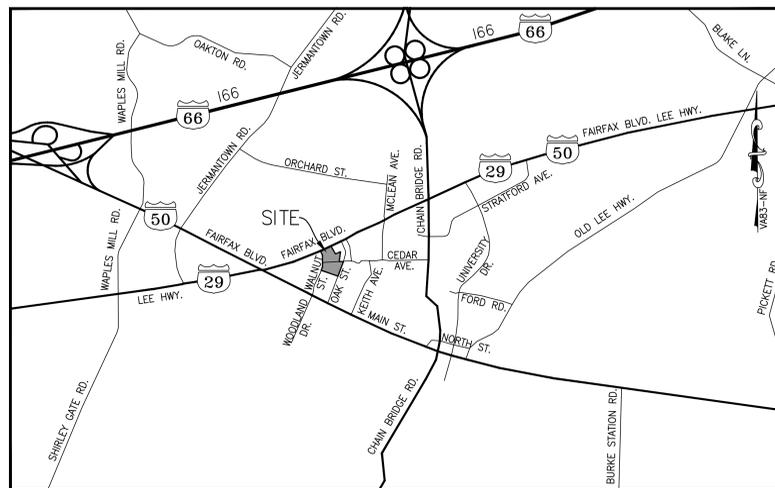


# MASTER DEVELOPMENT PLAN RT. 50 BREEZEWAY FAIRFAX CITY, VIRGINIA

## GENERAL NOTES

- THE SUBJECT PROPERTY SHOWN HEREON IS COMPRISED OF 6 PARCELS OF APPROXIMATELY ±4.633 ACRES AND RECORDED IN THE LAND RECORDS OF FAIRFAX CITY VIRGINIA AS FOLLOWS (SITE ACREAGE IS PROVIDED AS PER THE ZONING PLAT) AND RIGHT-OF-WAY VACATION:
- | PARCEL ID   | OWNER         | DESCRIPTION          | ADDRESS               | ACREAGE          | EXISTING ZONING      |
|---|---------------|----------------------|-----------------------|------------------|----------------------|
| 57-1-14-055A  | ROBERT PIERCE | FAIRFAX GARDENS APTS | 10807-10818 CEDAR AVE | 2.082 AC         | RMF MULTIFAMILY      |
| 57-1-14-043   | ROBERT PIERCE | BREEZEWAY MOTEL      | 10829 FAIRFAX BLVD    | 1.148 AC         | CR COMMERCIAL RETAIL |
| 57-1-14-083   | ROBERT PIERCE | SINGLE FAMILY        | 3937 WALNUT STREET    | 0.557 AC         | RH RESIDENTIAL HIGH  |
| 57-1-14-77A   | ROBERT PIERCE | SINGLE FAMILY        | 3930 OAK STREET       | 0.251 AC         | RH RESIDENTIAL HIGH  |
| 57-1-14-76A   | ROBERT PIERCE | SINGLE FAMILY        | 3932 OAK STREET       | 0.253 AC         | RH RESIDENTIAL HIGH  |
| 57-1-14-075A  | ROBERT PIERCE | SINGLE FAMILY        | 3934 OAK STREET       | 0.342 AC         | RH RESIDENTIAL HIGH  |
|   |               |                      |                       | TOTAL = 4.633 AC |                      |
| AREA OF CEDAR AVENUE AND WALNUT STREET RIGHT-OF-WAY TO BE VACATED = |               |                      |                       | 0.105 AC         |                      |
| TOTAL AREA =  |               |                      |                       | 4.738 AC         |                      |
- THE MASTER DEVELOPMENT PLAN ACCOMPANIES AN APPLICATION TO REZONE THE SUBJECT PROPERTY FROM THE RMF, CR AND RH DISTRICTS TO THE PD-M (PLANNED DEVELOPMENT MIXED USE) DISTRICT TO ALLOW A MIXED-USE DEVELOPMENT CONSISTING OF 42 TOWNHOUSES, 20 MULTIFAMILY STACKED CONDOMINIUM DWELLINGS, AND A COMMERCIAL BUILDING CONSISTING OF A MINIMUM OF 8,000 SQUARE FEET AND A MAXIMUM OF 10,000 SQUARE FEET TO BE CONSTRUCTED BY OTHERS. REFER TO THE SUBMITTED NARRATIVE FOR A DETAILED DESCRIPTION OF THE PROPOSAL.
- THE BOUNDARY AND PHYSICAL IMPROVEMENTS HEREON ARE BASED UPON A FIELD SURVEY DONE BY THIS FIRM (ATCS, PLC.) BETWEEN THE DATES OF JANUARY 25TH AND FEBRUARY 2ND, 2018.
- COORDINATE SYSTEM INFORMATION:
  - HORIZONTAL DATUM SHOWN HEREON IS REFERENCED TO THE VIRGINIA COORDINATE SYSTEM (NAD) 1983 - NORTH AS ESTABLISHED FROM A CURRENT CORS GPS SURVEY.
  - THE VERTICAL DATUM SHOWN HEREON IS REFERENCED TO THE NATIONAL GEODETIC VERTICAL DATUM (NAVD 88) AS IS ESTABLISHED FROM A CURRENT GPS SURVEY.
- THE AREA SHOWN HEREON IS LOCATED ON THE FLOOD INSURANCE RATE MAPS (FIRM), COMMUNITY PANEL NO. 5155240001 D WITH AN EFFECTIVE DATE OF JUNE 2ND, 2006. BY GRAPHICAL DEPICTION ONLY, THE PROPERTY HEREON IS SHOWN IN:
  - FLOOD ZONE "X" (OTHER AREAS), AREAS DETERMINED TO BE OUTSIDE THE 0.2% CHANCE FLOODPLAIN.
- A TITLE REPORT HAS FURNISHED AND HAS BEEN INCORPORATED AND SHOWN ON A BOUNDARY SURVEY DONE BY THIS FIRM AND ENTITLED "ALTA/NSPS LAND TITLE SURVEY OF FAIRFAX HEIGHTS SECTION 2 LOTS 43-47, 55-A, 56-A, 57-A, 58-A, 75-A, 76-A, 77-A, 78-A, 79-A, 80-A, 81-A, 83 & 84", DATED SEPTEMBER 6TH, 2017.
- THE SUBJECT PROPERTY IS CURRENTLY SERVED BY PUBLIC WATER AND PUBLIC SEWER PROVIDED BY FAIRFAX CITY.
- TO THE BEST KNOWLEDGE OF THE ENGINEER AND APPLICANT, THERE ARE NO EXISTING GRAVES OR BURIAL SITES LOCATED ON THE PROPERTY THE SUBJECT PROPERTY IS NOT LISTED UNDER THE NATIONAL REGISTER OF HISTORIC PLACES.
- TO THE BEST KNOWLEDGE OF THE ENGINEER AND APPLICANT, NO HAZARDOUS OR TOXIC SUBSTANCES ARE KNOWN TO BE PRESENT ONSITE.
- THIS DEVELOPMENT PROPOSAL IS COMPATIBLE WITH THE EXISTING DEVELOPMENT IN THE VICINITY OF THIS SITE IN TERMS OF USE, TYPE AND INTENSITY. NO ADVERSE EFFECTS TO NEIGHBORING PROPERTIES ARE ANTICIPATED WITH THIS PROJECT.
- TO THE BEST KNOWLEDGE OF THE ENGINEER AND APPLICANT, THIS DEVELOPMENT PLAN CONFORMS TO ALL APPLICABLE ORDINANCES, REGULATIONS AND ADOPTED STANDARDS, UNLESS OTHERWISE SPECIFICALLY NOTED.
- NOTWITHSTANDING THE IMPROVEMENTS AND TABULATIONS SHOWN ON THIS PLAN, THE APPLICANT RESERVES THE RIGHT TO MAKE MODIFICATIONS TO THE FINAL DESIGN TO COMPLY WITH FINAL ENGINEERING AND NEW CRITERIA AND REGULATION WHICH MAY BE ADOPTED BY FAIRFAX CITY SUBSEQUENT TO THE SUBMISSION OF THIS APPLICATION, PROVIDED THAT SUCH MODIFICATIONS ARE SUBSTANTIALLY CONSISTENT WITH THE APPROVED DEVELOPMENT PLAN.
- THE PROPOSED LAYOUT INCLUDING BUILDING FOOTPRINTS AND SITE IMPROVEMENTS SHOWN HEREIN ARE PRELIMINARY. THE PROPOSED LAYOUT MAY BE SUBJECT TO REVISIONS AT THE TIME OF SITE PLAN PREPARATION, SUBJECT TO MARKET CONDITIONS, BUT SUBSTANTIALLY CONSISTENT WITH THE APPROVED DEVELOPMENT PLAN.
- ALL EXISTING UTILITY EASEMENTS HAVING A WIDTH GREATER THAN 25 FEET ARE SHOWN ON THE EXISTING CONDITIONS PLAN.
- SITE LIGHTING WITHIN THE PROJECT SITE AREA (I.E. ALONG SIDEWALKS AND PATHWAYS) WILL BE DETERMINED DURING FINAL SITE PLAN REVIEW AND SHALL BE IN GENERAL CONFORMANCE WITH SECTION 4.8 OF THE ZONING ORDINANCE.
- ONSITE STORM WATER MANAGEMENT AND BEST MANAGEMENT PRACTICES (BMPs) SHALL BE PROVIDED AS REQUIRED BY CITY ENGINEER AT THE TIME OF FINAL SITE PLAN. DETENTION TO PROVIDE THE REQUIRED STORM WATER QUANTITY CONTROLS AND ONSITE BMPs TO MEET THE STORM WATER QUALITY REQUIREMENTS ARE SHOWN ON SHEET 4.
- ALL SIGNAGE WILL BE IN CONFORMANCE WITH SECTION 4.6 OF THE ZONING ORDINANCE.
- MODIFICATIONS AND WAIVERS FOR THIS WATER DEVELOPMENT PLAN INCLUDE THE FOLLOWING:
  - A MODIFICATION OF SECTION 4.5.6.B OF THE ZONING ORDINANCE FOR 10FT LANDSCAPE STRIP AND STREET TREES ALONG ALL PRIVATE ALLEYS.
  - WAIVER OF SECTION 2.1 OF THE FAIRFAX PFM FOR FRONTAGE/UTILITY IMPROVEMENTS ALONG FAIRFAX BLVD, OAK STREET, WALNUT STREET AND CEDAR AVENUE.
  - WAIVER OF SECTION 401-01 OF THE FAIRFAX PFM FOR TYPICAL CURB AND GUTTER STREET ON PRIVATE ACCESSWAYS THAT ARE LESS THAN 30 FEET FROM FACE OF CURB TO FACE OF CURB OR EDGE OF PAVEMENT.
  - A MODIFICATION OF SECTION 4.4.4.A.I OF THE ZONING ORDINANCE FOR SIDEWALKS REQUIRED ON BOTH SIDES ALONG ALL STREETS AND PRIVATE ALLEYS. THE APPLICANT PROPOSES SIDEWALKS AS SHOWN.
  - A MODIFICATION OF SECTION 3.5.1.C.2 OF THE ZONING ORDINANCE THAT REQUIRES THAT NO MORE THAN ONE OF ANY THREE TO FIVE, ABUTTING DWELLING UNITS HAVE THE SAME FRONT YARD SETBACK.
  - WAIVER OF SECTION 2.4.1 OF THE FAIRFAX PFM TO ALLOW FOR PRIVATE ACCESS WAYS TO HAVE A HORIZONTAL RADII OF LESS THAN 175 FEET.
  - A MODIFICATION OF THE TY3 15' TRANSITIONAL YARD BUFFER ON NORTH EAST SIDE ABUTTING PARCEL ID: 57114048-57114051.
  - A WAIVER OF THE DEVELOPMENT SCHEDULE REQUIREMENT OF SECTION 3.8.2.J OF THE ZONING ORDINANCE TO ALLOW OCCUPANCY OF THE ENTIRE RESIDENTIAL COMPONENT OF THE DEVELOPMENT PRIOR TO OCCUPANCY OF THE NONRESIDENTIAL COMPONENT.



VICINITY MAP  
SCALE: 1"=2,000'

## SHEET INDEX

- COVER SHEET
- EXISTING CONDITIONS PLAN
- TREE PRESERVATION PLAN
- TREE PRESERVATION PLAN
- MASTER DEVELOPMENT PLAN
- PRELIMINARY GRADING AND STORMWATER MANAGEMENT PLAN
- LANDSCAPE PLAN
- DRY UTILITY PLAN
- OPEN SPACE PLAN
- GENERAL DETAILS
- EMERGENCY ACCESS TURNING MOVEMENTS
- PEDESTRIAN MOVEMENT PLAN
- SIGHT DISTANCE PLAN
- PHOTOMETRIC PLAN
- ILLUSTRATIVE CONCEPT FOR POCKET PARK OPEN SPACE AREA
- EXTERIOR ELEVATIONS
- BUILDING SECTIONS

FILE PATH: S:\Projects\001271\_BreezeWay\_Motel\Civil\Design\Sheets\1271-REZONING MASTER DEVELOPMENT PLAN\01271 - BreezeWay - 1 - Cover.dwg PLOT DATE: 10/30/2020 10:14:32 AM BY: RAVI SHRESTHA

### PROPERTY OWNER

ROBERT PIERCE  
3613 PROSPERITY AVE  
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CONTACT: AMIE EVANS

### TRAFFIC ENGINEER

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SUBMISSION		REVISION	
NO.	DATE	NO.	DESCRIPTION
1	6/6/2019	1	ADDRESS CITY COMMENTS
2	4/7/2019	2	ADDRESS CITY COMMENTS
3	6/7/2019	3	ADDRESS CITY COMMENTS
4	9/14/2020	4	ADDRESS CITY COMMENTS
5	10/30/2020	5	ADDRESS CITY COMMENTS

COMMONWEALTH OF VIRGINIA  
JASON TURNER KACAMBARAS  
Lic. No. 0402042416  
Professional Engineer

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ATCS

COVER SHEET  
RT. 50 BREEZEWAY  
MASTER DEVELOPMENT PLAN  
LOCATION  
FAIRFAX CITY, VIRGINIA

AUTHOR: ZME  
CHECK: JTK  
PROJ.#: 001271  
DATE: 10/30/2020  
SCALE: AS SHOWN

SHEET: 1 of 26

FILE PATH: S:\Projects\001271\_Breezeway\_Motel\Civil\Design\1271-REZONING MASTER DEVELOPMENT PLAN\01271 - Breezeway - 2 - Existing Conditions.dwg PLOT DATE: 10/30/2020 10:25:26 AM BY: RAVI SHRESTHA



STORM SEWER ASBUILTS		SANITARY SEWER ASBUILTS	
1	TOP=390.31 FULL OF DEBRIS 15" RCP OUT APPROX - 388.3	1	TOP=388.51 8"DIP IN(2)=381.79 8"DIP IN(3)=380.71 8"DIP OUT=380.66
2	TOP=388.55 8" RCP OUT 385.20	2	TOP=391.02 4"DIP IN(NORTH)=387.01 4"DIP OUT=387.01
3	TOP=388.01 15" RCP OUT=384.89	3	TOP=381.98 8"DIP IN(1)=376.78 8"DIP IN(4)=376.96 8"DIP OUT=376.68
4	TOP=389.23 18" RCP IN(2)=384.24 15" RCP IN(3)=384.42 21" RCP OUT=384.12	4	TOP=382.09 8"DIP IN(10)=378.12 8"DIP OUT=377.09 (MAY BE BELLY IN PIPE LEADING TO 3)
5	TOP=388.52 33" RCP IN(3)=380.17 33" RCP OUT=378.89	5	TOP=381.54 8"DIP IN=374.85 8"DIP OUT=374.59
6	TOP=389.92 18" CMP IN(SW)=386.38 18" CMP OUT=386.30	6	TOP=378.88 8"DIP IN(5)=372.63 8"DIP IN(7)=374.85 8"DIP OUT=374.59
7	TOP=390.58 18" RCP IN(8)=386.26 18" RCP OUT=386.43	7	TOP=379.45 8"DIP IN(3)=374.85 8"DIP IN(8)=374.85 8"DIP OUT=374.59
8	TOP=396.26 15" RCP IN(SE)=392.04 15" RCP IN(W)=392.04 18" RCP OUT=392.02	8	TOP=380.64 8"DIP IN(9)=373.69 8"DIP OUT=373.67
9	TOP=389.42 18" RCP IN(7)=384.48 15" RCP IN(10)=384.56 18" RCP OUT=384.45	9	TOP=388.64 8"DIP IN(SOUTH)=382.21 8"DIP IN(WEST)=382.14 8"DIP OUT=381.99
10	TOP=389.32 15" RCP OUT=384.55	10	TOP=384.38 8"DIP IN(SW)=380.05 8"DIP IN(NE)=380.08 8"DIP OUT=379.94
11	TOP=388.29 18" RCP IN(9)=383.79 18" RCP OUT=382.95	11	TOP=390.75 6"DIP IN(NW)=380.05 8"DIP IN(NE)=380.08 8"DIP OUT=379.94
12	TOP=389.05 18" CMP IN(6)=384.83 18" CMP OUT=383.73		
13	TOP=385.42 15" RCP OUT=379.94		
14	TOP=384.39 15" RCP IN(13)=379.71 15" RCP OUT=379.62		
15	TOP=384.06 15" RCP IN(14)=379.59 18" RCP IN(9)=379.39 18" RCP OUT=376.52		
16	TOP=381.29 21" RCP IN=378.20 21" FIBERGLASS OUT=377.71		
17	TOP=378.39 24" RCP IN(30)=374.49 24" RCP OUT=374.44		
18	TOP=378.36 15" RCP OUT=376.14		
19	TOP=378.27 24" RCP IN(17)=374.34 24" RCP IN(25)=374.32 15" RCP IN(20)=374.25 48" RCP OUT=368.18		
20	TOP=378.50 15" RCP OUT=374.50		
21	TOP=378.47 42" RCP IN(28)=368.51 42" RCP OUT=368.45		
22	TOP=378.12 17" X25" CMP IN(18)=374.32 24" RCP OUT=372.83		
23	TOP=377.84 24" RCP IN(22)=372.84 15" RCP IN(24)=373.75 24" RCP OUT=372.88		
24	TOP=378.06 15" RCP OUT=373.78		
25	TOP=379.24 21" FIBERGLASS IN(16)=375.43 15" RCP IN=375.95 24" RCP OUT=375.30		
26	TOP=385.74 17" X24" CMP IN(12)=382.42 33" RCP IN=376.40 36" RCP OUT=376.12		
27	TOP=385.33 21" RCP IN=380.22 21" RCP OUT=380.25		
28	TOP=384.09 36" RCP IN=375.58 18" RCP IN=375.64 42" RCP OUT=373.08		
29	TOP=378.26 48" RCP IN(9)=377.90 48" RCP OUT=367.75		
30	TOP=378.67 24" RCP OUT=374.91		

LEGEND			
○	ELECTRIC GUY POLE	□	POWER POLE
⊗	WATER METER	□	PARKING BLOCK
OH	OVERHANG	□	GAS VALVE
CH	CHIMNEY	□	CLEAN OUT
WDF	WOOD FENCE	□	WATER METER
CLF	CHAIN LINK FENCE	□	HANDICAPPED RAMP
RW	RETAINING WALL	○	GUY WIRE
EP	EDGE OF PAVEMENT	○	UNDC. GAS
☆	LIGHT POLE	○	CABLE TELEVISION
⊗	HVAC UNIT	○	OVERHEAD ELEC.
⊗	TELEPHONE PEDESTAL	—	FENCE
⊗	SATELLITE DISH	—	SIDEWALK
⊗	SANITARY MANHOLE	—	BUILDING LINE DB E-12 PG 398
⊗	DRAINAGE MANHOLE	—	ROAD CENTERLINE
⊗	SIGN	—	ADJACENT PROPERTY LINE
⊗	FIRE HYDRANT	—	EX. OVERHEAD ELECTRIC
⊗	TRAFFIC SIGNAL POLE	—	EX. CURB
⊗	TRAFFIC CONTROL HANDHOLE	—	EX. EDGE OF PAVEMENT
●	IRON PIPE FOUND	—	EX. MINOR CONTOUR
●	IRON PIPE SET	—	EX. MAJOR CONTOUR
		—	PROPERTY BOUNDARY
		—	EX. SANITARY SEWER LINE
		—	EX. STORM SEWER LINE
		—	EX. WATER LINE
		—	TO BE DEMOLISHED

REVISION	NO.	DATE	DESCRIPTION
	1	6/6/2018	ADDRESS CITY COMMENTS
	2	4/7/2019	ADDRESS CITY COMMENTS
	3	6/7/2019	ADDRESS CITY COMMENTS
	4	9/14/2020	ADDRESS CITY COMMENTS
	5	10/30/2020	ADDRESS CITY COMMENTS

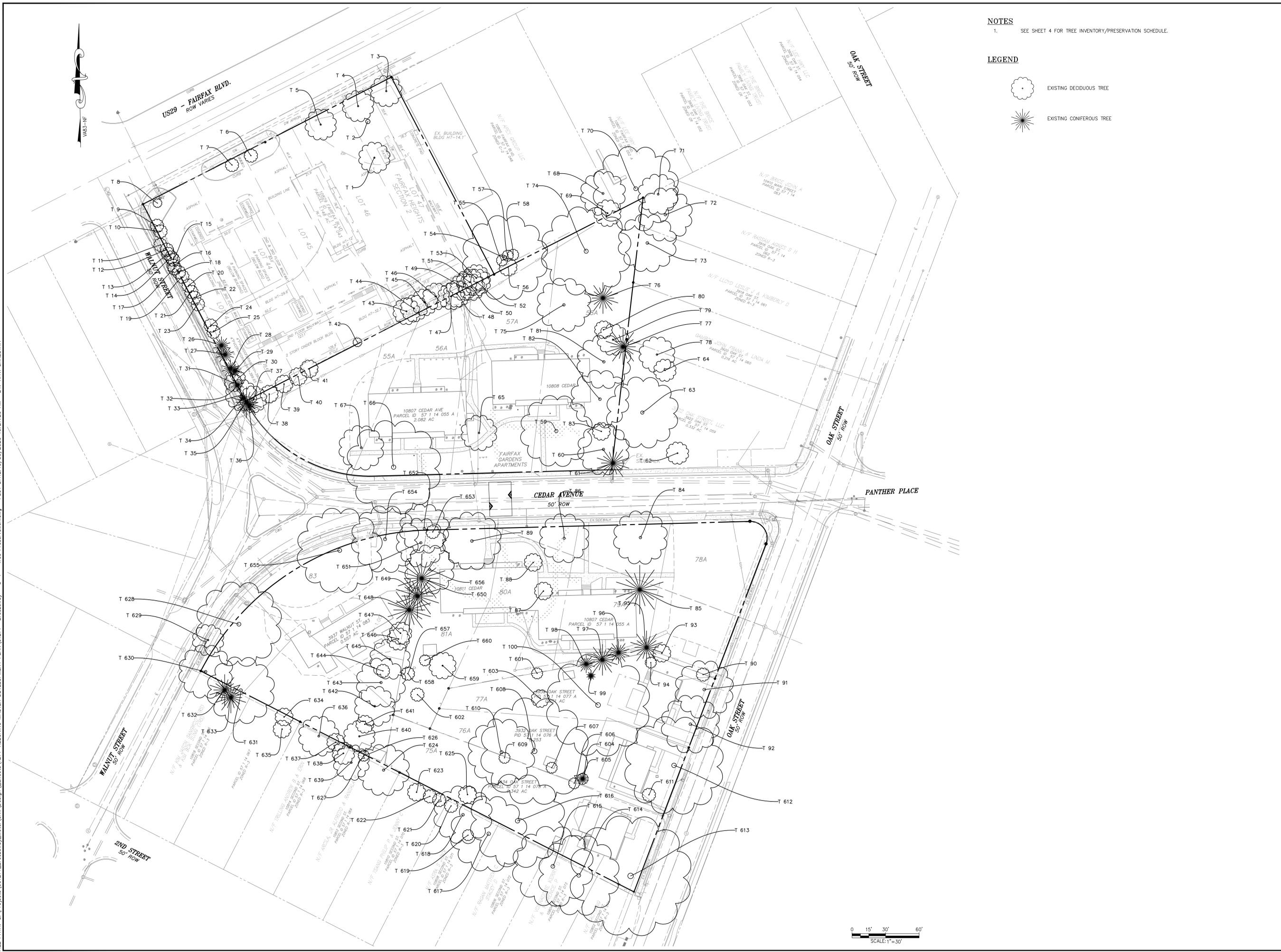
CLIENT: PULTE HOME COMPANY LLC  
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EXISTING CONDITIONS PLAN  
**RT. 50 BREEZEWAY**  
 MASTER DEVELOPMENT PLAN  
 LOCATION: FAIRFAX CITY, VIRGINIA

AUTHOR: ZME  
 CHECK: JTK  
 PROJ.#: 001271  
 DATE: 10/30/2020  
 SCALE: 1"=30'  
 SHEET: 2 of 26

FILE PATH: S:\Projects\001271\_Breezeway\_Motel\Civil\Design\Sheets\1271-REZONING MASTER DEVELOPMENT PLAN\01271 -Breezeway - 3-4 - Tree Preservation.dwg PLOT DATE: 10/30/2020 10:27:20 AM BY: RAVI SHRESTHA

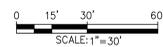


**NOTES**

1. SEE SHEET 4 FOR TREE INVENTORY/PRESERVATION SCHEDULE.

**LEGEND**

-  EXISTING DECIDUOUS TREE
-  EXISTING CONIFEROUS TREE



SUBMISSION		REVISION	
NO.	DATE	NO.	DESCRIPTION
1	6/6/2018	1	6/6/2018 ADDRESS CITY COMMENTS
2	4/7/2019	2	9/18/2019 ADDRESS CITY COMMENTS
3	6/7/2019	3	6/7/2019 ADDRESS CITY COMMENTS
4	9/14/2020	4	9/14/2020 ADDRESS CITY COMMENTS
5	10/30/2020	5	10/30/2020 ADDRESS CITY COMMENTS



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TREE PRESERVATION PLAN  
**RT. 50 BREEZEWAY**  
**MASTER DEVELOPMENT PLAN**  
 LOCATION  
 FAIRFAX CITY, VIRGINIA

AUTHOR:	ZME
CHECK:	JTK
PROJ.#:	001271
DATE:	10/30/2020
SCALE:	1"=30'
SHEET:	3 of 26

TREE INVENTORY/PRESERVATION SCHEDULE

TAG #	SPECIES	SIZE	**TRZ	***CONDITION	REMOVE -OR- REMAIN	COMMENTS
		*DBH (IN.)	D (FT.)	%		
1	JAPANESE MAPLE	14	28	40	REMOVE	
2	KOREAN DOGWOOD	2	4	70	REMOVE	
3	RED MAPLE	14	28	75	REMOVE	
4	RED MAPLE	14	28	75	REMOVE	
5	RED MAPLE	14	28	75	REMOVE	
6	JAPANESE MAPLE	6	12	35	REMOVE	
7	JAPANESE MAPLE	6	12	35	REMOVE	
8	KOREAN DOGWOOD	4	8	55	REMOVE	
9	LEYLAND CYPRESS	6	12	60	REMOVE	
10	LEYLAND CYPRESS	6	12	60	REMOVE	
11	LEYLAND CYPRESS	6	12	60	REMOVE	
12	LEYLAND CYPRESS	6	12	60	REMOVE	
13	LEYLAND CYPRESS	6	12	60	REMOVE	
14	LEYLAND CYPRESS	6	12	60	REMOVE	
15	LEYLAND CYPRESS	6	12	60	REMOVE	
16	LEYLAND CYPRESS	6	12	60	REMOVE	
17	LEYLAND CYPRESS	6	12	60	REMOVE	
18	LEYLAND CYPRESS	6	12	60	REMOVE	
19	LEYLAND CYPRESS	6	12	60	REMOVE	
20	LEYLAND CYPRESS	6	12	60	REMOVE	
21	LEYLAND CYPRESS	6	12	60	REMOVE	
22	LEYLAND CYPRESS	6	12	60	REMOVE	
23	LEYLAND CYPRESS	6	12	60	REMOVE	
24	LEYLAND CYPRESS	6	12	60	REMOVE	
25	LEYLAND CYPRESS	6	12	60	REMOVE	
26	EASTERN RED CEDAR	8,6	16	60	REMOVE	
27	EASTERN RED CEDAR	8	16	60	REMOVE	
28	EASTERN RED CEDAR	8	16	60	REMOVE	
29	EASTERN RED CEDAR	6,4	12	60	REMOVE	
30	EASTERN RED CEDAR	6	12	60	REMOVE	
31	BLACK LOCUST	8	16	60	REMOVE	
32	EASTERN RED CEDAR	6,4	12	45	REMOVE	
33	EASTERN RED CEDAR	14	28	65	REMOVE	
34	EASTERN RED CEDAR	4	8	65	REMOVE	
35	EASTERN RED CEDAR	14	28	65	REMOVE	
36	EASTERN RED CEDAR	8,6	16	65	REMOVE	
37	WHITE MULBERRY	12	24	65	REMOVE	
38	LEYLAND CYPRESS	8	16	45	REMOVE	
39	LEYLAND CYPRESS	8	16	45	REMOVE	
40	LEYLAND CYPRESS	8	16	45	REMOVE	
41	LEYLAND CYPRESS	8	16	45	REMOVE	
42	RED MAPLE	4,4	8	65	REMOVE	
43	LEYLAND CYPRESS	12	24	45	REMOVE	
44	LEYLAND CYPRESS	12	24	45	REMOVE	
45	LEYLAND CYPRESS	12	24	45	REMOVE	
46	LEYLAND CYPRESS	12	24	45	REMOVE	
47	LEYLAND CYPRESS	12	24	45	REMOVE	
48	LEYLAND CYPRESS	12	24	45	REMOVE	
49	LEYLAND CYPRESS	12	24	45	REMOVE	
50	LEYLAND CYPRESS	12	24	45	REMOVE	
51	LEYLAND CYPRESS	12	24	45	REMOVE	
52	LEYLAND CYPRESS	12	24	45	REMOVE	
53	LEYLAND CYPRESS	12	24	45	REMOVE	
54	WHITE ASH	38	76	25	REMAIN	OFF SITE
55	SASSAFRAS	5,5	10	25	REMAIN	OFF SITE
56	WHITE MULBERRY	8	16	75	REMOVE	
57	WHITE MULBERRY	5,4,5	10	75	REMAIN	OFF SITE
58	WHITE MULBERRY	5,4,5	10	75	REMAIN	OFF SITE
59	RED MAPLE	32	64	65	REMOVE	
60	SILVER MAPLE	23	46	25	REMAIN	

TAG #	SPECIES	SIZE	**TRZ	***CONDITION	REMOVE -OR- REMAIN	COMMENTS
		*DBH (IN.)	D (FT.)	%		
61	EASTERN RED CEDAR	15	30	40	REMOVE	
62	CHERRY SPECIES	10	20	75	REMAIN	OFF SITE
63	PIN OAK	32	64	75	REMAIN	OFF SITE
64	CHERRY SPECIES	10	20	75	REMAIN	OFF SITE
65	LEYLAND CYPRESS	16	32	75	REMAIN	
66	SILVER MAPLE	42	84	75	REMOVE	
67	NORWAY SPRUCE	20	40	70	REMOVE	
68	WHITE ASH	20	40	75	REMAIN	OFF SITE
69	RED MAPLE	12	24	65	REMAIN	OFF SITE
70	TULIP TREE	38	76	65	REMAIN	OFF SITE
71	BLACK CHERRY	18	36	65	REMAIN	OFF SITE
72	RED MAPLE	24	48	65	REMAIN	OFF SITE
73	TULIP TREE	26	52	65	REMAIN	OFF SITE
74	RED MAPLE	40	80	65	REMAIN	
75	WHITE MULBERRY	24	48	65	REMOVE	
76	AMERICAN HOLLY	14	28	65	REMOVE	
77	AMERICAN HOLLY	16	32	65	REMOVE	
78	TULIP TREE	16	32	65	REMAIN	OFF SITE
79	TULIP TREE	14	28	65	REMOVE	
80	WHITE MULBERRY	8	16	65	REMOVE	
81	RED MAPLE	24	48	65	REMOVE	
82	EASTERN COTTONWOOD	26	52	65	REMOVE	
83	WHITE MULBERRY	8	16	40	REMAIN	
84	RED MAPLE	24	48	80	REMOVE	
85	NORWAY SPRUCE	22	44	65	REMOVE	
86	RED MAPLE	22	44	80	REMAIN	
87	HOLLY SPECIES	8,6	16	80	REMOVE	
88	HOLLY SPECIES	8,6	16	80	REMOVE	
89	RED MAPLE	26	52	80	REMAIN	
90	BLACK WALNUT	6,6	12	60	REMOVE	
91	RED MAPLE	26	52	60	REMAIN	
92	RED MAPLE	26	52	40	REMAIN	
93	WHITE MULBERRY	8,6,4	16	40	REMOVE	
94	WHITE ASH	5	10	40	REMOVE	
95	EASTERN WHITE PINE	15	30	50	REMOVE	
96	EASTERN WHITE PINE	10	20	50	REMOVE	
97	EASTERN WHITE PINE	14	28	50	REMOVE	
98	EASTERN WHITE PINE	8	16	25	REMOVE	
99	EASTERN RED CEDAR	4	8	25	REMOVE	
100	RED MAPLE	46	92	75	REMOVE	
601	RED MAPLE	5	10	55	REMOVE	
602	CALERY PEAR	16	32	30	REMOVE	
603	RED MAPLE	8	16	75	REMOVE	
604	CHERRY SPECIES	5	10	40	REMOVE	
605	AMERICAN HOLLY	5	10	40	REMOVE	
606	BOXELDER	5	10	40	REMOVE	
607	BOXELDER	5	10	40	REMOVE	
608	SILVER MAPLE	48	96	40	REMOVE	
609	SILVER MAPLE	5	10	25	REMOVE	
610	RED MAPLE	30	60	40	REMOVE	
611	FLOWERING DOGWOOD	6	12	50	REMOVE	
612	SILVER MAPLE	44	88	40	REMOVE	
613	SILVER MAPLE	54	108	40	REMAIN	
614	SILVER MAPLE	36	72	40	REMAIN	OFF SITE
615	SILVER MAPLE	36	72	40	REMAIN	OFF SITE
616	SILVER MAPLE	42	84	40	REMAIN	
617	SILVER MAPLE	34	68	40	REMAIN	OFF SITE
618	RED MAPLE	26,20	52	60	REMAIN	OFF SITE
619	RIVER BIRCH	5,4	10	60	REMAIN	OFF SITE
620	BOXELDER	6	12	60	REMAIN	OFF SITE
621	BOXELDER	6	12	60	REMAIN	OFF SITE
622	BOXELDER	6	12	60	REMAIN	OFF SITE

TAG #	SPECIES	SIZE	**TRZ	***CONDITION	REMOVE -OR- REMAIN	COMMENTS
		*DBH (IN.)	D (FT.)	%		
623	BLACK CHERRY	8	16	60	REMAIN	OFF SITE
624	RED MAPLE	23	46	80	REMAIN	OFF SITE
625	COMMON PEAR	8	16	30	REMOVE	
626	NORWAY MAPLE	5	10	30	REMOVE	OFF SITE
627	NORWAY MAPLE	5	10	30	REMOVE	
628	RED MAPLE	38	76	40	REMOVE	
629	WHITE MULBERRY	14	28	40	REMAIN	OFF SITE
630	PITCH PINE	24	48	55	REMAIN	
631	PIN OAK	30	60	25	REMOVE	
632	EASTERN RED CEDAR	14	28	70	REMAIN	OFF SITE
633	EASTERN RED CEDAR	14	28	70	REMAIN	OFF SITE
634	BOXELDER	8	16	70	REMAIN	OFF SITE
635	RED MAPLE	8	16	70	REMAIN	OFF SITE
636	RED MAPLE	18,18	36	70	REMAIN	OFF SITE
637	RED MAPLE	8	16	70	REMAIN	OFF SITE
638	RED MAPLE	10,4,4	20	70	REMAIN	OFF SITE
639	SILVER MAPLE	16,16,10,12	32	50	REMAIN	OFF SITE
640	BOXELDER	14	28	30	REMOVE	
641	BOXELDER	8	16	30	REMOVE	
642	BLACK WALNUT	18	36	75	REMOVE	
643	RED MAPLE	22,8	44	75	REMOVE	
644	WHITE MULBERRY	6,6	12	50	REMOVE	
645	RED MAPLE	18	36	70	REMOVE	
646	WHITE MULBERRY	10,10	20	70	REMOVE	
647	WHITE MULBERRY	10,10	20	70	REMOVE	
648	EASTERN WHITE PINE	20	40	25	REMOVE	
649	EASTERN WHITE PINE	20	40	25	REMOVE	
650	EASTERN WHITE PINE	22	44	60	REMOVE	
651	EASTERN WHITE PINE	22	44	60	REMAIN	
652	EASTERN WHITE PINE	22	44	60	REMOVE	
653	WHITE MULBERRY	6	12	60	REMOVE	
654	RED MAPLE	30	60	60	REMOVE	
655	RED MAPLE	38	76	60	REMOVE	
656	RED MAPLE	22	44	60	REMOVE	
657	BLACK CHERRY	6	12	40	REMOVE	
658	BOXELDER	6	12	40	REMOVE	
659	COMMON PERSIMMON	12	24	40	REMOVE	
660	COMMON PERSIMMON	5	10	70	REMOVE	

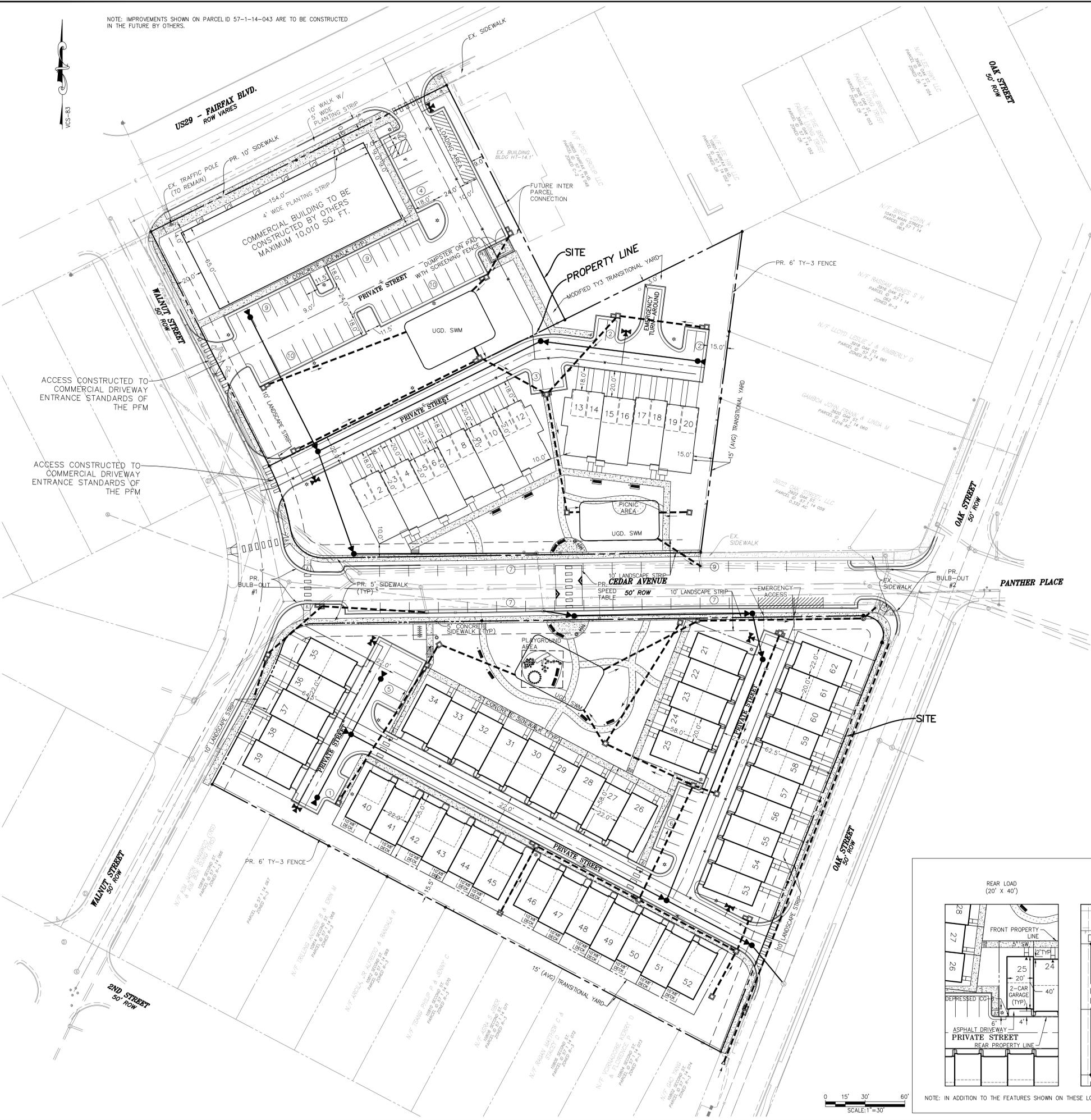
INVENTORY DATA COLLECTED BY DONALD E. ZIMAR, CERTIFIED ARBORIST MA-0039, RCA #446  
 \*\*DBH = DIAMETER AT BREAST HEIGHT (MEASURED 4.5 FEET ABOVE GROUND)  
 \*\*TRZ = TYPICAL ROOT ZONE (1 FOOT OF RADIUS PER INCH OF TREE DIAMETER)  
 \*\*\*CONDITION RATINGS PROVIDED AS PERCENT AGES BASED ON METHODS OUTLINED IN THE LATEST EDITION OF THE GUIDE FOR PLANT APPRAISAL, PUBLISHED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE  
 TRZ FOR TREES WITH MULTIPLE STEMS WERE CALCULATED BASED ON THE DIAMETER OF A TREE WITH THE BASAL AREA EQUIVALENT TO SUM OF THE BASAL AREAS FOR ALL STEMS MEASURED  
 CABLE # IS NUMBER OF RECOMMENDED CABLES. FINAL DETERMINATION TO ARBORIST DOING WORK.  
 H= HAND REMOVAL  
 C= CROWN CLEANING BY PRUNING DEAD, DISEASED, DETACHED, AND BROKEN BRANCHES 2 INCHES IN DIAMETER AND LARGER AS CLOSE TO THE POINT OF ORIGIN POSSIBLE WITHOUT CUTTING INTO BRANCH COLLAR TISSUE.

FILE PATH: S:\Projects\001271\_Breezeaway\_Motel\Civil\Design\Sheets\1271-REZONING MASTER DEVELOPMENT PLAN\01271 - Breezeaway - 3-4 - Tree Preservation.dwg PLOT DATE: 10/30/2020 10:25:49 AM BY: RAVI SHRESTHA

CLIENT: PULTE HOME COMPANY LLC 9302 LEE HIGHWAY, SUITE 1000 FAIRFAX, VA 22031	13861 SUNRISE VALLEY DRIVE, SUITE 200 HERNDON, VIRGINIA 20171 (703) 430-7500 FAX (703) 430-0889 HERNDON - LARGO - BALTIMORE BLACKSBURG - RICHMOND RALEIGH - RICHMOND WWW.ATCSPLC.COM
TREE PRESERVATION PLAN <b>RT. 50 BREEZEWAY</b> MASTER DEVELOPMENT PLAN	LOCATION FAIRFAX CITY, VIRGINIA
AUTHOR: ZME CHECK: JTK PROJ.#: 001271 DATE: 10/30/2020 SCALE: NOT TO SCALE	SHEET: 4 of 26

FILE PATH: S:\Projects\001271\_Breezeway\_Motel\Civil\Design\Sheets\1271-REZONING MASTER DEVELOPMENT PLAN\01271 - Breezeway - 5 - Master Development.dwg PLOT DATE: 10/30/2020 10:26:43 AM BY: RAVI SHRESTHA

NOTE: IMPROVEMENTS SHOWN ON PARCEL ID 57-1-14-043 ARE TO BE CONSTRUCTED IN THE FUTURE BY OTHERS.



**SITE ZONING REQUIREMENTS & TABULATIONS**

**REQUIREMENTS OF PD-M DISTRICT**  
 AREA: 2 ACRES MINIMUM  
 RECREATION & OPEN SPACE: 20% REQUIRED  
 PERIMETER BUFFER: 15' WIDE TRANSITIONAL YARD (TY3)  
 STREET TREES: MINIMUM 10' WIDE LANDSCAPE STRIP ALONG ALL STREETS  
 TREE CANOPY: 10% MINIMUM  
 BUILDING HEIGHT: NONE

**PROPOSED TABULATIONS FOR DEVELOPMENT PLAN**

**SITE AREA:**

- COMMERCIAL AREA: 1.148 AC
- RESIDENTIAL AREA W/ R.O.W. VACATION (0.105 AC): 3.590 AC
  - NORTH OF CEDAR: 1.185 AC
  - SOUTH OF CEDAR: 2.405 AC
- TOTAL AREA W/ R.O.W. VACATION: 4.738 AC
- COMMERCIAL FAR: 0.20 = 10,010 SF / (1.148 X 43,560)
- RESIDENTIAL DENSITY: 17.27 DU/AC = 62 DU / 3.59 AC
- TOTAL OPEN SPACE PROVIDED: 20.6% (SEE SHEET 9 FOR OPEN SPACE PLAN)
  - 0.326 AC + 0.066 AC + 0.243 AC + 0.294 AC + 0.045 AC = 0.974 AC
  - (0.974 AC / 4.738 AC) X 100 = 20.6%
- TREE CANOPY: 18.6% - APPROX. 38,495 SQ. FT. (SEE SHEET 7 FOR CANOPY TABULATIONS)
- PERIMETER BUFFER: 15' WIDE TRANSITIONAL YARD (TY3) PROVIDED ALONG BOUNDARIES OF ALL RESIDENTIALLY AND RESIDENTIALLY ZONED PROPERTIES.
- STREET TREES: 10' WIDE LANDSCAPE STRIP PROVIDED WITH 1 CANOPY TREE PER 40 LINEAR FEET ALONG ALL STREET FRONTAGES.
- BUILDING HEIGHTS: (SEE SHEETS 16-24 FOR ARCHITECTURAL BUILDING ELEVATION VIEWS)
  - TOWNHOMES: FF ELEV. TO ROOF MIDPOINT = ~38'
  - MULTI-FAMILY: FF ELEV. TO ROOF MIDPOINT = ~49'

**PARKING TABULATIONS:**

PARKING TABULATIONS (PER FAIRFAX CITY ZONING ORDINANCE)				
PARKING TYPE	QUANTITY	REQUIREMENT	REQUIRED	PROVIDED
RESIDENTIAL	62 UNITS (20 MULTI-FAMILY) (42 SINGLE ATTACHED)	2 SPACES/UNIT	124	TOTAL 143 19 SURFACE 104 GARAGE 20 TANDEM
COMMERCIAL	10,010 S.F.	1 SPACE/200 S.F. 1 SPACE/300 S.F.	VARIES BY USE+	TOTAL 44 44 SURFACE SPACES MAXIMUM
TOTAL			124+	187

\*30 ADDITIONAL PARALLEL PARKING SPACES ALONG CEDAR AVENUE\*  
 + REQUIRED PARKING FOR THE COMMERCIAL COMPONENT TO BE DETERMINED BASED ON THE USE OR MIX OF USES.

**PRODUCT TYPES:**

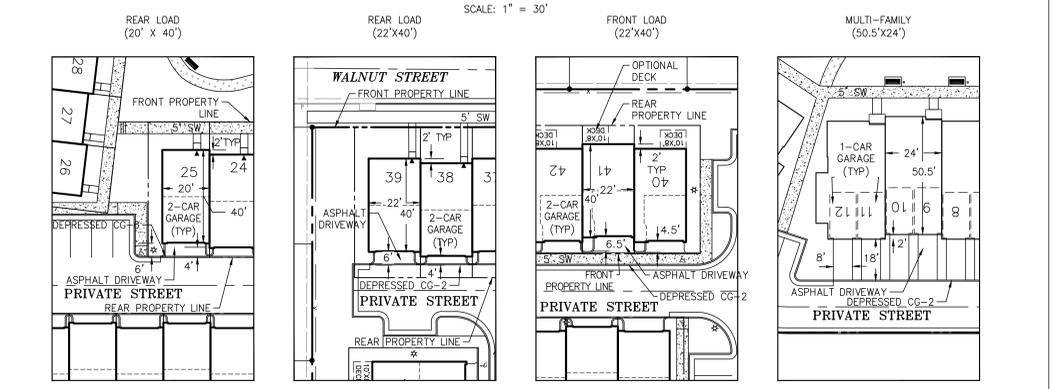
RESIDENTIAL PRODUCT TYPES	QUANTITY
TOWN HOME - REAR LOAD 20' WIDE	15
TOWN HOME - REAR LOAD 22' WIDE	14
TOWN HOME - FRONT LOAD 22' WIDE	13
STACKED CONDO - REAR LOAD 24' WIDE (2 DU / BLDG. x 10 BLDG.)	20
TOTAL	62

- NOTES**
- BICYCLE PARKING TO BE IN CONFORMANCE WITH SECTION 4.2.8 OF THE ZONING ORDINANCE. (SEE SHEET 10 FOR DETAIL)
  - HANDICAP PARKING TO BE IN CONFORMANCE WITH ADA REGULATIONS AND WILL BE FINALIZED AT THE TIME OF SITE PLAN.
  - SEE KID PLAY AREA DETAIL ON SHEET 10 FOR INFORMATION OF PROPOSED FEATURES.
  - PROPOSED UTILITIES SHOWN ARE PRELIMINARY AND ARE SUBJECT TO REVISIONS DURING THE TIME OF FINAL SITE PLAN.
  - SEE BUILDING SECTION EXHIBIT ON SHEET 26 FOR TRANSITION IN BUILDING HEIGHTS FROM PROPOSED TOWNHOMES (UNITS 40-52) TO THE EXISTING SINGLE-FAMILY HOMES ALONG 2ND STREET.
  - ALL PRIVATE STREETS AND ADJACENT SIDEWALKS SHOWN ON THIS SHEET SHALL BE SUBJECT TO A PUBLIC ACCESS EASEMENT.
  - ALL PRIVATE STREETS, ACCESSWAYS, TRAILS AND SIDEWALKS SHOWN ON THIS SHEET SHALL BE SUBJECT TO AN EMERGENCY VEHICLE ACCESS EASEMENT.

**LEGEND**

	EX. SIDEWALK		PR. PLAZA
	PR. SIDEWALK		PR. TRASH RECEPTACLE
	ROAD CENTERLINE		PR. PEDESTRIAN LIGHT
	ADJACENT PROPERTY LINE		PR. STREET LIGHT
	EX. OVERHEAD ELECTRIC		PR. METAL BENCH
	EX. CURB		PR. BIKE RACK
	EX. EDGE OF PAVEMENT		PR. FIRE HYDRANT
	EX. MINOR CONTOUR		PR. UNDERGROUND SWM FACILITY WITH ISOLATOR ROW
	EX. MAJOR CONTOUR		
	PROPERTY BOUNDARY		
	EX. SANITARY SEWER LINE		
	EX. STORM SEWER LINE		
	EX. WATER LINE		
	PR. SANITARY SEWER LINE		
	PR. STORM SEWER LINE		
	PR. STORM SEWER LINE		

**TYPICAL DWELLING UNIT CONFIGURATIONS**



NOTE: IN ADDITION TO THE FEATURES SHOWN ON THESE LOT TYPICALS, ARCHITECTURAL AND ORNAMENTAL FEATURES MAY BE PROVIDED PURSUANT TO SECTION 1.5.12.E OF THE ZONING ORDINANCE.

REVISION

NO.	DATE	DESCRIPTION
1	6/6/2019	ADDRESS CITY COMMENTS
2	9/18/2019	ADDRESS CITY COMMENTS
3	6/7/2019	---
4	9/14/2020	---
5	10/30/2020	---

COMMONWEALTH OF VIRGINIA  
 JASON TURNER KACAMBARIS  
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ATCS

MASTER DEVELOPMENT PLAN  
 RT. 50 BREEZEWAY  
 MASTER DEVELOPMENT PLAN

LOCATION  
 FAIRFAX CITY, VIRGINIA

AUTHOR: ZME  
 CHECK: JTK  
 PROJ.#: 001271  
 DATE: 10/30/2020  
 SCALE: 1" = 30'

SHEET: 5 of 26

FILE PATH: S:\Projects\001271\_Breezezy\001271-REZONING MASTER DEVELOPMENT PLAN\01271 - Breezezy - 6 - Preliminary Grading.dwg PLOT DATE: 10/30/2020 10:27:53 AM BY: RAV SHRESTHA



**NOTES**

- THIS IS A PRELIMINARY GRADING & LIMITS OF CLEARING SHOWN ON THIS PLAN IS SUBJECT TO CHANGE AT THE TIME OF FINAL SITE PLAN.
- LOCATIONS AND SIZING OF SWM/BMP FACILITIES SHOWN ARE BASED ON A PRELIMINARY STUDY TO ENSURE COMPLIANCE WITH STATE AND CITY REQUIREMENTS. THE TYPE AND LOCATIONS OF FACILITIES SHOWN IS SUBJECT TO CHANGE WITH FINAL DESIGN.

**LEGEND**

	EX. SIDEWALK		PR. UNDERGROUND SWM FACILITY WITH ISOLATOR ROW
	PR. SIDEWALK		
	ROAD CENTERLINE		
	ADJACENT PROPERTY LINE		
	EX. OVERHEAD ELECTRIC		
	EX. CURB		
	EX. EDGE OF PAVEMENT		
	EX. MINOR CONTOUR		
	EX. MAJOR CONTOUR		
	PR. MINOR CONTOUR		
	PR. MAJOR CONTOUR		
	PROPERTY BOUNDARY		
	EX. SANITARY SEWER LINE		
	EX. STORM SEWER LINE		
	EX. WATER LINE		
	PR. SANITARY SEWER LINE		
	PR. STORM SEWER LINE		
	PR. STORM SEWER LINE		
	LIMITS OF CLEARING		

**STORMWATER MANAGEMENT (SWM) & BEST MANAGEMENT PRACTICE (BMP) NARRATIVE**

**SWM**  
 WATER QUANTITY FOR THIS PROJECT WILL BE PROVIDED IN ACCORDANCE WITH STATE CODE 9VAC25-870-66-66 QUANTITY AND THE CITY OF FAIRFAX STORMWATER ORDINANCE. THIS BEING A REDEVELOPMENT, THE IMPROVEMENT FACTOR WILL BE UTILIZED TO MEET CHANNEL PROTECTIONS FOR THE 1-YEAR 24 HOUR STORM AND THE POST DEVELOPMENT 10-YEAR 24-HOUR STORM EVENT WILL BE CONFINED TO RELEASE AT A RATE LESS THAN PRE-DEVELOPED CONDITIONS TO MEET FLOOD PROTECTION.  
 TO MEET THESE WATER QUANTITY REQUIREMENTS, 3 UNDERGROUND DETENTION FACILITIES WILL BE UTILIZED. PRELIMINARY LOCATIONS ARE SHOWN ON THE DEVELOPMENT PLAN.

**ADEQUATE OUTFALL**  
 THE EXISTING SITE DISCHARGES CONCENTRATED RUNOFF TO 2 OUTFALL LOCATION:  
 A. EXISTING OUTFALL A INCLUDES MOSTLY ON-SITE SHEET FLOW FROM PROPERTIES NORTH OF CEDAR AVENUE THAT DRAINS SOUTH WEST FROM FAIRFAX BLV/WALNUT WHERE IT LEAVES THE SITE AND DRAINS SOUTH INTO THE CEDAR DRIVE STORM PIPE DRAINAGE SYSTEM THAT CONVEYS DRAINAGE WEST ALONG PANTHER PLACE THAT ULTIMATELY DISCHARGES IN A 100-YEAR FLOODPLAIN SOUTHWEST OF THE PROJECT SITE.  
 B. EXISTING OUTFALL B INCLUDES MOSTLY ON-SITE SHEET FLOW FROM THE SUBJECT PROPERTIES SOUTH OF CEDAR AVENUE THAT DRAINS NORTH EAST FROM WALNUT WHERE IT DRAINS INTO THE CEDAR DRIVE STORM PIPE DRAINAGE SYSTEM @ OAK STREET THAT CONVEYS DRAINAGE WEST ALONG PANTHER PLACE THAT ULTIMATELY DISCHARGES IN A 100-YEAR FLOODPLAIN SOUTHWEST OF THE PROJECT SITE.

**BMP**  
 THIS PROJECT WILL USE THE VIRGINIA RUNOFF REDUCTION METHOD (VRRM) REDEVELOPMENT TO MEET STATE, PART 11B CRITERIA (9VAC25-870-65) AND CITY WATER QUALITY DESIGN CRITERIA. THE PROJECT SITE AREA INCLUDES ALL AREA WITHIN THE PROPOSED LIMITS OF CLEARING AND GRADING. TO MEET WATER QUALITY DESIGN CRITERIA AND PHOSPHORUS REMOVAL REQUIREMENTS, A COMBINATION OF BOTH PROPRIETARY AND NON-PROPRIETARY BMP FACILITIES MAY BE USED. THESE FACILITIES MAY INCLUDE: ISOLATOR ROWS, HYDRODYNAMIC SEPARATORS, FILTERTRAS, PERMEABLE PAVEMENT, & BIOTENTIONS. PRELIMINARY LOCATIONS ARE SHOWN ON THE DEVELOPMENT PLAN.

REVISION		DESCRIPTION	
NO.	DATE	NO.	DATE
1	6/6/2018	1	6/6/2018
2	9/18/2019	2	9/18/2019
3	6/7/2019	3	6/7/2019
4	6/7/2019	4	6/7/2019
5	10/30/2020	5	10/30/2020

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PRELIMINARY GRADING PLAN AND STORMWATER MANAGEMENT PLAN  
**RT. 50 BREEZEWAY**  
 MASTER DEVELOPMENT PLAN  
 LOCATION: FAIRFAX CITY, VIRGINIA

AUTHOR:	ZME
CHECK:	JTK
PROJ.#:	001271
DATE:	10/30/2020
SCALE:	1"=30'

SHEET: 6 of 26

FILE PATH: S:\Projects\001271\_Breezeway\_Mokey\GIS\Sheets\7-1-REZONING MASTER DEVELOPMENT PLAN\01271 - Breezeway - 7 - Landscaping.dwg PLOT DATE: 10/30/2020 10:29:04 AM BY: RAVI SHRESHTHA



**LANDSCAPE LEGEND**

- PROPOSED DECIDUOUS TREE CATEGORY IV (250 SF) - TRANSITIONAL YARD
- PROPOSED DECIDUOUS TREE CATEGORY III (150 SF) - TRANSITIONAL YARD
- PROPOSED DECIDUOUS TREE CATEGORY IV (250 SF) - STREET TREES
- PROPOSED DECIDUOUS TREE CATEGORY II (100 SF) - INTERIOR PARKING
- PROPOSED DECIDUOUS TREE CATEGORY II (100 SF) - TRANSITIONAL YARD
- PROPOSED SHRUB - TRANSITIONAL YARD
- PROPOSED UNDERSTORY TREE - ALONG FAIRFAX BOULEVARD
- PROPOSED DECIDUOUS TREE CATEGORY III (150 SF) - OPEN SPACE PARK
- PROPOSED SHRUB - OPEN SPACE PARK
- EXISTING TREE TO BE PRESERVED

**LANDSCAPE TABULATIONS**

**STREET TREES**  
**REQUIRED:** MINIMUM 10 FOOT WIDE LANDSCAPE STRIP ALONG ALL STREETS WITH 1 CANOPY TREE PER 40 LINEAR FEET.  
 PROPOSED 10 FOOT WIDE LANDSCAPE STRIP AND 1 CANOPY TREE PER 40 LINEAR FEET (LF) ALONG ALL STREETS (FAIRFAX BOULEVARD, WALNUT STREET, CEDAR AVENUE AND OAK STREET), 1,750 LF/40 LF = 44 CANOPY TREES  
**PROVIDED:** 44 TOTAL = 39 PROPOSED CANOPY TREES & 5\* EXISTING CANOPY TREES  
 \* 5 OF THE 11 EXISTING TREES TO BE PRESERVED TO BE COUNTED TOWARDS STREET TREE REQUIREMENTS.

**PARKING LOT LANDSCAPING - PERIMETER**  
**REQUIRED:** PARKING LOTS WITH FRONTAGE ON PUBLIC RIGHT-OF-WAY SHALL BE SCREENED BY A LANDSCAPED HEDGE. A WALL OR FENCE. PARKING LOTS ADJACENT TO RESIDENTIALLY ZONED PROPERTY SHALL PROVIDE A TRANSITIONAL YARD TY3.  
 PROPOSED PARKING LOTS DO NOT HAVE FRONTAGE ON PUBLIC RIGHT-OF-WAY. A PROJECT BOUNDARY TRANSITIONAL YARD TY3 IS PROVIDED ADJACENT TO ALL RESIDENTIAL ZONED PROPERTIES PER Z.O. SECT. 4.5.5.C.2(b)(2).  
**PROVIDED:** NO LANDSCAPING SHALL BE REQUIRED PER Z.O. SECT. 4.5.7.C.

**PARKING LOT LANDSCAPING - INTERIOR**  
**REQUIRED:** ON-SITE SURFACE PARKING LOTS WITH MORE THAN 10 SPACES REQUIRES A LANDSCAPED ISLAND WITH 1 CANOPY TREE PER EVERY 10 SPACES.  
 PROPOSED 63 SURFACE PARKING LOT SPACES = 63/10 = 6 CANOPY TREES  
**PROVIDED:** 10 CANOPY TREES

**TRANSITIONAL YARD**  
**REQUIRED:** PROJECT BOUNDARY TRANSITIONAL YARD TY3.  
 WIDTH = 15 FEET  
 FENCE (LOCATED ON LOT LINE) = 6 FOOT HEIGHT  
 PLANTINGS (PER 100 LINEAR FEET) = 4 CANOPY TREES/4 UNDERSTORY TREES/4 SHRUBS  
 LINEAR FEET (LF) ALONG THE EAST AND SOUTH PROPERTY BOUNDARIES ADJACENT TO RESIDENTIALLY AND COMMERCIALLY ZONED PARCELS = 1,033 LF/100 LF = 10.33 X 4 = 42 CANOPY TREES/ 43 UNDERSTORY TREES/ 42 SHRUBS TOTAL.  
**PROVIDED:** PROJECT BOUNDARY TRANSITIONAL YARD TY3.  
 WIDTH = 15 FEET  
 FENCE (LOCATED ON LOT LINE) = 6 FOOT HEIGHT  
 PLANTINGS (TOTAL) = 42 CANOPY TREES/ 43 UNDERSTORY TREES/ 42 SHRUBS

**10-YEAR TREE COVER CALCULATIONS**

TREE COVER REQUIRED	
SITE AREA:	206,475 SF (4.74 AC)
PERCENT OF TREE COVER REQUIRED:	10%
TOTAL AREA OF TREE COVER REQUIRED:	20,648 SF
TREE COVER PROVIDED	
TRANSITIONAL YARD:	
42 - 3.5" CALIPER DECIDUOUS CATEGORY IV (250 SF - CANOPY)	10,500 SF
20 - 3.5" CALIPER DECIDUOUS CATEGORY III (150 SF - UNDERSTORY)	3,000 SF
23 - 3.5" CALIPER DECIDUOUS CATEGORY II (100 SF - UNDERSTORY)	2,300 SF
STREET TREES:	
39 - 3.5" CALIPER DECIDUOUS CATEGORY IV (250 SF - CANOPY)	11,000 SF
INTERIOR PARKING:	
10 - 3.5" CALIPER DECIDUOUS CATEGORY II (100 SF - CANOPY)	1,000 SF
EXISTING TREES:	
11 - DECIDUOUS (645 SF - CANOPY)	7,095 SF
OPEN SPACE PARK:	
24 - 3.5" CALIPER DECIDUOUS CATEGORY III (150 SF - UNDERSTORY)	3,600 SF
<b>TOTAL PROPOSED TREE CANOPY:</b>	<b>38,495 SF (18.6%)</b>

- NOTES**
- DETAILED LANDSCAPE PLANTINGS, HARDSCAPE DESIGN, & LIGHTING FOR THE PROPOSED OPEN SPACE AREAS SHOWN WILL BE PROVIDED AT THE TIME OF THE FINAL SITE PLAN.
  - IN THE EVENT THE EXISTING TREES DO NOT MEET THE CITY TREE COVER REQUIREMENTS ADDITIONAL TREE PLANTINGS WILL BE PROVIDED TO MEET 10-YEAR TREE COVER REQUIREMENTS.
  - PRELIMINARY UTILITIES SHOWN ARE SUBJECT TO CHANGE AT THE TIME OF FINAL SITE PLAN.

**LEGEND**

- ROAD CENTERLINE
- ADJACENT PROPERTY LINE
- EX. OVERHEAD ELECTRIC
- EX. CURB
- EX. EDGE OF PAVEMENT
- EX. MINOR CONTOUR
- EX. MAJOR CONTOUR
- PROPERTY BOUNDARY
- EX. SANITARY SEWER LINE
- EX. STORM SEWER LINE
- EX. WATER LINE
- PR. SANITARY SEWER LINE
- PR. STORM SEWER LINE



SUBMISSION		REVISION	
NO.	DATE	NO.	DESCRIPTION
1	6/6/2019	1	6/6/2019 ADDRESS CITY COMMENTS
2	4/7/2019	2	9/18/2019 ADDRESS CITY COMMENTS
3	6/7/2019	3	
4	9/14/2020	4	
5	10/30/2020	5	

**JASON TURNER KACAMBURAS**  
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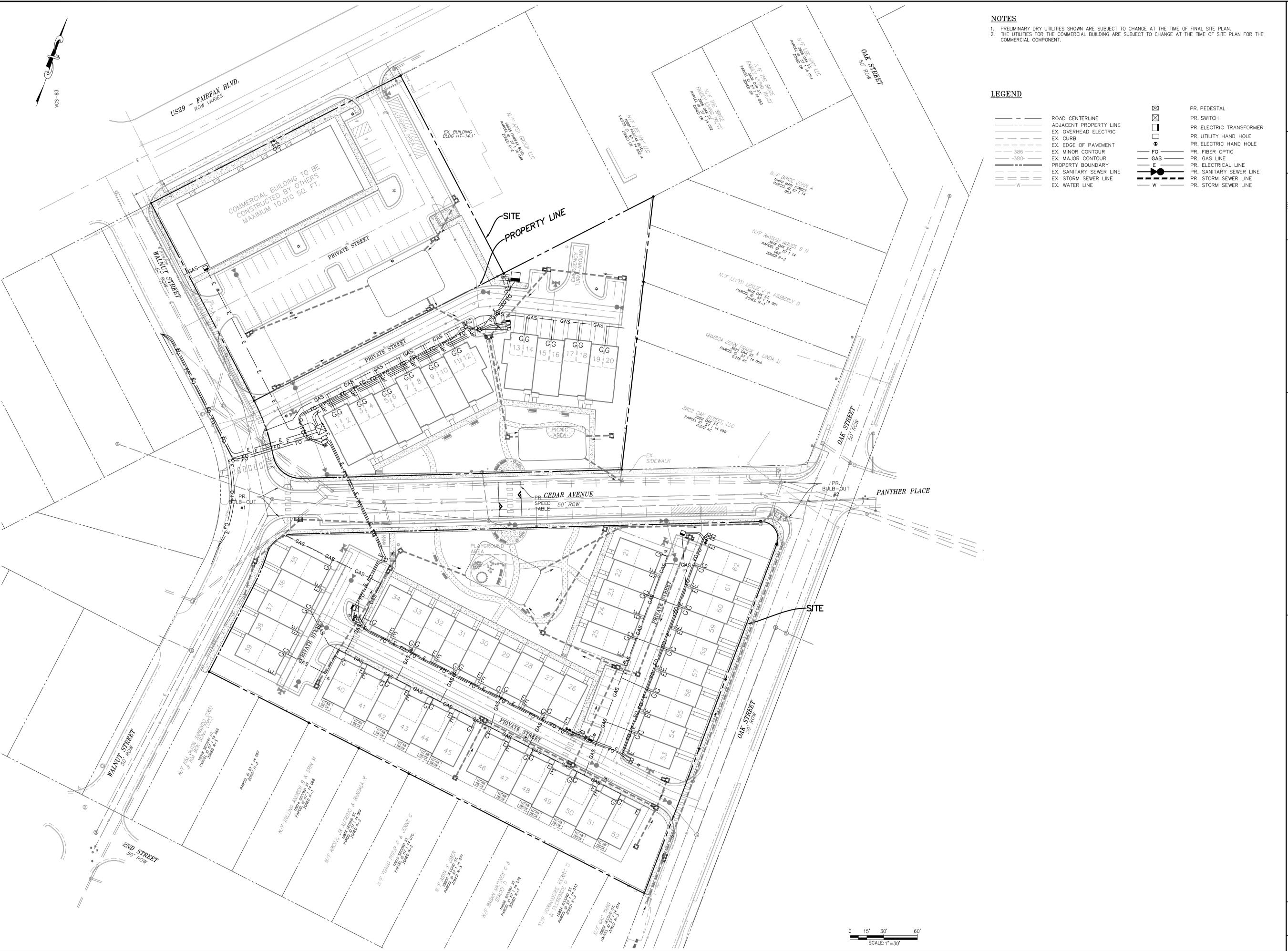
**LANDSCAPE PLAN**  
**RT. 50 BREEZEWAY**  
**MASTER DEVELOPMENT PLAN**

LOCATION  
 FAIRFAX CITY, VIRGINIA

AUTHOR:	ZME
CHECK:	JTK
PROJ.#:	001271
DATE:	10/30/2020
SCALE:	

SHEET: 7 of 26

FILE PATH: S:\Projects\001271\_Breezeway\_MoKa\GIS\Sheets\271-REZONING MASTER DEVELOPMENT PLAN\01271 -Breezeway - 8 - Dry Utility.dwg PLOT DATE: 10/30/2020 10:24:45 AM BY: RAVI SHRESTHA

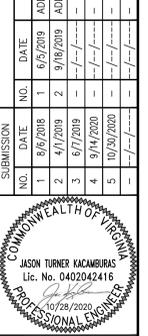


**NOTES**  
 1. PRELIMINARY DRY UTILITIES SHOWN ARE SUBJECT TO CHANGE AT THE TIME OF FINAL SITE PLAN.  
 2. THE UTILITIES FOR THE COMMERCIAL BUILDING ARE SUBJECT TO CHANGE AT THE TIME OF SITE PLAN FOR THE COMMERCIAL COMPONENT.

**LEGEND**

---	ROAD CENTERLINE	☒	PR. PEDESTAL
- - - -	ADJACENT PROPERTY LINE	☒	PR. SWITCH
---	EX. OVERHEAD ELECTRIC	☐	PR. ELECTRIC TRANSFORMER
---	EX. CURB	☐	PR. UTILITY HAND HOLE
---	EX. EDGE OF PAVEMENT	○	PR. ELECTRIC HAND HOLE
---	EX. MINOR CONTOUR	○	PR. FIBER OPTIC
---	EX. MAJOR CONTOUR	○	PR. GAS LINE
---	PROPERTY BOUNDARY	○	PR. ELECTRICAL LINE
---	EX. SANITARY SEWER LINE	○	PR. SANITARY SEWER LINE
---	EX. STORM SEWER LINE	○	PR. STORM SEWER LINE
---	EX. WATER LINE	○	PR. STORM SEWER LINE

REVISION	NO.	DATE	DESCRIPTION
	1	6/6/2019	ADDRESS CITY COMMENTS
	2	9/18/2019	ADDRESS CITY COMMENTS
	3	6/7/2019	
	4	9/14/2020	
	5	10/30/2020	



**CLIENT**  
 PULTE HOME COMPANY LLC  
 9302 LEE HIGHWAY, SUITE 1000  
 FAIRFAX, VA 22031

13861 SUNRISE VALLEY DRIVE, SUITE 200  
 HERNDON, VIRGINIA 20171  
 (703) 430-7500 FAX (703) 430-0899  
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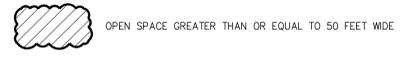
DRY UTILITY PLAN  
**RT. 50 BREEZEWAY**  
 MASTER DEVELOPMENT PLAN  
 LOCATION  
 FAIRFAX CITY, VIRGINIA

AUTHOR: ZME  
 CHECK: JTK  
 PROJ.#: 001271  
 DATE: 10/30/2020  
 SCALE:  
 SHEET: 8 of 26

FILE PATH: S:\Projects\001271\_Breezeway\_Motel\Civil\Design\1271-REZONING MASTER DEVELOPMENT PLAN\01271 - Breezeway - 9 - Open\_Space.dwg PLOT DATE: 10/30/2020 10:22:33 AM BY: RAMI SHRESTHA



**LEGEND**



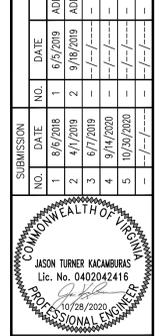
**OPEN SPACE REQUIREMENT & TABULATIONS**

	REQUIRED	PROVIDED
TOTAL SITE AREA (W/ R.O.W. DEDICATION)	-	4.738 AC OR 206,387 SF
TOTAL OPEN SPACE AREA	-	0.974 AC OR 42,427 SF
OPEN SPACE >= 50 FEET WIDE	20%	20.6%

**NOTES**

1. OPEN SPACE IS REQUIRED PER 3.8.2.G. AS 20 PERCENT OF THE PLANNED DEVELOPMENT. THE QUALIFIED OPEN SPACE SHALL CONFORM TO THE REQUIREMENTS OF 3.8.7.
2. SEE SHEET 15 FOR ILLUSTRATIVE POCKET PARK OPEN SPACE EXHIBIT.
3. THE DESIGN AND LAYOUT OF PEDESTRIAN WALKWAYS WITHIN THE OPEN SPACE ARE PRELIMINARY IN NATURE AND SUBJECT TO CHANGE AT THE TIME OF FINAL SITE PLAN.
4. \* DENOTES OPEN SPACE AREAS THAT WILL BE SUBJECT TO PUBLIC ACCESS EASEMENTS

REVISION	NO.	DATE	DESCRIPTION
	1	6/6/2019	ADDRESS CITY COMMENTS
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	3	6/7/2019	
	4	9/14/2020	
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**CLIENT**  
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OPEN SPACE PLAN  
**RT. 50 BREEZEWAY**  
**MASTER DEVELOPMENT PLAN**  
 LOCATION  
 FAIRFAX CITY, VIRGINIA

AUTHOR: ZME  
 CHECK: JTK  
 PROJ.#: 001271  
 DATE: 10/30/2020  
 SCALE: 1"=50'



FILE PATH: S:\Projects\001271\_BreezeWay\_Model\Civil\Design\Sheets\1271-REZONING MASTER DEVELOPMENT PLAN\01271 - BreezeWay - 10 - General Details.dwg PLOT DATE: 10/30/2020 10:22:87 AM BY: RAVI SHRESTHA

## Patterson-Williams

PATTERSON - WILLIAMS  
PO BOX 1290  
SALEM, IL 62881  
TOLL FREE: 1-888-442-2925  
PHONE: (618) 548-2890  
www.pattersonwilliams.com

SELECT DESIRED MODEL:

- MODEL 1605-32
- MODEL 1605-42
- MODEL 1605-52

**PERSPECTIVE VIEW**  
FRONT VIEW MODEL 1605-32  
SIDE VIEW MODEL 1605-32  
FRONT VIEW MODEL 1605-42  
SIDE VIEW MODEL 1605-42  
FRONT VIEW MODEL 1605-52  
SIDE VIEW MODEL 1605-52

**SPECIFICATIONS:**  
STEEL:  
A. STEEL PLATE SHALL CONFORM TO THE REQUIREMENTS OF ASTM A36.  
B. STEEL TUBING SHALL CONFORM TO THE REQUIREMENTS OF ASTM A500.  
C. STEEL PIPE SHALL CONFORM TO THE REQUIREMENTS OF ASTM A53.  
D. WELDING SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICAN WELDING SOCIETY'S SPECIFICATIONS FOR THE MATERIALS BEING WELDED.  
E. WELDING ELECTRODES SHALL BE E70XX.  
FINISH: COMPONENTS SHALL BE COATED WITH POLYESTER TGIC POWDER COAT FINISH MEETING AAMA 2604-02 SPECIFICATION.

**NOTES:**  
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.  
2. DO NOT SCALE DRAWING.  
3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.  
4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.  
5. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info AND ENTER REFERENCE NUMBER 01271 - BreezeWay - 10 - General Details

**BIKE RACKS**  
BIKE RACKS: MODEL 1605

## auroralight™

AURORALIGHT INC.  
2742 LOKER AVE. WEST  
CARLSBAD, CA 92010  
TOLL FREE: 1-877-942-1179  
PHONE: (760) 931-2910  
FAX: (760) 931-2916  
www.auroralight.com

SELECT DESIRED VOLTAGE:

- [12] 12V
- [120] 120V

SELECT DESIRED WATTAGE:

- [12] 12W
- [15] 15W

SELECT DESIRED LED:

- [270] 2700K
- [300] 3000K
- [450] 4500K
- [D] DIMMABLE

SELECT DESIRED HEIGHT:

- [26] 26"
- [32] 32"
- [XX] SPECIFY (MIN.: 12" MAX.: 48")

SELECT DESIRED AMS MOUNT:

- [1/2] 1/2" MALE THREAD
- [G/S] GROUND STAKE
- [T/R] 12" TRIDENT SPIKE
- [S/M] SURFACE MOUNT
- [L/P] LEVELING PEDESTAL
- [P/M] PEDESTAL MOUNT

SELECT DESIRED FINISH:

- [NAT] NATURAL
- [BLP] BRONZE LIVING PATINA
- [BLP-X0] BLP EXTRA DARK
- [NI] NICKEL PVD

**ELEVATION**

**NOTES:**  
1. SEE MANUFACTURER'S DETAILS FOR MOUNTING OPTIONS.  
2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.  
3. DO NOT SCALE DRAWING.  
4. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.  
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6. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info AND ENTER REFERENCE NUMBER 4159-055.

**PEDESTRIAN LIGHT/BOLLARD**  
LBD350-C6 BOLLARD

**TYPICAL TRASH AND RECYCLING PAD**

PLATE NO. **33-10** STD. NO. **DPW-15**

Ref. Sec. 10-0306.6  
Rev. 4-08, 2011 Reprint

Ordering Guide:  
1385: LUMINAIRE  
CP346: POLE

**Luminaire Detail Scale 1/16**

Color: (specify)

**Luminaire Matrix**

Color: (specify)  
X BLACK  
- WHITE  
- VERDE  
- BRONZE  
- GREEN

OPTICS:  
- TYPE II CUTOFF  
X TYPE V CUTOFF

PHOTO CONTROL:  
X BUTTON-EYE  
- TWIST-LOCK RECEPT.  
- NONE

3000K, X MEDUM, X HOGA

HEIGHTS:  
70W HPS  
100W HPS  
X 150W HPS  
175W HPS  
200W HPS  
250W HPS  
50W HPS  
70W HPS  
100W HPS  
150W HPS  
200W HPS  
250W HPS

VOLTAGE: (specify)  
- 120V  
- 208V  
- 240V  
- 277V  
- 347V

POLE: 6" STRAIGHT PLATED 1/2" THICK 0.125" WALL THICKNESS 6063-T6 ALUMINUM ALLOY

BASE: CAST ALUMINUM 3/32" H. ALLOY W/ ACCESS COVER

BASE DETAIL: REFERENCE TEMPLATE #T01000626

**STREET LIGHT DETAIL**

17' - 2 3/16"  
14' - 0"  
17.70  
37.16  
16.00

**PRODUCT APPROVALS**

HADCO  
CUST.

**CONFIDENTIAL**  
This drawing is confidential and proprietary to the client. It is not to be reproduced without the express written consent of HADCO. Any use beyond that of the intended project shall be the sole responsibility of the user.

THIS DRAWING IS FOR REFERENCE ONLY. CHECK FOR LATEST REVISION PRIOR TO ORDERING.

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Over 32 Years of Experience  
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Limestone, Pennsylvania 17532-0178  
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Fax: 717-359-9515  
www.hadco.com

REP. TERRITORY: **UM** DRAWN BY: **SMK**

SCALE: **1:25** DATE:

DRAWING NUMBER: **C3881-DW01**

REP: **Streetscapes**

REV: **B** PCH 07-070  
BY: **SMK** DATE:

**KID PLAY AREA**  
TIMBER STEPPERS

**LEGEND**  
A - TIMBER STEPPER 8"  
B - TIMBER STEPPER 10"  
C - TIMBER STEPPER 16"  
D - TIMBER STEPPER 20"  
E - TIMBER STEPPER 24"  
F - TIMBER STEPPER 30"

**NOTES:**  
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.  
2. DO NOT SCALE DRAWINGS.  
3. THIS PLAY AREA & EQUIPMENT IS DESIGNED FOR AGES 5 TO 12 YEARS.  
4. IT IS THE MANUFACTURER'S OPINION THAT THIS PLAY AREA DOES CONFORM TO THE A.D.A. ACCESSIBILITY GUIDELINES.  
5. THIS CONCEPTUAL PLAN WAS BASED ON INFORMATION AVAILABLE TO US. PRIOR TO CONSTRUCTION, DETAILED SITE INFORMATION, INCLUDING SITE DIMENSIONS, TOPOGRAPHY, EXISTING UTILITIES, SOIL CONDITIONS, AND DRAINAGE SOLUTIONS SHOULD BE OBTAINED, EVALUATED & UTILIZED IN THE FINAL DESIGN.  
6. CHOOSE A PROTECTIVE SURFACING MATERIAL THAT HAS A CRITICAL HEIGHT VALUE OF AT LEAST THE HEIGHT OF THE HIGHEST ACCESSIBLE PART/FALL HEIGHT OF THE ADJACENT EQUIPMENT (REFER TO LOCAL SAFETY CODES).

**6' PARK BENCH**  
PICTORIAL

(28) SCROLLED VERTICAL STEEL SLATS ARE FORMED FROM SECTIONS OF 1/4" x 1-1/2" SOLID STEEL BARS

INTEGRAL WELDED CROSS-MEMBERS OF 7/8" TUBULAR STEEL

1-5/16" TUBULAR STEEL RUNG USED FOR ADDITIONAL SUPPORT

6"x6" PRECAST CONCRETE SKID

CLEARANCE FOR 3/8" ANCHOR BOLTS

**SUPPLIER:**  
VICTORY STANLEY INC.  
P.O. BOX DRAWER 330  
DUNKIRK, MARYLAND 20754  
PH: (301) 855-8300  
PH: (800) 368-2573

**STYLE**  
MODEL: CR-96; CLASSIC SERIES C SERIES  
LENGTH: 6'  
FRAME: STEEL  
FRAME COLOR: V.S. BLACK

**NOTES:**  
1. BENCH TO BE SURFACE MOUNTED TO CONCRETE SKID PER MANUFACTURER'S INSTRUCTIONS. BURY SKID  
2. OR APPROVED EQUAL TO THE SATISFACTION OF THE DEPARTMENT OF PLANNING AND ZONING AND/OR DEPARTMENT OF RECREATION, PARKS, AND CULTURAL ACTIVITIES.  
3. SEE PLAN FOR QUANTITY.

**WASTE RECEPTACLE**  
PICTORIAL

**SUPPLIER:**  
VICTORY STANLEY INC.  
P.O. BOX DRAWER 330  
DUNKIRK, MARYLAND 20754  
PH: (301) 855-8300  
PH: (800) 368-2573

**MODEL:**  
IRONITES MODEL NUMBER SD-42 (36 GAL.)  
LID: STANDARD TAPERED FORMED LID  
FRAME COLOR: BLACK

**NOTES:**  
1. OR APPROVED EQUAL TO THE SATISFACTION OF THE DEPARTMENT OF PLANNING AND ZONING AND/OR DEPARTMENT OF RECREATION, PARKS, AND CULTURAL ACTIVITIES.  
2. RECEPTACLE TO BE MOUNTED IN GROUND PER MANUFACTURER'S INSTRUCTIONS.  
3. SEE PLAN FOR QUANTITY AND LOCATIONS.  
4. CUT PAVERS TO FIT AROUND MOUNTING LEG WHEN APPLICABLE.  
5. USE TAMPER RESISTANT HARDWARE.  
6. RECEPTACLE SHALL INCLUDE DOMED LID.

REVISION	NO.	DATE	DESCRIPTION
	1	6/6/2018	ADDRESS CITY COMMENTS
	2	4/7/2019	ADDRESS CITY COMMENTS
	3	6/7/2019	ADDRESS CITY COMMENTS
	4	9/14/2020	ADDRESS CITY COMMENTS
	5	10/30/2020	ADDRESS CITY COMMENTS

**COMMONWEALTH OF VIRGINIA**  
JASON TURNER KACAMBARAS  
Lic. No. 0402042416  
Professional Engineer

**CLIENT:**  
PULTE HOME COMPANY LLC  
9302 LEE HIGHWAY, SUITE 1000  
FAIRFAX, VA 22031

13861 SUNRISE VALLEY DRIVE, SUITE 200  
HERNDON, VIRGINIA 20171  
HERNDON, VIRGINIA 20171  
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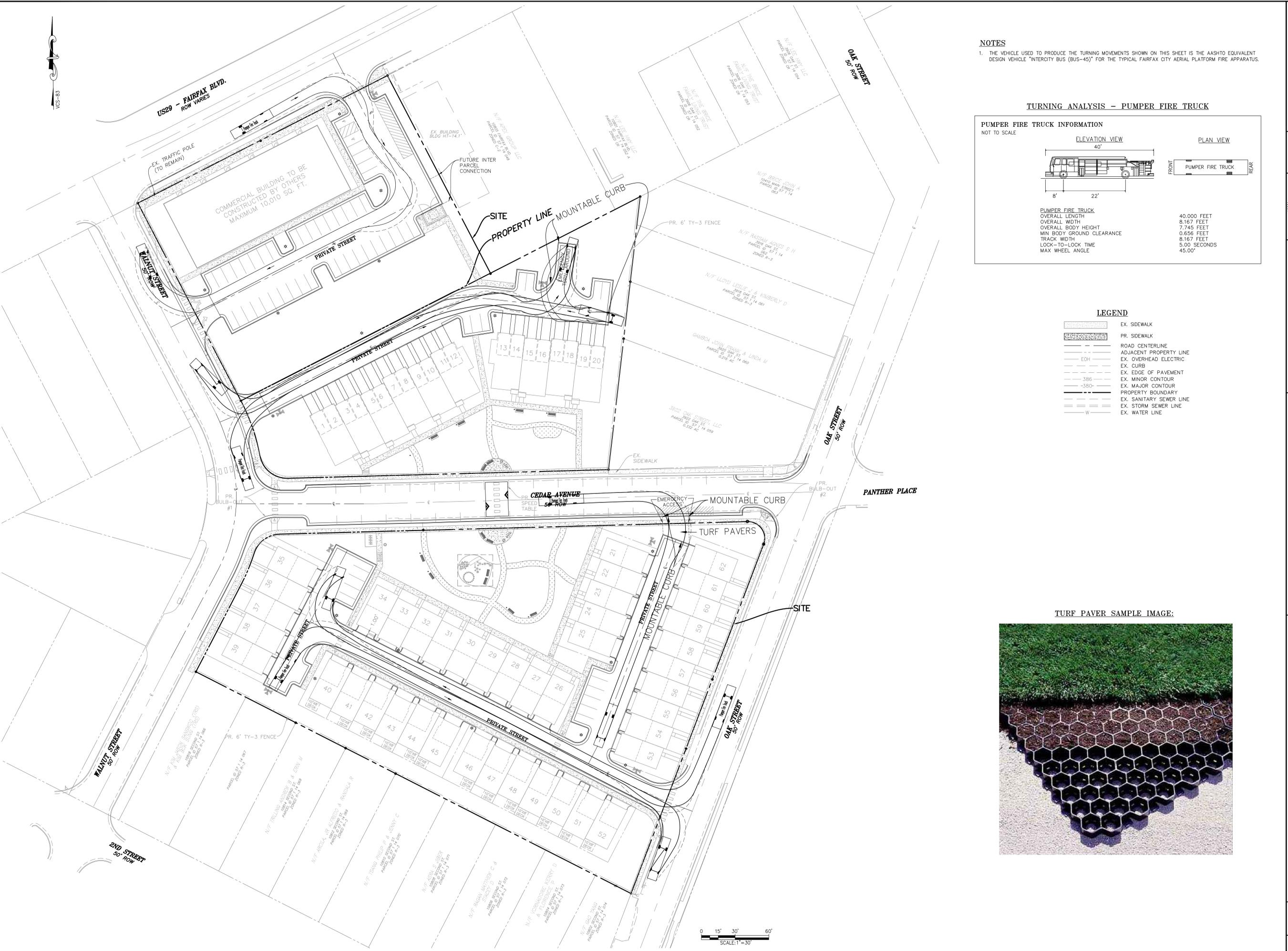
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**GENERAL DETAILS**  
**RT. 50 BREEZEWAY**  
**MASTER DEVELOPMENT PLAN**  
LOCATION: FAIRFAX CITY, VIRGINIA

AUTHOR: **ZME**  
CHECK: **JTK**  
PROJ.#: **001271**  
DATE: **10/30/2020**  
SCALE: **AS SHOWN**

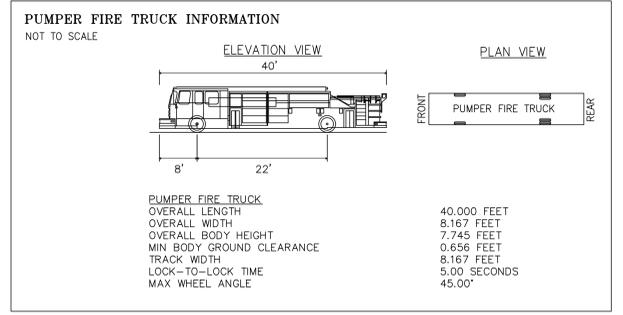
SHEET: **10** of **26**

FILE PATH: S:\Projects\001271\_BreezeWay\_MoDel\Civil\Design\1271-REZONING MASTER DEVELOPMENT PLAN\01271 - BreezeWay - 11 - Emergency Access Turning Movements.dwg PLOT DATE: 10/30/2020 10:23:14 AM BY: RAV SHRESTHA

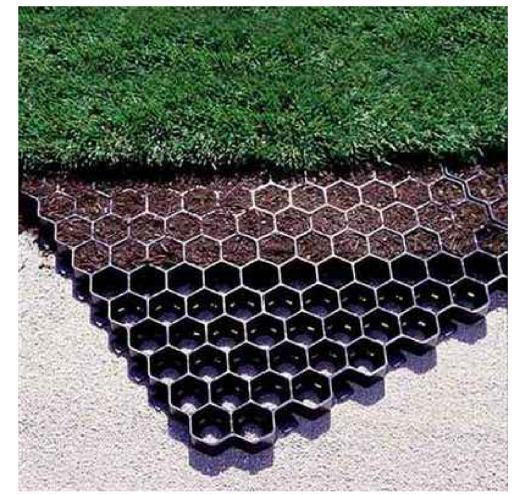


**NOTES**  
 1. THE VEHICLE USED TO PRODUCE THE TURNING MOVEMENTS SHOWN ON THIS SHEET IS THE AASHTO EQUIVALENT DESIGN VEHICLE "INTERITY BUS (BUS-45)" FOR THE TYPICAL FAIRFAX CITY AERIAL PLATFORM FIRE APPARATUS.

**TURNING ANALYSIS - PUMPER FIRE TRUCK**



**TURF PAVER SAMPLE IMAGE:**



REVISION	NO.	DATE	DESCRIPTION
	1	6/6/2018	ADDRESS CITY COMMENTS
	2	4/7/2019	ADDRESS CITY COMMENTS
	3	6/7/2019	ADDRESS CITY COMMENTS
	4	9/14/2020	ADDRESS CITY COMMENTS
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**CLIENT**  
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 9302 LEE HIGHWAY, SUITE 1000  
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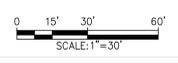
**EMERGENCY ACCESS TURNING MOVEMENTS**  
**RT. 50 BREEZEWAY**  
**MASTER DEVELOPMENT PLAN**  
 LOCATION: FAIRFAX CITY, VIRGINIA

**AUTHOR:** ZME  
**CHECK:** JTK  
**PROJ.#:** 001271  
**DATE:** 10/30/2020  
**SCALE:** 1"=30'

SHEET: 11 of 26



**LEGEND**  
 - - - - - PATH OF PEDESTRIAN MOVEMENTS



SUBMISSION		REVISION	
NO.	DATE	NO.	DESCRIPTION
1	6/6/2018	1	6/6/2019 ADDRESS CITY COMMENTS
2	4/7/2019	2	9/18/2019 ADDRESS CITY COMMENTS
3	6/7/2019	3	
4	9/14/2020	4	
5	10/30/2020	5	

**JASON TURNER KACAMBURAS**  
 Lic. No. 0402042416  
 PROFESSIONAL ENGINEER

**CLIENT**  
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PEDESTRIAN MOVEMENT PLAN  
**RT. 50 BREEZEWAY**  
**MASTER DEVELOPMENT PLAN**  
 LOCATION  
 FAIRFAX CITY, VIRGINIA

AUTHOR:	ZME
CHECK:	JTK
PROJ.#:	001271
DATE:	10/30/2020
SCALE:	1"=30'

SHEET: 12 of 26

FILE PATH: S:\Projects\001271\_Breezeway\_Motel\Civil\Design\1271-REZONING MASTER DEVELOPMENT PLAN\01271 - Breezeway - 13 - Sight Distance.dwg PLOT DATE: 10/30/2020 10:23:49 AM BY: RAVI SHRESTHA



**LANDSCAPE LEGEND**

- PROPOSED DECIDUOUS TREE CATEGORY IV (250 SF) - TRANSITIONAL YARD
- PROPOSED DECIDUOUS TREE CATEGORY III (150 SF) - TRANSITIONAL YARD
- PROPOSED DECIDUOUS TREE CATEGORY IV (250 SF) - STREET TREES
- PROPOSED DECIDUOUS TREE CATEGORY II (100 SF) - INTERIOR PARKING
- PROPOSED DECIDUOUS TREE CATEGORY II (100 SF) - TRANSITIONAL YARD
- PROPOSED SHRUB - TRANSITIONAL YARD
- PROPOSED UNDERSTORY TREE - ALONG FAIRFAX BOULEVARD
- PROPOSED DECIDUOUS TREE CATEGORY III (150 SF) - OPEN SPACE PARK
- PROPOSED SHRUB - OPEN SPACE PARK
- EXISTING TREE TO BE PRESERVED

**LEGEND**

- ROAD CENTERLINE
- ADJACENT PROPERTY LINE
- EX. OVERHEAD ELECTRIC
- EX. CURB
- EX. EDGE OF PAVEMENT
- PROPERTY BOUNDARY
- EX. SANITARY SEWER LINE
- EX. STORM SEWER LINE
- EX. WATER LINE

SUBMISSION		REVISION	
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4	9/14/2020	4	9/14/2020 ADDRESS CITY COMMENTS
5	10/30/2020	5	10/30/2020 ADDRESS CITY COMMENTS



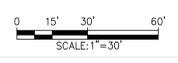
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SIGHT DISTANCE PLAN  
**RT. 50 BREEZEWAY**  
**MASTER DEVELOPMENT PLAN**  
 LOCATION  
 FAIRFAX CITY, VIRGINIA

AUTHOR: ZME  
 CHECK: JTK  
 PROJ.#: 001271  
 DATE: 10/30/2020  
 SCALE: 1" = 40'

FILE PATH: S:\Projects\001271\_Breezeway\_Civil\Design\Sheets\1271-REZONING MASTER DEVELOPMENT PLAN\01271 - Breezeway - 14 - Photometric.dwg PLOT DATE: 10/30/2020 10:24:09 AM BY: RAMI SHRESTHA



**NOTES**

1. LIGHTING LOCATIONS SHOWN ARE SUBJECT TO CHANGE AT TIME OF FINAL SITE PLAN.
2. PHOTOMETRIC PLAN PREPARED BY HADCO LIGHTING.
3. SEE STREET LIGHT DETAIL ON SHEET 2 FOR MORE INFORMATION.

**LEGEND**

- ☆ PR. LIGHT POST

SUBMISSION		REVISION	
NO.	DATE	NO.	DESCRIPTION
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**JASON TURNER KACAMBARAS**  
Lic. No. 0402042416  
Professional Engineer

**CLIENT**  
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FAIRFAX, VA 22031

**ATCS**

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PHOTOMETRIC PLAN  
**RT. 50 BREEZEWAY**  
MASTER DEVELOPMENT PLAN

LOCATION  
FAIRFAX CITY, VIRGINIA

AUTHOR:	ZME
CHECK:	JTK
PROJ.#:	001271
DATE:	10/30/2020
SCALE:	1"=30'

SHEET: 14 of 26