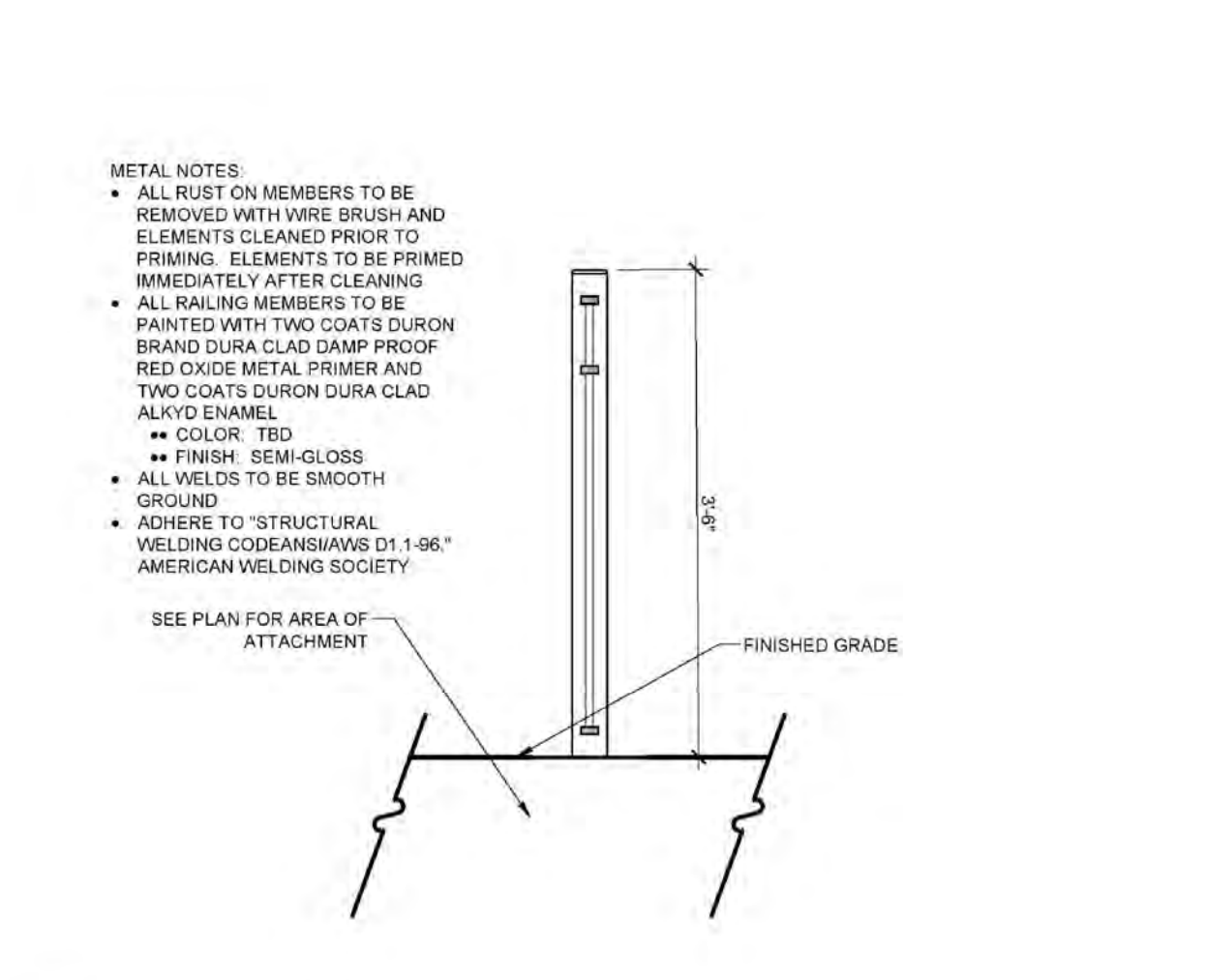
3 (L-06A) RETAINING WALL WITH GUARD RAIL SECTION Scale: 3/4" = 1'-0"



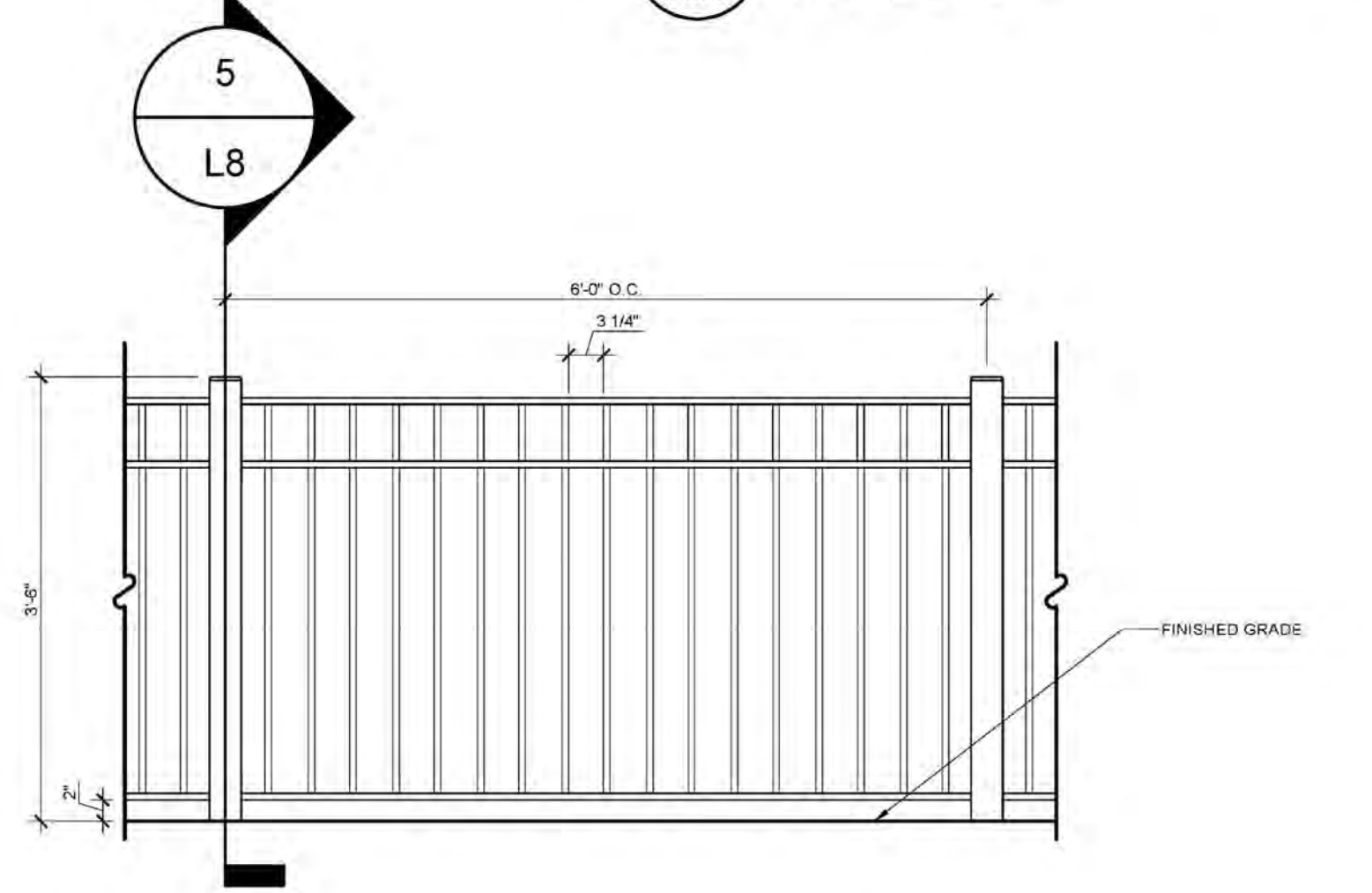
2 (L-06A) TRANSFORMER SCREEN PLAN Scale: 1/2" = 1'-0"



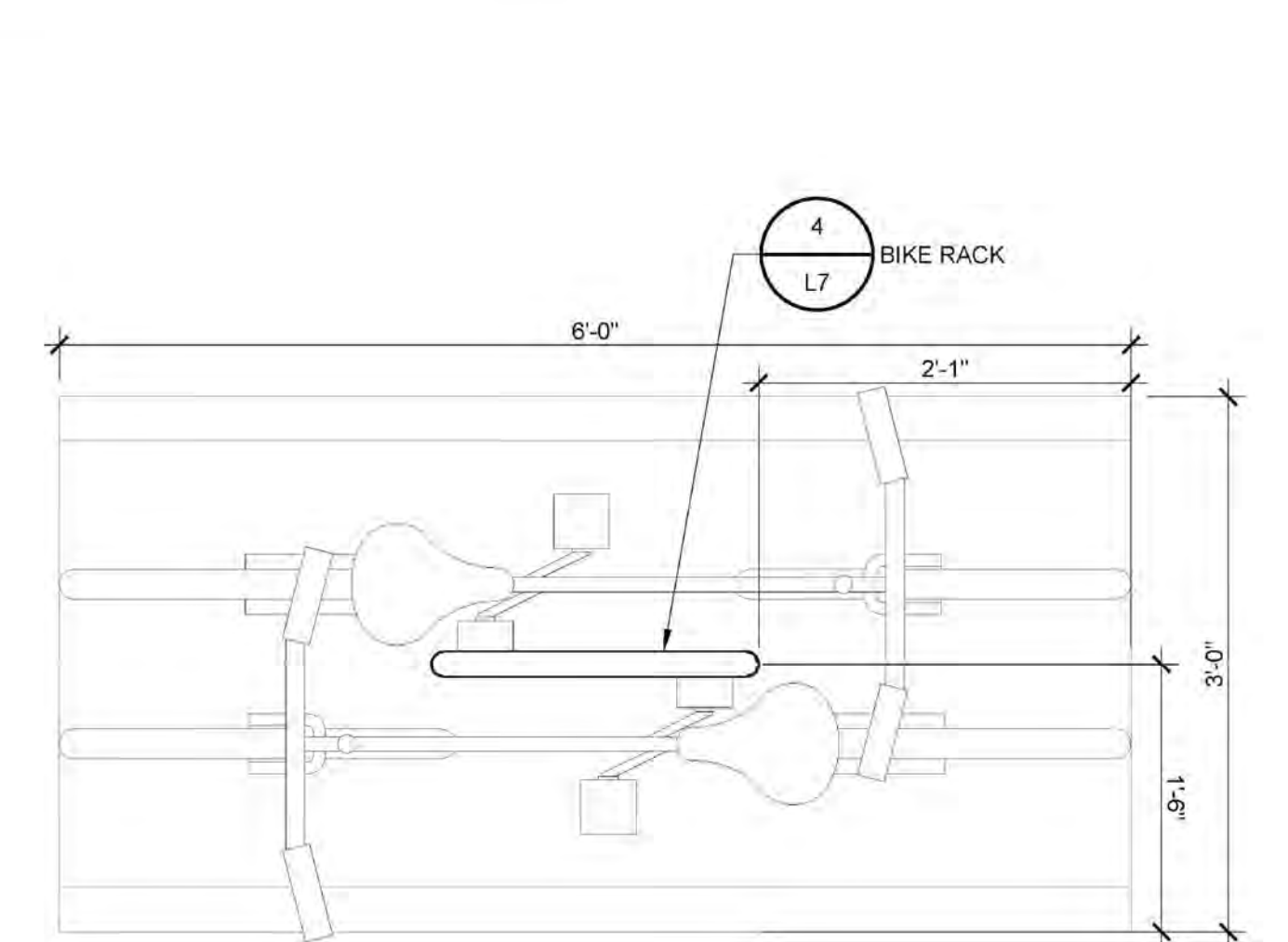
1 (L-06A) TRANSFORMER SCREEN SECTION Scale: 1/2" = 1'-0"



4 (L-06A) GUARD RAIL SECTION Scale: 3/4" = 1'-0"



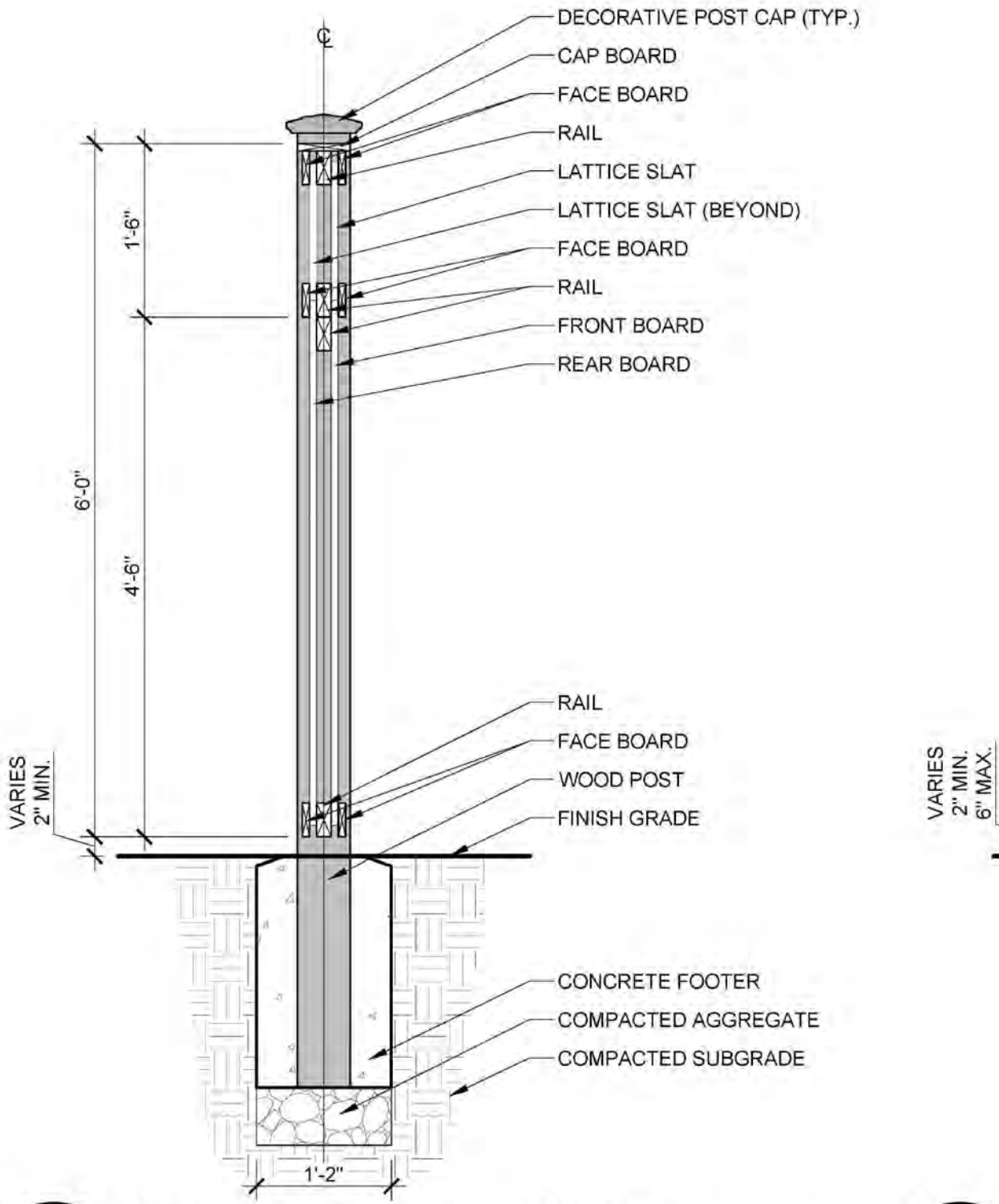
5 (L-06A) GUARD RAIL ELEVATION Scale: 3/4" = 1'-0"



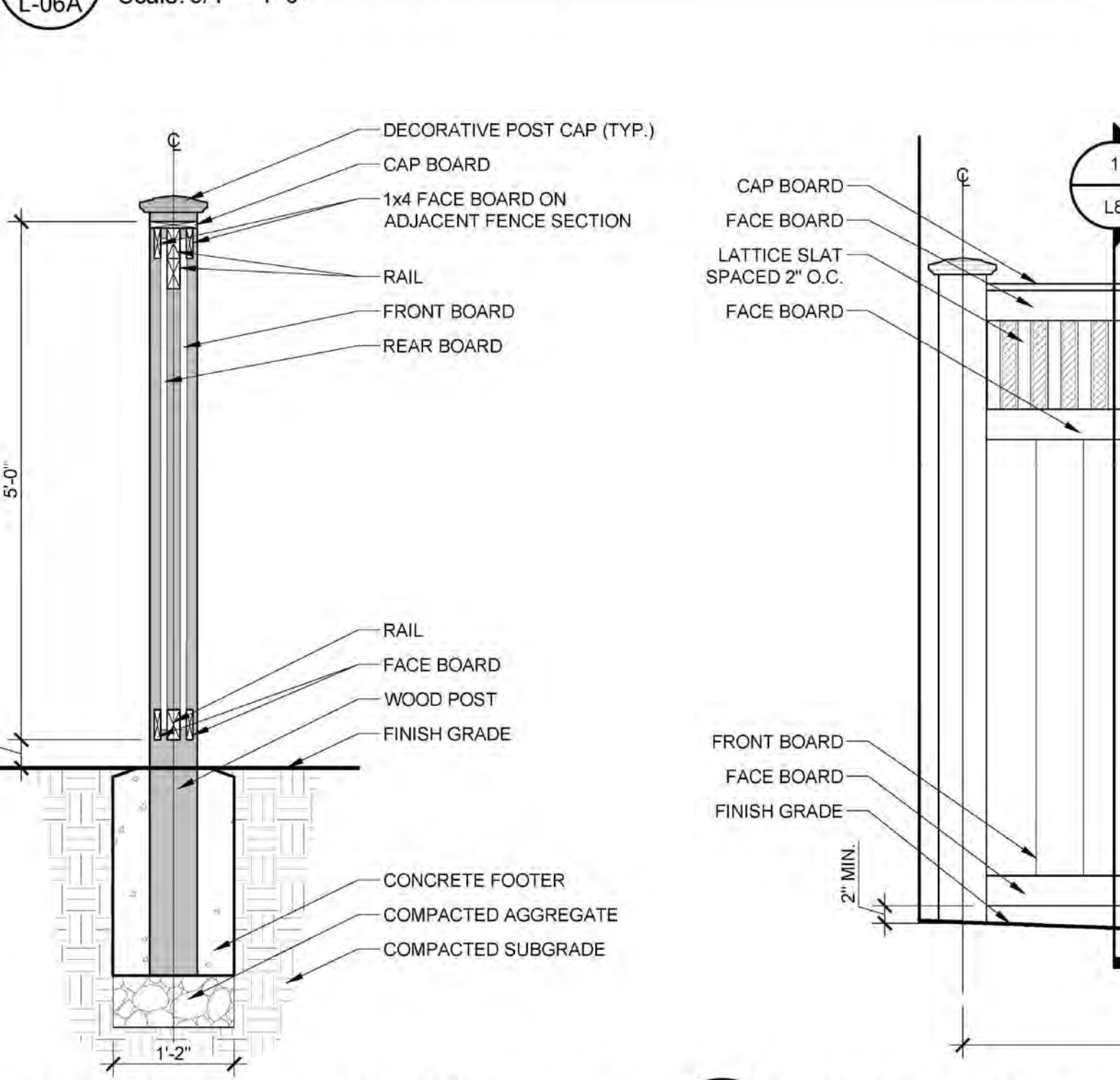
9 (L-06A) BIKE RACK LAYOUT Scale: 1" = 1'-0"



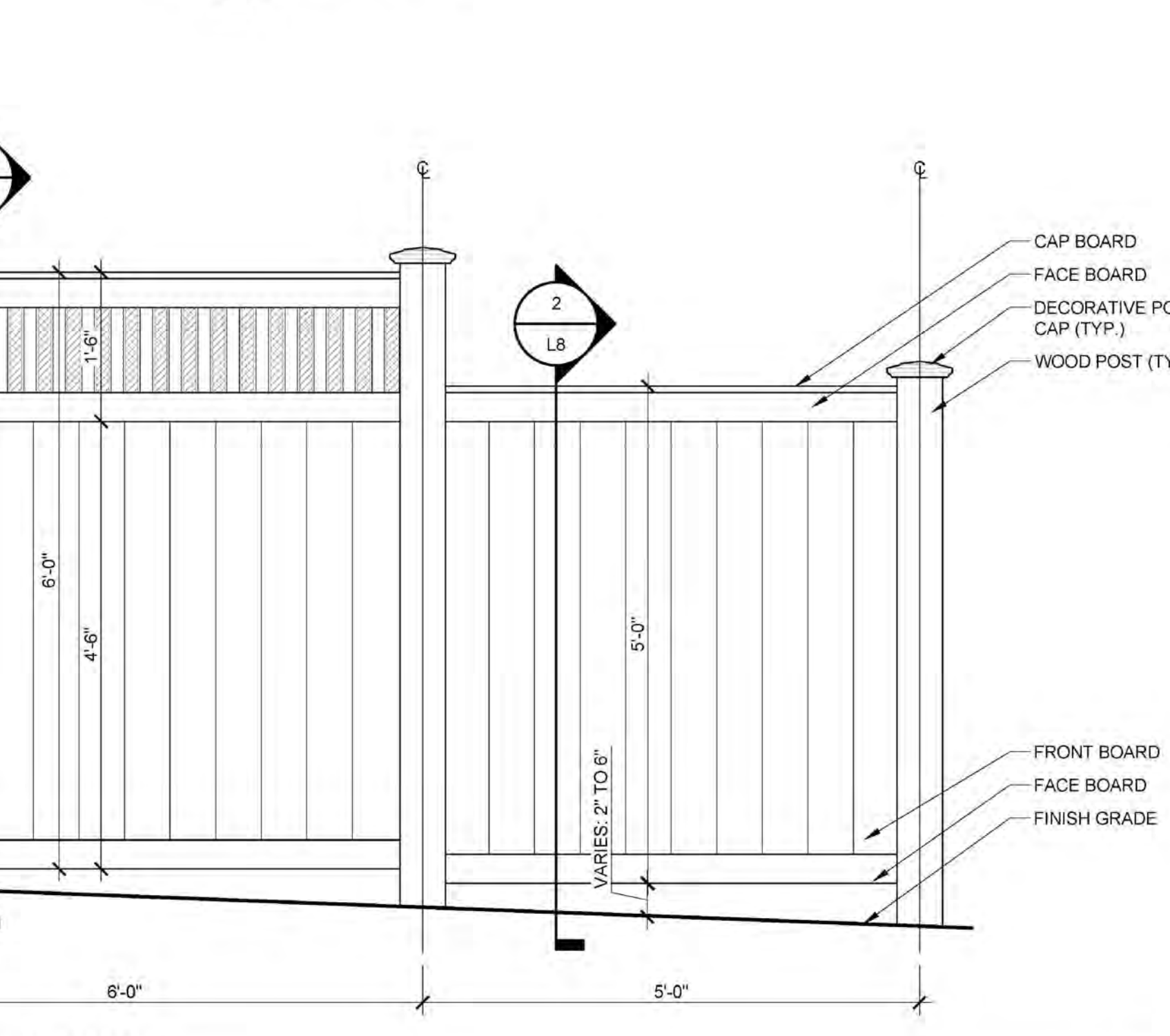
10 (L-06A) LITTER RECEPTAL Scale: NTS



6 (L-06A) SCREEN FENCE SECTION A Scale: 3/4" = 1'-0"



7 (L-06A) SCREEN FENCE SECTION B Scale: 3/4" = 1'-0"



8 (L-06A) SCREEN FENCE ELEVATION Scale: 3/4" = 1'-0"



11 (L-06A) BENCH Scale: NTS



12 (L-06A) BIKE RACK Scale: NTS