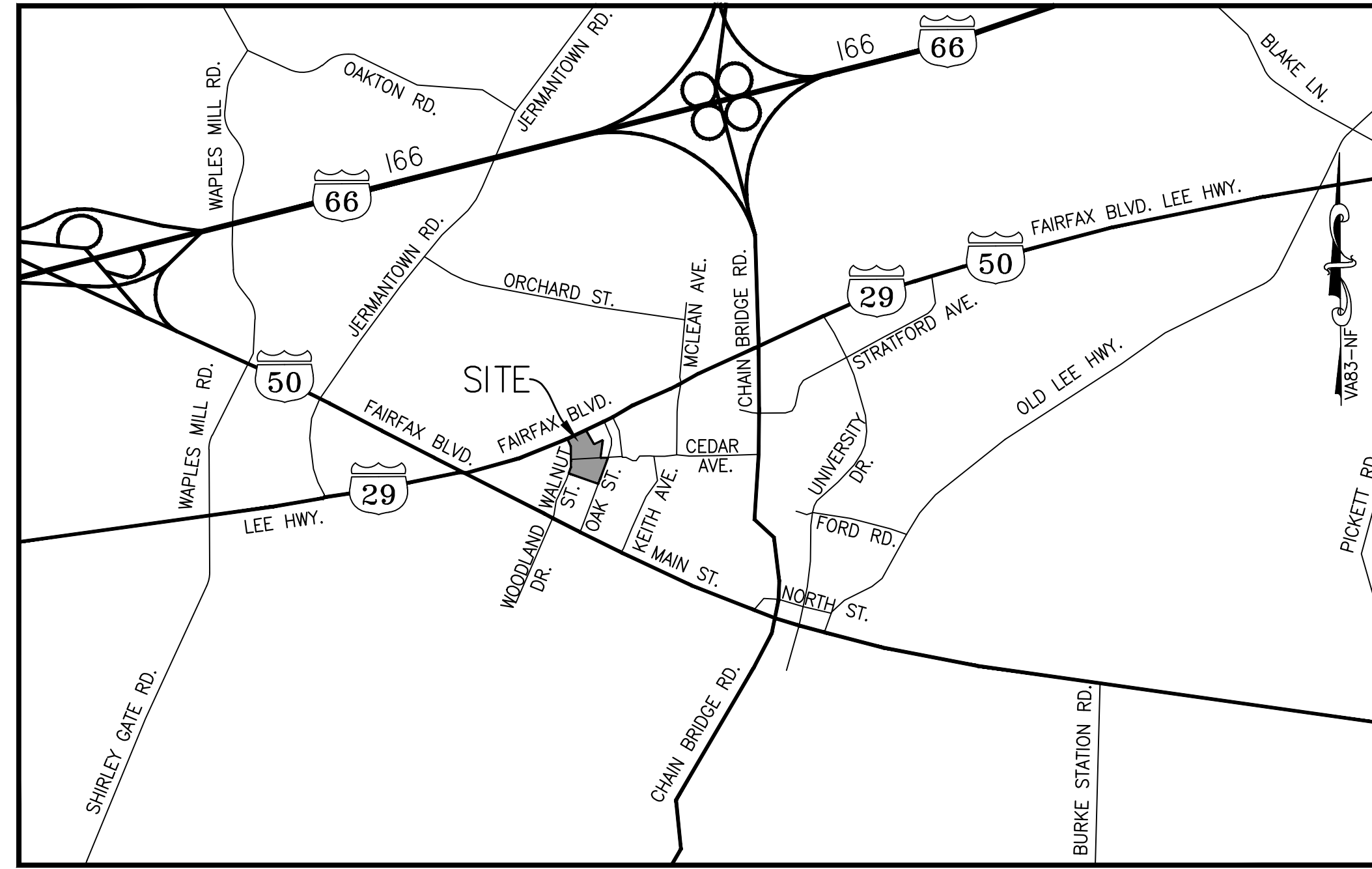


MASTER DEVELOPMENT PLAN RT. 50 BREEZEWAY FAIRFAX CITY, VIRGINIA

GENERAL NOTES

- THE SUBJECT PROPERTY SHOWN HEREON IS COMPRISED OF 6 PARCELS OF APPROXIMATELY ±4.633 ACRES AND RECORDED IN THE LAND RECORDS OF FAIRFAX CITY VIRGINIA AS FOLLOWS (SITE ACREAGE IS PROVIDED AS PER THE ZONING PLAT) AND RIGHT-OF-WAY VACATION:
- | PARCEL ID | OWNER | DESCRIPTION | ADDRESS | ACREAGE | EXISTING ZONING |
|--------------|---------------|----------------------|-----------------------|--|----------------------|
| 57-1-14-055A | ROBERT PIERCE | FAIRFAX GARDENS APTS | 10807-10818 CEDAR AVE | 2.082 AC | RMF MULTIFAMILY |
| 57-1-14-043 | ROBERT PIERCE | BREEZEWAY MOTEL | 10829 FAIRFAX BLVD | 1.148 AC | CR COMMERCIAL RETAIL |
| 57-1-14-083 | ROBERT PIERCE | SINGLE FAMILY | 3937 WALNUT STREET | 0.557 AC | RH RESIDENTIAL HIGH |
| 57-1-14-77A | ROBERT PIERCE | SINGLE FAMILY | 3930 OAK STREET | 0.251 AC | RH RESIDENTIAL HIGH |
| 57-1-14-76A | ROBERT PIERCE | SINGLE FAMILY | 3932 OAK STREET | 0.253 AC | RH RESIDENTIAL HIGH |
| 57-1-14-075A | ROBERT PIERCE | SINGLE FAMILY | 3934 OAK STREET | 0.342 AC | RH RESIDENTIAL HIGH |
| | | | | TOTAL = 4.633 AC | |
| | | | | AREA OF CEDAR AVENUE AND WALNUT STREET RIGHT-OF-WAY TO BE VACATED = 0.105 AC | |
| | | | | TOTAL AREA = 4.738 AC | |
- THE MASTER DEVELOPMENT PLAN ACCOMPANIES AN APPLICATION TO REZONE THE SUBJECT PROPERTY FROM THE RMF, CR AND RH DISTRICTS TO THE PD-M (PLANNED DEVELOPMENT MIXED USE) DISTRICT TO ALLOW A MIXED-USE DEVELOPMENT CONSISTING OF 42 TOWNHOUSES, 20 MULTIFAMILY STACKED CONDOMINIUM DWELLINGS, AND A COMMERCIAL BUILDING CONSISTING OF A MINIMUM OF 8,000 SQUARE FEET AND A MAXIMUM OF 10,010 SQUARE FEET TO BE CONSTRUCTED BY OTHERS. REFER TO THE SUBMITTED NARRATIVE FOR A DETAILED DESCRIPTION OF THE PROPOSAL.
- THE BOUNDARY AND PHYSICAL IMPROVEMENTS HEREON ARE BASED UPON A FIELD SURVEY DONE BY THIS FIRM (ATCS, P.L.C.) BETWEEN THE DATES OF JANUARY 25TH AND FEBRUARY 2ND, 2018.
- COORDINATE SYSTEM INFORMATION:
 - HORIZONTAL DATUM SHOWN HEREON IS REFERENCED TO THE VIRGINIA COORDINATE SYSTEM (NAD) 1983 - NORTH AS ESTABLISHED FROM A CURRENT CORS GPS SURVEY.
 - THE VERTICAL DATUM SHOWN HEREON IS REFERENCED TO THE NATIONAL GEODETIC VERTICAL DATUM (NGVD29) AS IS ESTABLISHED FROM A CURRENT GPS SURVEY.
- THE AREA SHOWN HEREON IS LOCATED ON THE FLOOD INSURANCE RATE MAPS (FIRM), COMMUNITY PANEL NO. 5155240001 D WITH AN EFFECTIVE DATE OF JUNE 2ND, 2006. BY GRAPHICAL DEPICTION ONLY, THE PROPERTY HEREON IS SHOWN IN:
 - FLOOD ZONE "X" (OTHER AREAS), AREAS DETERMINED TO BE OUTSIDE THE 0.2% CHANCE FLOODPLAIN.
- A TITLE REPORT HAS FURNISHED AND HAS BEEN INCORPORATED AND SHOWN ON A BOUNDARY SURVEY DONE BY THIS FIRM AND ENTITLED "ALTA/NSPS LAND TITLE SURVEY OF FAIRFAX HEIGHTS SECTION 2 LOTS 43-47, 55-A, 56-A, 57-A, 58-A, 75-A, 76-A, 77-A, 78-A, 79-A, 80-A, 81-A, 83 & 84", DATED SEPTEMBER 6TH, 2017.
- THE SUBJECT PROPERTY IS CURRENTLY SERVED BY PUBLIC WATER AND PUBLIC SEWER PROVIDED BY FAIRFAX CITY.
- TO THE BEST KNOWLEDGE OF THE ENGINEER AND APPLICANT, THERE ARE NO EXISTING GRAVES OR BURIAL SITES LOCATED ON THE PROPERTY THE SUBJECT PROPERTY IS NOT LISTED UNDER THE NATIONAL REGISTER OF HISTORIC PLACES.
- TO THE BEST KNOWLEDGE OF THE ENGINEER AND APPLICANT, NO HAZARDOUS OR TOXIC SUBSTANCES ARE KNOWN TO BE PRESENT ON SITE.
- THIS DEVELOPMENT PROPOSAL IS COMPATIBLE WITH THE EXISTING DEVELOPMENT IN THE VICINITY OF THIS SITE IN TERMS OF USE, TYPE AND INTENSITY. NO ADVERSE EFFECTS TO NEIGHBORING PROPERTIES ARE ANTICIPATED WITH THIS PROJECT.
- TO THE BEST KNOWLEDGE OF THE ENGINEER AND APPLICANT, THIS DEVELOPMENT PLAN CONFORMS TO ALL APPLICABLE ORDINANCES, REGULATIONS AND ADOPTED STANDARDS, UNLESS OTHERWISE SPECIFICALLY NOTED.
- NOTWITHSTANDING THE IMPROVEMENTS AND TABULATIONS SHOWN ON THIS PLAN, THE APPLICANT RESERVES THE RIGHT TO MAKE MODIFICATIONS TO THE FINAL DESIGN TO COMPLY WITH FINAL ENGINEERING AND NEW CRITERIA AND REGULATION WHICH MAY BE ADOPTED BY FAIRFAX CITY SUBSEQUENT TO THE SUBMISSION OF THIS APPLICATION, PROVIDED THAT SUCH MINOR MODIFICATIONS THAT ARE CONSISTENT WITH APPROVED MASTER DEVELOPMENT PLAN AND COMMITMENTS SUBJECT TO THE DETERMINATION OF THE DIRECTOR OR COMMUNITY DEVELOPMENT AND PLANNING.
- THE PROPOSED LAYOUT INCLUDING BUILDING FOOTPRINTS AND SITE IMPROVEMENTS SHOWN HEREIN ARE PRELIMINARY. THE PROPOSED LAYOUT MAY BE SUBJECT TO REVISIONS AT THE TIME OF SITE PLAN PREPARATION, MINOR REVISIONS THAT ARE CONSISTENT WITH APPROVED MASTER DEVELOPMENT PLAN AND COMMITMENTS SUBJECT TO THE DETERMINATION OF THE DIRECTOR OR COMMUNITY DEVELOPMENT AND PLANNING.
- THE EXISTING AND PROPOSED EASEMENTS ARE SHOWN ON THE PLANS.
- SITE LIGHTING WITHIN THE PROJECT SITE AREA (I.E. ALONG SIDEWALKS AND PATHWAYS) WILL BE DETERMINED DURING FINAL SITE PLAN REVIEW AND SHALL BE IN GENERAL CONFORMANCE WITH SECTION 4.8 OF THE ZONING ORDINANCE.
- ONSITE STORM WATER MANAGEMENT AND BEST MANAGEMENT PRACTICES (BMPs) SHALL BE PROVIDED AS REQUIRED BY CITY ENGINEER AT THE TIME OF FINAL SITE PLAN. DETENTION TO PROVIDE THE REQUIRED STORM WATER QUANTITY CONTROLS AND ONSITE BMPs TO MEET THE STORM WATER QUALITY REQUIREMENTS ARE SHOWN ON SHEET 6.
- ALL SIGNAGE WILL BE IN CONFORMANCE WITH SECTION 4.6 OF THE ZONING ORDINANCE.
- MODIFICATIONS AND WAIVERS FOR THIS MASTER DEVELOPMENT PLAN INCLUDE THE FOLLOWING:
 - A MODIFICATION OF SECTION 4.5.6.B OF THE ZONING ORDINANCE FOR 10FT LANDSCAPE STRIP AND STREET TREES ALONG ALL PRIVATE ALLEYSWAYS.
 - WAIVER OF SECTION 4.01-01 OF THE FAIRFAX PFM FOR TYPICAL CURB AND GUTTER STREET ON PRIVATE ACCESSWAYS THAT ARE LESS THAN 30 FEET FROM FACE OF CURB TO FACE OF CURB OR EDGE OF PAVEMENT.
 - A MODIFICATION OF SECTION 4.4.4.A.I OF THE ZONING ORDINANCE FOR SIDEWALKS REQUIRED ON BOTH SIDES ALONG ALL STREETS AND PRIVATE ALLEYSWAYS. THE APPLICANT PROPOSES SIDEWALKS AS SHOWN.
 - A MODIFICATION OF SECTION 3.5.1.C.2 OF THE ZONING ORDINANCE THAT REQUIRES THAT NO MORE THAN ONE OF ANY THREE TO FIVE, ABUTTING DWELLING UNITS HAVE THE SAME FRONT YARD SETBACK.
 - WAIVER OF SECTION 2.4.1 OF THE FAIRFAX PFM TO ALLOW FOR PRIVATE ACCESS WAYS TO HAVE A HORIZONTAL RADII OF LESS THAN 175 FEET.
 - A MODIFICATION OF THE TY3 15' TRANSITIONAL YARD BUFFER TO THE DIMENSIONS OF THE REDUCED AREA AS SHOWN ON THE LANDSCAPE PLAN ON NORTH EAST SIDE ABUTTING PARCEL ID: 57114048-57114051.
 - A WAIVER OF THE DEVELOPMENT SCHEDULE REQUIREMENT OF SECTION 3.8.2.1 OF THE ZONING ORDINANCE TO ALLOW OCCUPANCY OF THE ENTIRE RESIDENTIAL COMPONENT OF THE DEVELOPMENT PRIOR TO OCCUPANCY OF THE NONRESIDENTIAL COMPONENT.



VICINITY MAP
SCALE: 1"=2,000'

LEGAL DESCRIPTION
NORTH PARCEL
BEING ALL OF
LOTS 43-47, 55-A, 56-A, 57-A, 58-A, SECTION 2, FAIRFAX HEIGHTS

Beginning at an Iron Pipe Set, on the northerly right of way line of Cedar Avenue, having a right of way width of 50 Feet, said point also lying on the southwesterly most corner of Tax Map Parcel 057-1(141)-0059 (3922 Oak Street). Thence, departing the line of Tax Map Parcel 057-1(141)-0059 (3922 Oak Street) and running with the said right of way line of Cedar Avenue,

- SOUTH 88° 26' 45" WEST, 212.69 Feet to a Point of Curvature; thence continuing with the said right of way of Cedar Avenue and the easterly right of way line of Walnut Street, (also having a 50 foot right of way width),
- 140.37 Feet along the arc of a curve, deflecting to the right, having a Radius 125.20 Feet, and a Chord Bearing and Distance of NORTH 59° 26' 09" WEST, 133.13 Feet to an Iron Pipe Set at a Point of Tangency; thence continuing with the said easterly right of way line of Walnut Street,
- NORTH 27° 18' 45" WEST, 200.00 Feet to a Drill Hole Set, said point lying at the northeastern corner of said Walnut Street and also lying on the southerly right of way line of Fairfax Boulevard, U.S. Route 29, having a variable right of way width; thence with said southerly right of way line of Fairfax Boulevard,
- NORTH 62° 41' 15" EAST, 250.00 Feet to an Iron Pipe Found; said point also lying on the northwesterly most corner of Tax Map Parcel 057-1(141)-0048 (10805 Fairfax Blvd.), thence departing the southerly right of way line of Fairfax Boulevard and running with the southwesterly line of Tax Map Parcel 057-1(141)-0048
- SOUTH 27° 18' 45" EAST, 200.00 Feet to an Iron Pipe Found, said pipe lying on the southeasterly corner of Tax Map Parcel 057-1(141)-0048, thence continuing with the southeasterly line of parcel 48, and continuing with Tax Map Parcels 057-1(141)-0049 & 50,
- NORTH 62° 41' 15" EAST, 150.00 Feet to an Iron Pipe Set, said pipe lying on the southeast corner of Parcel 50 and also on an angle point at the rear of Tax Map Parcels 057-1(141)-0062, thence departing the line of Parcel 50 and running with the line of Parcel 62 and continuing with Tax Map Parcels 057-1(141)-0061, 0060, and 0059,
- SOUTH 06° 32' 45" WEST, 247.08 Feet to the point of beginning.

Containing an area of 100, 291 square feet or 2.3024 acres of land, more or less.

LEGAL DESCRIPTION
SOUTHERN PARCEL
BEING ALL OF
LOTS 75-A, 76-A, 77-A, 78-A, 79-A, 80-A, 81-A, 83, 84,
SECTION 2, FAIRFAX HEIGHTS

Beginning at an Iron Pipe Set on the southeasterly right of way line of Walnut Street, having a right of way width of 50 feet; said point also lying on the northwesterly most corner of Tax Map Parcel 057-1(141)-0066 (10818 Second Street) thence departing parcel 66 and running with the said southeasterly right of way line of Walnut Street and continuing to the southerly right of way line of Cedar Avenue, having a right of way width of 50 feet;

- 250.76 Feet along the arc of a curve, deflecting to the right, having a Radius of 234.69 Feet and a Chord Bearing and Distance of NORTH 57° 50' 19" EAST, 239.00 Feet to an Iron Pipe Found at a Point of Tangency, thence continuing with the southerly right of way of Cedar Avenue,
- NORTH 88° 26' 45" EAST, 288.74 Feet to an Iron Pipe Found at a Point of Curvature; thence with said southerly right of way line of Cedar Avenue to the westerly line of Oak Street, having a right of way width of 50 feet,
- 29.36 Feet along the arc of a curve, deflecting to the right and a Radius of 15.00 Feet, having a Chord Bearing and Distance of S35° 28' 45" EAST, 24.89 Feet to an Iron Pipe Found at a Point of Tangency; thence with said westerly right of way line
- SOUTH 20° 35' 45" WEST, 335.56 Feet to an Iron Pipe Found, said point also lying on the northeasterly most corner of Tax Map Parcel 057-1(141)-0074 10802 Second Street; thence departing the line of Oak Street and running with the rear line of Parcel 74 and continuing with Tax Map Parcel 057-1(141)-0071, 72, 71, 70, 69, 68, 67 and 66,
- NORTH 62° 46' 15" WEST, 435.64 Feet to the point of beginning.

Containing an area of 101,526 square feet or 2.3307 acres of land, more or less.

LEGAL DESCRIPTION
RIGHT OF WAY VACATION
(NORTHEASTERN) PORTION OF
THE INTERSECTION OF
CEDAR AVENUE AND WALNUT STREET
SECTION 2, FAIRFAX HEIGHTS
FAIRFAX CITY, FAIRFAX COUNTY, VIRGINIA

Beginning at a point of curvature on the easterly right of way of Walnut Street, having a 50 foot right of way width, as shown on a plat of subdivision recorded among the Land Records of Fairfax County, Virginia at Deed Book E-12, Page 396, said point being a common corner to Lots 43 & 55A, Section 2, Fairfax Heights as shown on a plat of subdivision recorded among said land records at Deed Book Q-13, Page 180,

Thence with the easterly right of way line, said line also being the northerly line of Cedar Avenue, having a 50 foot right of way width, as shown on said plat of subdivision recorded among said land records at Deed Book E-12 Page 396:

- 140.31 feet along the Arc of a Curve, deflecting to the left, having a radius of 125.20 feet, and having a Chord Bearing and Distance of South 59°26'58" EAST, 133.08 feet to a point of non-tangency on said northerly right of way line; thence departing the existing right of way line and running through the dedicated right of way the following three (3) courses:
- South 88°26'45" West, 72.41 feet to a point of curvature, thence
- 35.27 feet along the Arc of a Curve, deflecting to the right, having a radius of 25.00 feet, and having a Chord Bearing and Distance of North 51°08'08" West, 32.42 feet to a point of reverse curvature; thence
- 52.29 feet along the Arc of a Curve, deflecting to the left, having a radius of 180.44 feet, and having a Chord Bearing and Distance of North 19°01'10" West, 52.11 feet to the point of beginning.

Containing an area of 1,350 square feet or 0.0310 acres of land, more or less.

LEGAL DESCRIPTION
RIGHT OF WAY VACATION
(SOUTHEASTERN) PORTION OF
THE INTERSECTION OF
CEDAR AVENUE AND WALNUT STREET
SECTION 2, FAIRFAX HEIGHTS
FAIRFAX CITY, FAIRFAX COUNTY, VIRGINIA

Beginning at a point of curvature on the southerly right of way line of Cedar Avenue, having a 50 foot right of way width, as shown on a plat of subdivision recorded among the Land Records of Fairfax County, Virginia at Deed Book E-12, Page 396, said point also being the common corner of Lots 81A & 83, Section 2, Fairfax Heights as shown on a plat of subdivision recorded among the land records of Fairfax County at Deed Book Q-13, Page 180 and Deed Book E-12, Page 396;

thence with said southerly right of way line, said line also being the easterly right of way line of Walnut Street, having a 50' right of way width, as shown on said plat of subdivision recorded among the land records at Deed Book E-12, Page 396,

- 250.74 feet along the Arc of a Curve, deflecting to the left, having a radius of 234.69 feet, and having a Chord Bearing and Distance of South 57°50'11" West, 238.98 feet to a point of non-tangency on said easterly right of way line; thence departing the right of way line and running through the existing right of way the following four (4) courses:
- North 27°13'45" East, 87.96 feet to a point of curvature; thence
- 30.44 feet along the Arc of a Curve, deflecting to the left, having a radius of 180.44 feet, and having a Chord Bearing and Distance of North 22°23'46" East, 30.40 feet to a point of reverse curvature; thence
- 30.93 feet along the Arc of a Curve, deflecting to the right, having a radius of 25.00 feet, and having a Chord Bearing and Distance of North 53°00'16" East, 28.99 feet to a point tangency, thence
- North 88°26'45" East, 127.73 feet to the point of beginning.

Containing an area of 3,208 square feet or 0.0736 acres of land, more or less.

SHEET INDEX

- COVER SHEET
- EXISTING CONDITIONS PLAN
- TREE PRESERVATION PLAN
- TREE PRESERVATION PLAN
- MASTER DEVELOPMENT PLAN
- DEVELOPMENT PHASING PLAN
- PRELIMINARY GRADING AND STORMWATER MANAGEMENT PLAN
- LANDSCAPE PLAN
- DRY UTILITY PLAN
- OPEN SPACE PLAN
- GENERAL DETAILS
- EMERGENCY ACCESS TURNING MOVEMENTS
- CITY WORK TRUCK ACCESS TURNING MOVEMENTS
- PEDESTRIAN MOVEMENT PLAN
- SIGHT DISTANCE PLAN
- PHOTOMETRIC PLAN
- ILLUSTRATIVE CONCEPT FOR POCKET PARK OPEN SPACE AREA
- PARK DETAILS
- 20-29 EXTERIOR ELEVATIONS
- BUILDING SECTIONS

SUBMISSION		REVISION	
NO.	DATE	NO.	DESCRIPTION
1	6/6/2018	1	6/6/2018 ADDRESS CITY COMMENTS
2	4/7/2019	2	9/18/2019 ADDRESS CITY COMMENTS
3	6/7/2019	3	7/14/2021 ADDRESS CITY COMMENTS
4	9/14/2020	4	
5	10/31/2020	5	
6	7/14/2021	6	

COMMONWEALTH OF VIRGINIA
JASON TURNER KACAMBARAS
Lic. No. 0402042416
Professional Engineer

CLIENT
PULTE HOME COMPANY LLC
9302 LEE HIGHWAY, SUITE 1000
FAIRFAX, VA 22031

13861 SUNRISE VALLEY DRIVE, SUITE 200
HERNDON, VIRGINIA 20171
(703) 430-7500 FAX (703) 430-0889
BLAIRTON - LARGO - BALTIMORE
HERNDON - LARGO - BALTIMORE
RALEIGH - RICHMOND
WWW.ATCSPLC.COM

ATCS

COVER SHEET
RT. 50 BREEZEWAY
MASTER DEVELOPMENT PLAN
LOCATION
FAIRFAX CITY, VIRGINIA

AUTHOR: ZME
CHECK: JTK
PROJ.#: 001271
DATE: 10/30/2020
SCALE: AS SHOWN

SHEET: 1 of 30

PROPERTY OWNER

ROBERT PIERCE
3613 PROSPERITY AVE
FAIRFAX, VA 22031

APPLICANT

PULTE HOME COMPANY LLC
9302 LEE HIGHWAY, SUITE 1000
FAIRFAX, VIRGINIA 22031
PHONE: 703.251.0245
CONTACT: DAVID DEMARCO

CIVIL ENGINEER

ATCS PLC
13861 SUNRISE VALLEY DRIVE, SUITE 200
HERNDON, VA 20171
PHONE: 703-430-7500
CONTACT: GREG WHITE

ARCHITECT

LPDA
21515 RIDGETOP CIRCLE, SUITE 310
STERLING, VA 20166
PHONE: 703-437-7907
CONTACT: AMIE EVANS

TRAFFIC ENGINEER

WELLS + ASSOCIATES
1420 SPRING HILL ROAD, SUITE 610
TYSONS, VA 22102
PHONE: 703-917-6620
CONTACT: WILLIAM ZEID
CHRIS TURNBULL

ATTORNEY

WALSH, COLUCCI, LUBELEY & WALSH, P.C.
2200 CLARENDON BOULEVARD, SUITE 1300
ARLINGTON, VIRGINIA 22201-3359
PHONE: 703-528-4700
CONTACT: ROBERT D. BRANT



FILE PATH: S:\Projects\001271_Breezeway_Motel\Civil\Design\1271-REZONING MASTER DEVELOPMENT PLAN\01271 - Breezeway - 2 - Existing Conditions.dwg PLOT DATE: 7/14/2021 5:02:28 PM BY: CHRIS NEIFERT



STORM SEWER ASBUILTS		SANITARY SEWER ASBUILTS	
EX1	TOP=390.31 FULL OF DEBRIS 15" RCP OUT APPROX - 388.3	EX S1	TOP=388.51 4"DIP IN(2)=381.79 8"DIP IN(1)=380.71 8"DIP OUT(3)=380.66
EX2	TOP=388.55 8" RCP OUT(3)=385.20	EX S2	TOP=391.02 4"DIP IN(NORTH)=387.01 4"DIP OUT(1)=387.01
EX3	TOP=388.01 15" RCP OUT=384.89	EX S3	TOP=381.98 8"DIP IN(1)=376.78 8"DIP IN(3)=384.42 21" RCP OUT=384.12
EX4	TOP=389.23 18" RCP IN(2)=384.24 15" RCP IN(3)=384.42 21" RCP OUT=384.12	EX S4	TOP=382.09 8"DIP IN(10)=378.12 8"DIP OUT(3)=377.09 (MAY BE BELLY IN PIPE LEADING TO S)
EX5	TOP=388.52 33" RCP IN(3)=380.17 33" RCP OUT=378.89	EX S5	TOP=381.54 8"DIP IN(NORTH)=374.85 8"DIP OUT(6)=374.59
EX6	TOP=389.92 18" CMP IN(SW)=386.38 18" CMP OUT=386.30	EX S6	TOP=378.88 8"DIP IN(5)=372.63 8"DIP IN(7)=374.85 8"DIP OUT(EAST)=372.48
EX7	TOP=390.58 18" RCP IN(8)=386.26 18" RCP OUT=379.03	EX S7	TOP=379.45 8"DIP IN(3)=372.85 8"DIP IN(8)=372.90 8"DIP OUT(6)=372.65
EX8	TOP=396.26 15" RCP IN(SE)=392.04 15" RCP IN(SW)=392.04 18" RCP OUT=392.02	EX S8	TOP=380.64 8"DIP IN(9)=373.69 8"DIP OUT(7)=373.67
EX9	TOP=389.42 18" RCP IN(7)=384.48 15" RCP IN(10)=384.56 18" RCP OUT=384.45	EX S9	TOP=388.64 8"DIP IN(SOUTH)=382.21 8"DIP IN(WEST)=382.14 8"DIP OUT(8)=381.99
EX10	TOP=389.32 15" RCP OUT=384.55	EX S10	TOP=384.38 8"DIP IN(SW)=380.05 8"DIP IN(NE)=380.08 8"DIP OUT(4)=379.94
EX11	TOP=388.29 18" RCP IN(9)=383.79 18" RCP OUT=382.95	EX S11	TOP=390.75 8"DIP OUT(1)=385.18
EX12	TOP=389.05 18" CMP IN(6)=384.83 18" CMP OUT=383.73		
EX13	TOP=385.42 15" RCP OUT=379.94		
EX14	TOP=384.39 15" RCP IN(13)=379.71 15" RCP OUT=379.62		
EX15	TOP=384.06 15" RCP IN(4)=379.59 18" RCP IN(9)=379.39 18" RCP OUT=376.52		
EX16	TOP=381.29 21" RCP IN=378.20 21" FIBERGLASS OUT=377.71		
EX17	TOP=378.39 24" RCP IN(30)=374.49 24" RCP OUT=374.44		
EX18	TOP=378.36 15" RCP OUT=376.14		
EX19	TOP=378.27 24" RCP IN(17)=374.34 24" RCP IN(25)=374.32 15" RCP IN(20)=374.25 48" RCP OUT=368.18		
EX20	TOP=378.50 15" RCP OUT=374.50		
EX21	TOP=378.47 42" RCP IN(28)=368.51 42" RCP OUT(29)=368.45		
EX22	TOP=378.12 17" X25" CMP IN(18)=374.32 24" RCP OUT=372.83		
EX23	TOP=377.84 24" RCP IN(22)=372.84 15" RCP IN(24)=373.75 24" RCP OUT=372.88		
EX24	TOP=378.06 15" RCP OUT=373.78		
EX25	TOP=379.24 21" FIBERGLASS IN(16)=375.43 15" RCP IN=375.95 24" RCP OUT=375.30		
EX26	TOP=385.74 17" X24" CMP IN(12)=382.42 33" RCP IN=376.40 36" RCP OUT=376.12		
EX27	TOP=385.33 21" RCP IN=380.22 21" RCP OUT=380.25		
EX28	TOP=384.09 36" RCP IN=375.58 18" RCP IN=375.64 42" RCP OUT=373.08		
EX29	TOP=378.26 48" RCP IN(9)=377.90 48" RCP OUT=367.75		
EX30	TOP=378.67 24" RCP OUT=374.91		

LEGEND			
○	ELECTRIC GUY POLE	□	POWER POLE
⊗	WATER METER	□	PARKING BLOCK
OH	OVERHANG	□	GAS VALVE
CH	CHIMNEY	□	CLEAN OUT
WDF	WOOD FENCE	□	WATER METER
CLF	CHAIN LINK FENCE	□	HANDICAPPED RAMP
RW	RETAINING WALL	□	GUY WIRE
EP	EDGE OF PAVEMENT	□	UNDG. GAS
☆	LIGHT POLE	□	CABLE TELEVISION
⊗	HVAC UNIT	□	OVERHEAD ELEC.
□	TELEPHONE PEDESTAL	□	FENCE
⊗	SATELLITE DISH	□	SIDEWALK
⊗	SANITARY MANHOLE	□	BUILDING LINE DB E-12 PG 398
⊗	DRAINAGE MANHOLE	□	ROAD CENTERLINE
⊗	SIGN	□	ADJACENT PROPERTY LINE
⊗	FIRE HYDRANT	□	EX. OVERHEAD ELECTRIC
⊗	TRAFFIC SIGNAL POLE	□	EX. CURB
⊗	TRAFFIC CONTROL HANDHOLE	□	EX. EDGE OF PAVEMENT
●	IRON PIPE FOUND	□	EX. MINOR CONTOUR
●	IRON PIPE SET	□	EX. MAJOR CONTOUR
		□	PROPERTY BOUNDARY
		□	EX. SANITARY SEWER LINE
		□	EX. STORM SEWER LINE
		□	EX. WATER LINE
		□	TO BE DEMOLISHED

REVISION	NO.	DATE	DESCRIPTION
	1	6/6/2018	ADDRESS CITY COMMENTS
	2	4/7/2019	ADDRESS CITY COMMENTS
	3	6/7/2019	ADDRESS CITY COMMENTS
	4	9/14/2020	ADDRESS CITY COMMENTS
	5	10/30/2020	
	6	7/14/2021	

COMMONWEALTH OF VIRGINIA
 JASON TURNER KACAMBARAS
 Lic. No. 0402042416
 PROFESSIONAL ENGINEER

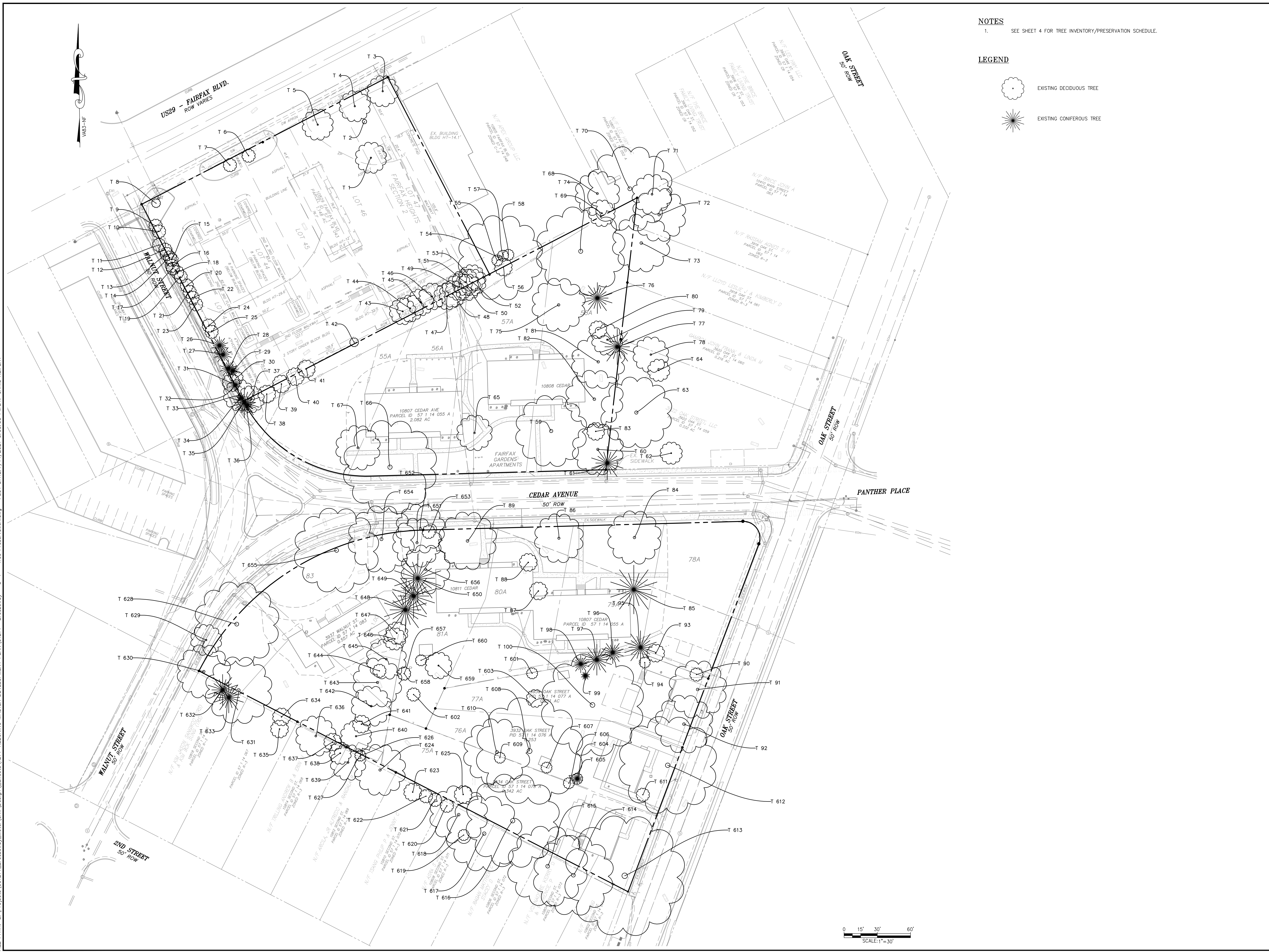
CLIENT:
 PULITE HOME COMPANY LLC
 9302 LEE HIGHWAY, SUITE 1000
 FAIRFAX, VA 22031

13861 SUNRISE VALLEY DRIVE, SUITE 200
 HERNDON, VIRGINIA 20171
 (703) 430-7500 FAX (703) 430-0889
 HERNDON - LARGO - BALTIMORE
 BLACKSBURG - RALEIGH - RICHMOND
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EXISTING CONDITIONS PLAN
RT. 50 BREEZEWAY
 MASTER DEVELOPMENT PLAN
 LOCATION
 FAIRFAX CITY, VIRGINIA

AUTHOR: ZME
 CHECK: JTK
 PROJ.#: 001271
 DATE: 10/30/2020
 SCALE: 1"=30'
 SHEET: 2 of 30


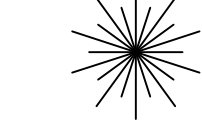
FILE PATH: S:\Projects\001271_Breezeway_Malek\Civil\Design\Sheets\1271-REZONING MASTER DEVELOPMENT PLAN\01271 -Breezeway - 3-4 - Tree Preservation.dwg PLOT DATE: 7/14/2021 5:05:33 PM BY: CHRIS NEIFERT

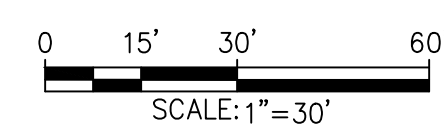


NOTES


1. SEE SHEET 4 FOR TREE INVENTORY/PRESERVATION SCHEDULE.

LEGEND

-  EXISTING DECIDUOUS TREE
-  EXISTING CONIFEROUS TREE



SUBMISSION		REVISION	
NO.	DATE	NO.	DESCRIPTION
1	6/6/2018	1	6/6/2018 ADDRESS CITY COMMENTS
2	4/7/2019	2	9/18/2019 ADDRESS CITY COMMENTS
3	6/7/2019	3	7/7/2019 ADDRESS CITY COMMENTS
4	9/14/2020	4	10/30/2020
5	10/30/2020	5	7/14/2021
6	7/14/2021	6	



CLIENT
 PULTE HOME COMPANY LLC
 9302 LEE HIGHWAY, SUITE 1000
 FAIRFAX, VA 22031

ATCS
 13861 SUNRISE VALLEY DRIVE, SUITE 200
 HERNDON, VIRGINIA 20171
 (703) 430-7500 FAX (703) 430-0889
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TREE PRESERVATION PLAN
RT. 50 BREEZEWAY
 MASTER DEVELOPMENT PLAN
 LOCATION
 FAIRFAX CITY, VIRGINIA

AUTHOR:	ZME
CHECK:	JTK
PROJ.#:	001271
DATE:	10/30/2020
SCALE:	1"=30'

SHEET: 3 of 30

TREE INVENTORY/PRESERVATION SCHEDULE

TAG #	SPECIES	SIZE	**TRZ	***CONDITION	REMOVE -OR- REMAIN	COMMENTS
		*DBH (IN.)	D (FT.)	%		
1	JAPANESE MAPLE	14	28	40 (POOR)	REMOVE	
2	KOREAN DOGWOOD	2	4	70 (GOOD)	REMOVE	
3	RED MAPLE	14	28	75 (GOOD/VERY GOOD)	REMOVE	
4	RED MAPLE	14	28	75 (GOOD/VERY GOOD)	REMOVE	
5	RED MAPLE	14	28	75 (GOOD/VERY GOOD)	REMOVE	
6	JAPANESE MAPLE	6	12	35 (POOR)	REMOVE	
7	JAPANESE MAPLE	6	12	35 (POOR)	REMOVE	
8	KOREAN DOGWOOD	4	8	55 (FAIR)	REMOVE	
9	LEYLAND CYPRESS	6	12	60 (FAIR/GOOD)	REMOVE	
10	LEYLAND CYPRESS	6	12	60 (FAIR/GOOD)	REMOVE	
11	LEYLAND CYPRESS	6	12	60 (FAIR/GOOD)	REMOVE	
12	LEYLAND CYPRESS	6	12	60 (FAIR/GOOD)	REMOVE	
13	LEYLAND CYPRESS	6	12	60 (FAIR/GOOD)	REMOVE	
14	LEYLAND CYPRESS	6	12	60 (FAIR/GOOD)	REMOVE	
15	LEYLAND CYPRESS	6	12	60 (FAIR/GOOD)	REMOVE	
16	LEYLAND CYPRESS	6	12	60 (FAIR/GOOD)	REMOVE	
17	LEYLAND CYPRESS	6	12	60 (FAIR/GOOD)	REMOVE	
18	LEYLAND CYPRESS	6	12	60 (FAIR/GOOD)	REMOVE	
19	LEYLAND CYPRESS	6	12	60 (FAIR/GOOD)	REMOVE	
20	LEYLAND CYPRESS	6	12	60 (FAIR/GOOD)	REMOVE	
21	LEYLAND CYPRESS	6	12	60 (FAIR/GOOD)	REMOVE	
22	LEYLAND CYPRESS	6	12	60 (FAIR/GOOD)	REMOVE	
23	LEYLAND CYPRESS	6	12	60 (FAIR/GOOD)	REMOVE	
24	LEYLAND CYPRESS	6	12	60 (FAIR/GOOD)	REMOVE	
25	LEYLAND CYPRESS	6	12	60 (FAIR/GOOD)	REMOVE	
26	EASTERN RED CEDAR	8,6	16	60 (FAIR/GOOD)	REMOVE	
27	EASTERN RED CEDAR	8	16	60 (FAIR/GOOD)	REMOVE	
28	EASTERN RED CEDAR	8	16	60 (FAIR/GOOD)	REMOVE	
29	EASTERN RED CEDAR	6,4	12	60 (FAIR/GOOD)	REMOVE	
30	EASTERN RED CEDAR	6	12	60 (FAIR/GOOD)	REMOVE	
31	BLACK LOCUST	8	16	60 (FAIR/GOOD)	REMOVE	
32	EASTERN RED CEDAR	6,4	12	45 (POOR/FAIR)	REMOVE	
33	EASTERN RED CEDAR	14	28	65 (GOOD)	REMOVE	
34	EASTERN RED CEDAR	4	8	65 (GOOD)	REMOVE	
35	EASTERN RED CEDAR	14	28	65 (GOOD)	REMOVE	
36	EASTERN RED CEDAR	8,6	16	65 (GOOD)	REMOVE	
37	WHITE MULBERRY	12	24	65 (GOOD)	REMOVE	
38	LEYLAND CYPRESS	8	16	45 (POOR/FAIR)	REMOVE	
39	LEYLAND CYPRESS	8	16	45 (POOR/FAIR)	REMOVE	
40	LEYLAND CYPRESS	8	16	45 (POOR/FAIR)	REMOVE	
41	LEYLAND CYPRESS	8	16	45 (POOR/FAIR)	REMOVE	
42	RED MAPLE	4,4	8	65 (GOOD)	REMOVE	
43	LEYLAND CYPRESS	12	24	45 (POOR/FAIR)	REMOVE	
44	LEYLAND CYPRESS	12	24	45 (POOR/FAIR)	REMOVE	
45	LEYLAND CYPRESS	12	24	45 (POOR/FAIR)	REMOVE	
46	LEYLAND CYPRESS	12	24	45 (POOR/FAIR)	REMOVE	
47	LEYLAND CYPRESS	12	24	45 (POOR/FAIR)	REMOVE	
48	LEYLAND CYPRESS	12	24	45 (POOR/FAIR)	REMOVE	
49	LEYLAND CYPRESS	12	24	45 (POOR/FAIR)	REMOVE	
50	LEYLAND CYPRESS	12	24	45 (POOR/FAIR)	REMOVE	
51	LEYLAND CYPRESS	12	24	45 (POOR/FAIR)	REMOVE	
52	LEYLAND CYPRESS	12	24	45 (POOR/FAIR)	REMOVE	
53	LEYLAND CYPRESS	12	24	45 (POOR/FAIR)	REMOVE	
54	WHITE ASH	38	76	25 (VERY POOR)	REMAIN	OFF SITE
55	SASSAFRAS	5,5	10	25 (VERY POOR)	REMAIN	OFF SITE
56	WHITE MULBERRY	8	16	75 (GOOD/VERY GOOD)	REMOVE	
57	WHITE MULBERRY	5,4,5	10	75 (GOOD/VERY GOOD)	REMAIN	OFF SITE
58	WHITE MULBERRY	5,4,5	10	75 (GOOD/VERY GOOD)	REMAIN	OFF SITE
59	RED MAPLE	32	64	65 (GOOD)	REMOVE	
60	SILVER MAPLE	23	46	25 (VERY POOR)	REMAIN	

TAG #	SPECIES	SIZE	**TRZ	***CONDITION	REMOVE -OR- REMAIN	COMMENTS
		*DBH (IN.)	D (FT.)	%		
61	EASTERN RED CEDAR	15	30	40	REMOVE	
62	CHERRY SPECIES	10	20	75	REMAIN	OFF SITE
63	PIN OAK	32	64	75	REMAIN	OFF SITE
64	CHERRY SPECIES	10	20	75	REMAIN	OFF SITE
65	LEYLAND CYPRESS	16	32	75	REMAIN	
66	SILVER MAPLE	42	84	75	REMOVE	
67	NORWAY SPRUCE	20	40	70	REMOVE	
68	WHITE ASH	20	40	25	REMAIN	OFF SITE
69	RED MAPLE	12	24	65	REMAIN	OFF SITE
70	TULIP TREE	38	76	65	REMAIN	OFF SITE
71	BLACK CHERRY	18	36	65	REMAIN	OFF SITE
72	RED MAPLE	24	48	65	REMAIN	OFF SITE
73	TULIP TREE	26	52	65	REMAIN	OFF SITE
74	RED MAPLE	40	80	65	REMAIN	
75	WHITE MULBERRY	24	48	65	REMOVE	
76	AMERICAN HOLLY	14	28	65	REMOVE	
77	AMERICAN HOLLY	16	32	65	REMOVE	
78	TULIP TREE	16	32	65	REMAIN	OFF SITE
79	TULIP TREE	14	28	65	REMOVE	
80	WHITE MULBERRY	8	16	65	REMOVE	
81	RED MAPLE	24	48	65	REMOVE	
82	EASTERN COTTONWOOD	26	52	65	REMOVE	
83	WHITE MULBERRY	8	16	40	REMAIN	
84	RED MAPLE	24	48	80	REMOVE	
85	NORWAY SPRUCE	22	44	65	REMOVE	
86	RED MAPLE	22	44	80	REMAIN	
87	HOLLY SPECIES	8,6	16	80	REMOVE	
88	HOLLY SPECIES	8,6	16	80	REMOVE	
89	RED MAPLE	26	52	80	REMAIN	
90	BLACK WALNUT	6,6	12	60	REMOVE	
91	RED MAPLE	26	52	60	REMAIN	
92	RED MAPLE	26	52	40	REMAIN	
93	WHITE MULBERRY	8,6,4	16	40	REMOVE	
94	WHITE ASH	5	10	40	REMOVE	
95	EASTERN WHITE PINE	15	30	50	REMOVE	
96	EASTERN WHITE PINE	10	20	50	REMOVE	
97	EASTERN WHITE PINE	14	28	50	REMOVE	
98	EASTERN WHITE PINE	8	16	25	REMOVE	
99	EASTERN RED CEDAR	4	8	25	REMOVE	
100	RED MAPLE	46	92	75	REMOVE	
601	RED MAPLE	5	10	55	REMOVE	
602	CALLERY PEAR	16	32	30	REMOVE	
603	RED MAPLE	8	16	75	REMOVE	
604	CHERRY SPECIES	5	10	40	REMOVE	
605	AMERICAN HOLLY	5	10	40	REMOVE	
606	BOXELDER	5	10	40	REMOVE	
607	BOXELDER	5	10	40	REMOVE	
608	SILVER MAPLE	48	96	40	REMOVE	
609	SILVER MAPLE	5	10	25	REMOVE	
610	RED MAPLE	30	60	40	REMOVE	
611	FLOWERING DOGWOOD	6	12	50	REMOVE	
612	SILVER MAPLE	44	88	40	REMOVE	
613	SILVER MAPLE	54	108	40	REMAIN	
614	SILVER MAPLE	36	72	40	REMAIN	OFF SITE
615	SILVER MAPLE	36	72	40	REMAIN	OFF SITE
616	SILVER MAPLE	42	84	40	REMAIN	
617	SILVER MAPLE	34	68	40	REMAIN	OFF SITE
618	RED MAPLE	26,20	52	60	REMAIN	OFF SITE
619	RIVER BIRCH	5,4	10	60	REMAIN	OFF SITE
620	BOXELDER	6	12	60	REMAIN	OFF SITE
621	BOXELDER	6	12	60	REMAIN	OFF SITE
622	BOXELDER	6	12	60	REMAIN	OFF SITE

TAG #	SPECIES	SIZE	**TRZ	***CONDITION	REMOVE -OR- REMAIN	COMMENTS
		*DBH (IN.)	D (FT.)	%		
623	BLACK CHERRY	8	16	60	REMAIN	OFF SITE
624	RED MAPLE	23	46	80	REMAIN	OFF SITE
625	COMMON PEAR	8	16	30	REMOVE	
626	NORWAY MAPLE	5	10	30	REMOVE	OFF SITE
627	NORWAY MAPLE	5	10	30	REMOVE	
628	RED MAPLE	38	76	40	REMOVE	
629	WHITE MULBERRY	14	28	40	REMAIN	OFF SITE
630	PITCH PINE	24	48	55	REMAIN	
631	PIN OAK	30	60	25	REMOVE	
632	EASTERN RED CEDAR	14	28	70	REMAIN	OFF SITE
633	EASTERN RED CEDAR	14	28	70	REMAIN	OFF SITE
634	BOXELDER	8	16	70	REMAIN	OFF SITE
635	RED MAPLE	8	16	70	REMAIN	OFF SITE
636	RED MAPLE	18,18	36	70	REMAIN	OFF SITE
637	RED MAPLE	8	16	70	REMAIN	OFF SITE
638	RED MAPLE	10,4,4	20	70	REMAIN	OFF SITE
639	SILVER MAPLE	16,16,16,10,12	32	50	REMAIN	OFF SITE
640	BOXELDER	14	28	30	REMOVE	
641	BOXELDER	8	16	30	REMOVE	
642	BLACK WALNUT	18	36	75	REMOVE	
643	RED MAPLE	22,8	44	75	REMOVE	
644	WHITE MULBERRY	6,6	12	50	REMOVE	
645	RED MAPLE	18	36	70	REMOVE	
646	WHITE MULBERRY	10,10	20	70	REMOVE	
647	WHITE MULBERRY	10,10	20	70	REMOVE	
648	EASTERN WHITE PINE	20	40	25	REMOVE	
649	EASTERN WHITE PINE	20	40	25	REMOVE	
650	EASTERN WHITE PINE	22	44	60	REMOVE	
651	EASTERN WHITE PINE	22	44	60	REMAIN	
652	EASTERN WHITE PINE	22	44	60	REMOVE	
653	WHITE MULBERRY	6	12	60	REMOVE	
654	RED MAPLE	30	60	60	REMOVE	
655	RED MAPLE	38	76	60	REMOVE	
656	RED MAPLE	22	44	60	REMOVE	
657	BLACK CHERRY	6	12	40	REMOVE	
658	BOXELDER	6	12	40	REMOVE	
659	COMMON PERSIMMON	12	24	40	REMOVE	
660	COMMON PERSIMMON	5	10	70	REMOVE	

INVENTORY DATA COLLECTED BY DONALD E. ZIMAR, CERTIFIED ARBORIST MA-0039, RCA #446
 **DBH - DIAMETER AT BREAST HEIGHT (MEASURED 4.5 FEET ABOVE GROUND)
 **TRZ - TYPICAL ROOT ZONE (1 FOOT OF RADII PER INCH OF TREE DIAMETER)
 ***CONDITION RATINGS PROVIDED AS PERCENT AGES BASED ON METHODS OUTLINED IN THE LATEST EDITION OF THE GUIDE FOR PLANT APPRAISAL, PUBLISHED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE
 TREE FOR TREES WITH MULTIPLE STEMS WERE CALCULATED BASED ON THE DIAMETER OF A TREE WITH THE BASAL AREA EQUIVALENT TO SUM OF THE BASAL AREAS FOR ALL STEMS MEASURED
 CABLE # IS NUMBER OF RECOMMENDED CABLES. FINAL DETERMINATION TO ARBORIST DOING WORK.
 H= HAND REMOVAL
 C= CROWN CLEANING BY PRUNING DEAD, DISEASED, DETACHED, AND BROKEN BRANCHES 2 INCHES IN DIAMETER AND LARGER AS CLOSE TO THE POINT OF ORIGIN POSSIBLE WITHOUT CUTTING INTO BRANCH COLLAR TISSUE.

REVISION		DESCRIPTION	
NO.	DATE	NO.	DATE
1	6/6/2019	1	6/6/2019
2	9/18/2019	2	9/18/2019
3	7/4/2021	3	7/4/2021
4		4	
5		5	
6		6	

CLIENT: PULTE HOME COMPANY LLC
 9302 LEE HIGHWAY, SUITE 1000
 FAIRFAX, VA 22031

13861 SUNRISE VALLEY DRIVE, SUITE 200
 HERNDON, VIRGINIA 20171
 (703) 430-7500 FAX (703) 430-0889
 HERNDON - LARGO - BALTIMORE
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ATCS
 TREE PRESERVATION PLAN
 RT. 50 BREEZEWAY
 MASTER DEVELOPMENT PLAN
 LOCATION: FAIRFAX CITY, VIRGINIA

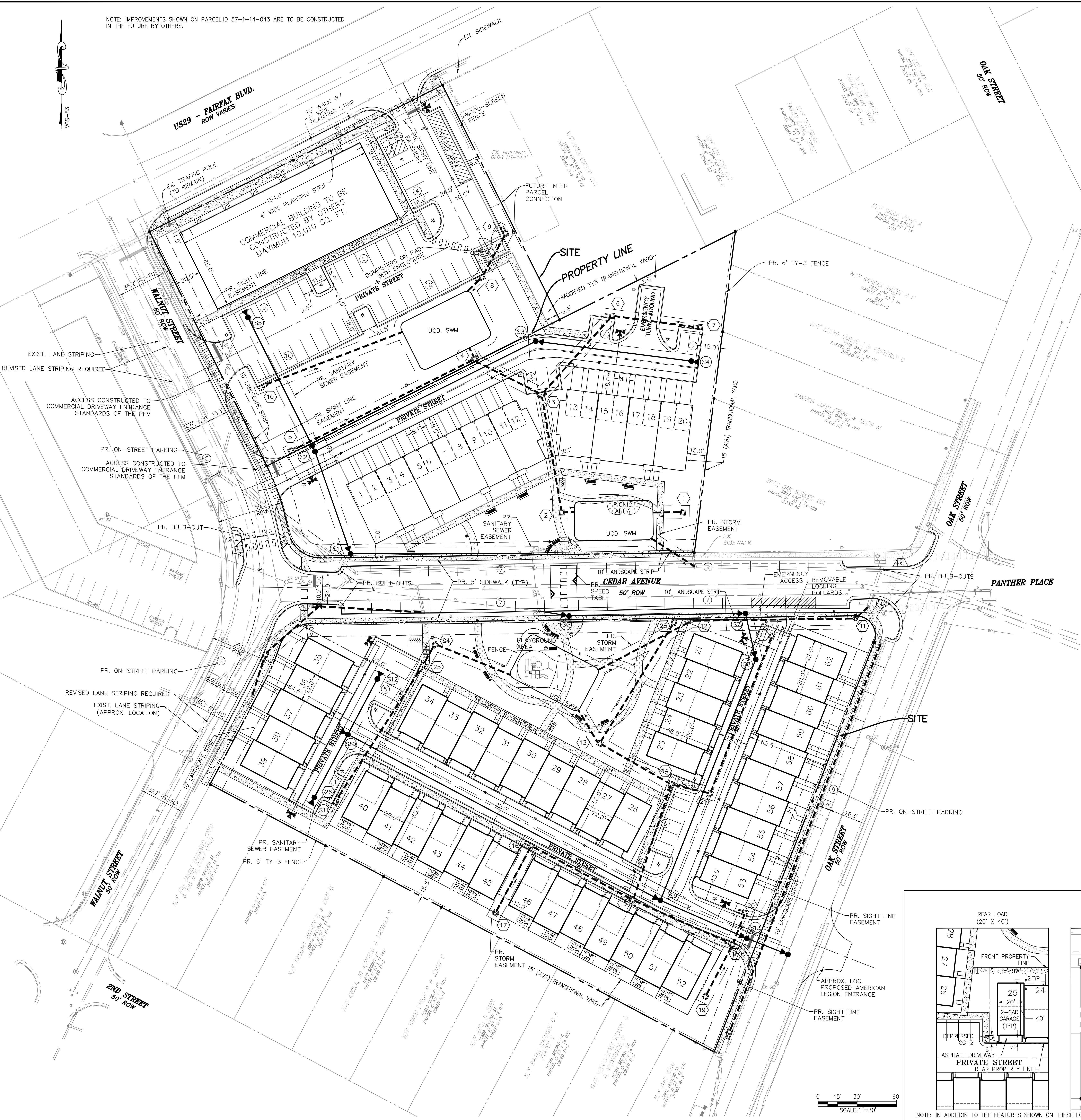
JASON TURNER KACAMBARIS
 Lic. No. 0402042416
 PROFESSIONAL ENGINEER

AUTHOR: ZME
 CHECK: JTK
 PROJ.#: 001271
 DATE: 10/30/2020
 SCALE: NOT TO SCALE

SHEET: 4 of 30

FILE PATH: S:\Projects\001271_Breezeaway\001271-REZONING MASTER DEVELOPMENT PLAN\01271 - Breezeaway - 5 - Master DevelopmentPlan.dwg PLOT DATE: 7/23/2021 12:35:59 PM BY: CHRIS NEIFERT

NOTE: IMPROVEMENTS SHOWN ON PARCEL ID 57-1-14-043 ARE TO BE CONSTRUCTED IN THE FUTURE BY OTHERS.



SITE ZONING REQUIREMENTS & TABULATIONS

REQUIREMENTS OF PD-M DISTRICT
 AREA: 2 ACRES MINIMUM
 RECREATION & OPEN SPACE: 20% REQUIRED
 PERIMETER BUFFER: 15' WIDE TRANSITIONAL YARD (TY3)
 STREET TREES: MINIMUM 10' WIDE LANDSCAPE STRIP ALONG ALL STREETS
 TREE CANOPY: 10% MINIMUM
 BUILDING HEIGHT: NONE

PROPOSED TABULATIONS FOR DEVELOPMENT PLAN
 SITE AREA:
 • COMMERCIAL AREA: 1.148 AC
 • RESIDENTIAL AREA W/ R.O.W. VACATION (0.105 AC): 3.590 AC
 - NORTH OF CEDAR: 1.185 AC
 - SOUTH OF CEDAR: 2.405 AC

• TOTAL AREA W/ R.O.W. VACATION: 4.738 AC
 • COMMERCIAL FAR: 0.20 = 10,010 SF/(1.148 X 43,560)
 • RESIDENTIAL DENSITY: 13.09 DU/AC = 62 DU/4.738 AC
 • TOTAL OPEN SPACE PROVIDED: 20.9% (SEE SHEET 10 FOR OPEN SPACE PLAN)
 0.326 AC + 0.061 AC + 0.243 AC + 0.314 AC + 0.045 AC = 0.989 AC
 (0.989 AC / 4.738 AC) X 100 = 20.9%

• TREE CANOPY: 19.4% - APPROX. 39,995 SQ. FT. (SEE SHEET 8 FOR CANOPY TABULATIONS)
 • PERIMETER BUFFER: 15' WIDE TRANSITIONAL YARD (TY3) PROVIDED ALONG BOUNDARIES WITH RESIDENTIALLY ZONED PROPERTIES, AND MODIFIED TRANSITIONAL YARD (TY 3) PROVIDED ALONG BOUNDARIES WITH COMMERCIALLY ZONED PROPERTIES.
 • STREET TREES: 10' WIDE LANDSCAPE STRIP PROVIDED WITH 1 CANOPY TREE PER 40 LINEAR FEET ALONG ALL STREET FRONTAGES.
 • BUILDING HEIGHTS: (SEE SHEETS 20-29 FOR RESIDENTIAL ARCHITECTURAL BUILDING ELEVATION VIEWS)
 TOWNHOMES: FF ELEV. TO ROOF MIDPOINT= ~38'
 MULTI-FAMILY: FF ELEV. TO ROOF MIDPOINT= ~49'
 COMMERCIAL: 2 STORES/35 FEET MAXIMUM

PARKING TABULATIONS:

PARKING TABULATIONS (PER FAIRFAX CITY ZONING ORDINANCE)				
PARKING TYPE	QUANTITY	REQUIREMENT	REQUIRED	PROVIDED
RESIDENTIAL	62 UNITS (20 MULTI-FAMILY) (42 SINGLE ATTACHED)	2 SPACES/UNIT	124	TOTAL 143 19 SURFACE 104 GARAGE 20 TANDEM
COMMERCIAL	10,010 S.F.	1 SPACE/200 S.F. 1 SPACE/300 S.F.	VARIES BY USE+	TOTAL 44 44 SURFACE SPACES MAXIMUM
TOTAL			124 +	187

ADDITIONAL PROVIDED PARKING: 30 PARALLEL PARKING SPACES ALONG CEDAR AVENUE
 9 PARALLEL PARKING SPACES ALONG OAK STREET
 7 PARALLEL PARKING SPACES ALONG WALNUT STREET

+ THE PARKING REQUIREMENTS FOR THE COMMERCIAL BUILDING WILL BE DETERMINED BY THE FUTURE USE(S) IN THE BUILDING, WHICH IS TO BE DETERMINED BY THE 44 PARKING SPACES FOR THE COMMERCIAL COMPONENT AS SHOWN ON THIS MDP SHALL BE CONSIDERED A MAXIMUM. THE FUTURE USE(S) OF THE COMMERCIAL BUILDING WILL BE SUBJECT TO COMPLIANCE WITH THE PARKING REQUIREMENTS OF THE ZONING ORDINANCE.

PRODUCT TYPES:

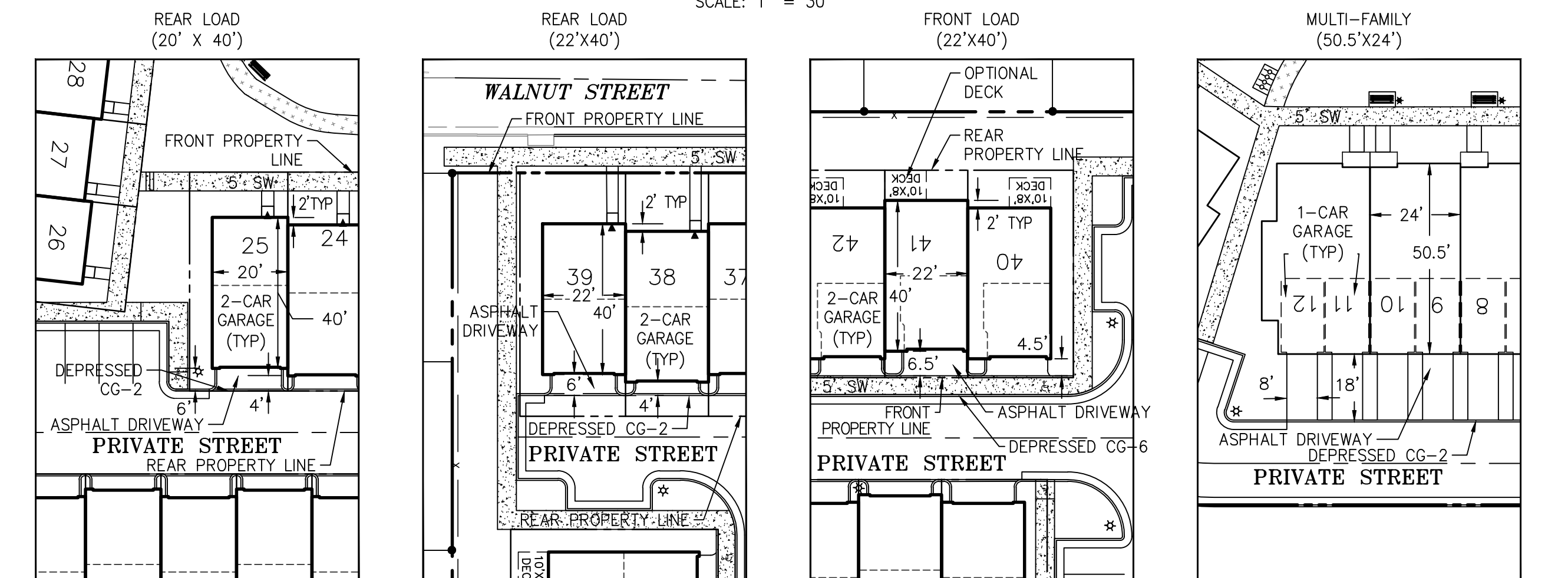
RESIDENTIAL PRODUCT TYPES	QUANTITY
TOWN HOME - REAR LOAD 20' WIDE	14
TOWN HOME - REAR LOAD 22' WIDE	15
TOWN HOME - FRONT LOAD 22' WIDE	13
STACKED CONDO - REAR LOAD 24' WIDE (2 DU / BLDG. x 10 BLDG.)	20
TOTAL	62

- NOTES**
- BICYCLE PARKING TO BE IN CONFORMANCE WITH SECTION 4.2.8 OF THE ZONING ORDINANCE. (SEE SHT. 11 & 19 FOR DETAIL).
 - HANDICAP PARKING TO BE IN CONFORMANCE WITH ADA REGULATIONS AND WILL BE FINALIZED AT THE TIME OF SITE PLAN.
 - SEE KID PLAY AREA DETAIL ON SHT. 18 & 19 FOR INFORMATION OF PROPOSED FEATURES.
 - PROPOSED UTILITIES SHOWN ARE PRELIMINARY AND ARE SUBJECT TO REVISIONS DURING THE TIME OF FINAL SITE PLAN.
 - SEE BUILDING SECTION EXHIBIT ON SHEET 30 FOR TRANSITION IN BUILDING HEIGHTS FROM PROPOSED TOWNHOMES (UNITS 40-52) TO THE EXISTING SINGLE-FAMILY HOMES ALONG 2ND STREET.
 - ALL PRIVATE STREETS AND ADJACENT SIDEWALKS SHOWN ON THIS STREET SHALL BE SUBJECT TO A PUBLIC ACCESS EASEMENT.
 - ALL PRIVATE STREETS, ACCESSWAYS, TRAILS AND SIDEWALKS SHOWN ON THIS SHEET SHALL BE SUBJECT TO AN EMERGENCY VEHICLE ACCESS EASEMENT.

LEGEND

	EX. SIDEWALK		PR. STORM SEWER LINE
	PR. SIDEWALK		PR. WATER LINE
	ROAD CENTERLINE		PR. FENCE
	ADJACENT PROPERTY LINE		PR. PLAZA
	EX. OVERHEAD ELECTRIC		PR. REMOVABLE LOCKING BOLLARD
	EX. CURB		PR. TRASH RECEPTACLE
	EX. EDGE OF PAVEMENT		PR. PEDESTRIAN LIGHT
	EX. MINOR CONTOUR		PR. STREET LIGHT
	EX. MAJOR CONTOUR		PR. METAL BENCH
	PROPERTY BOUNDARY		PR. BIKE RACK
	EX. SANITARY SEWER LINE		PR. FIRE HYDRANT
	EX. STORM SEWER LINE		PR. INLET
	EX. WATER LINE		PR. DRAINAGE MANHOLE
	EX. SANITARY MANHOLE		PR. UNDERGROUND SWM FACILITY WITH ISOLATOR ROW
	EX. DRAINAGE MANHOLE		PR. STORM STRUCTURE LABEL
	EX. WATER METER		PR. SANITARY SEWER STRUCTURE LABEL
	EX. POWER POLE		
	EX. FIRE HYDRANT		
	PR. SANITARY SEWER LINE		

TYPICAL DWELLING UNIT CONFIGURATIONS



NOTE: IN ADDITION TO THE FEATURES SHOWN ON THESE LOT TYPICALS, ARCHITECTURAL AND ORNAMENTAL FEATURES MAY BE PROVIDED PURSUANT TO SECTION 1.5.12.E OF THE ZONING ORDINANCE.

ATCS
 13861 SUNRISE VALLEY DRIVE, SUITE 200
 HERNDON, VIRGINIA 20171
 (703) 430-7500 FAX (703) 430-0899
 HERNDON - LARGO - BALTIMORE
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CLIENT
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 FAIRFAX, VA 22031

REVISION

NO.	DATE	DESCRIPTION
1	6/6/2019	ADDRESS CITY COMMENTS
2	9/18/2019	ADDRESS CITY COMMENTS
3	7/14/2021	ADDRESS CITY COMMENTS
4	6/7/2019	ADDRESS CITY COMMENTS
5	10/29/2020	
6	7/14/2021	

PROFESSIONAL ENGINEER
 JASON TURNER KACAMBARAS
 Lic. No. 0402042416

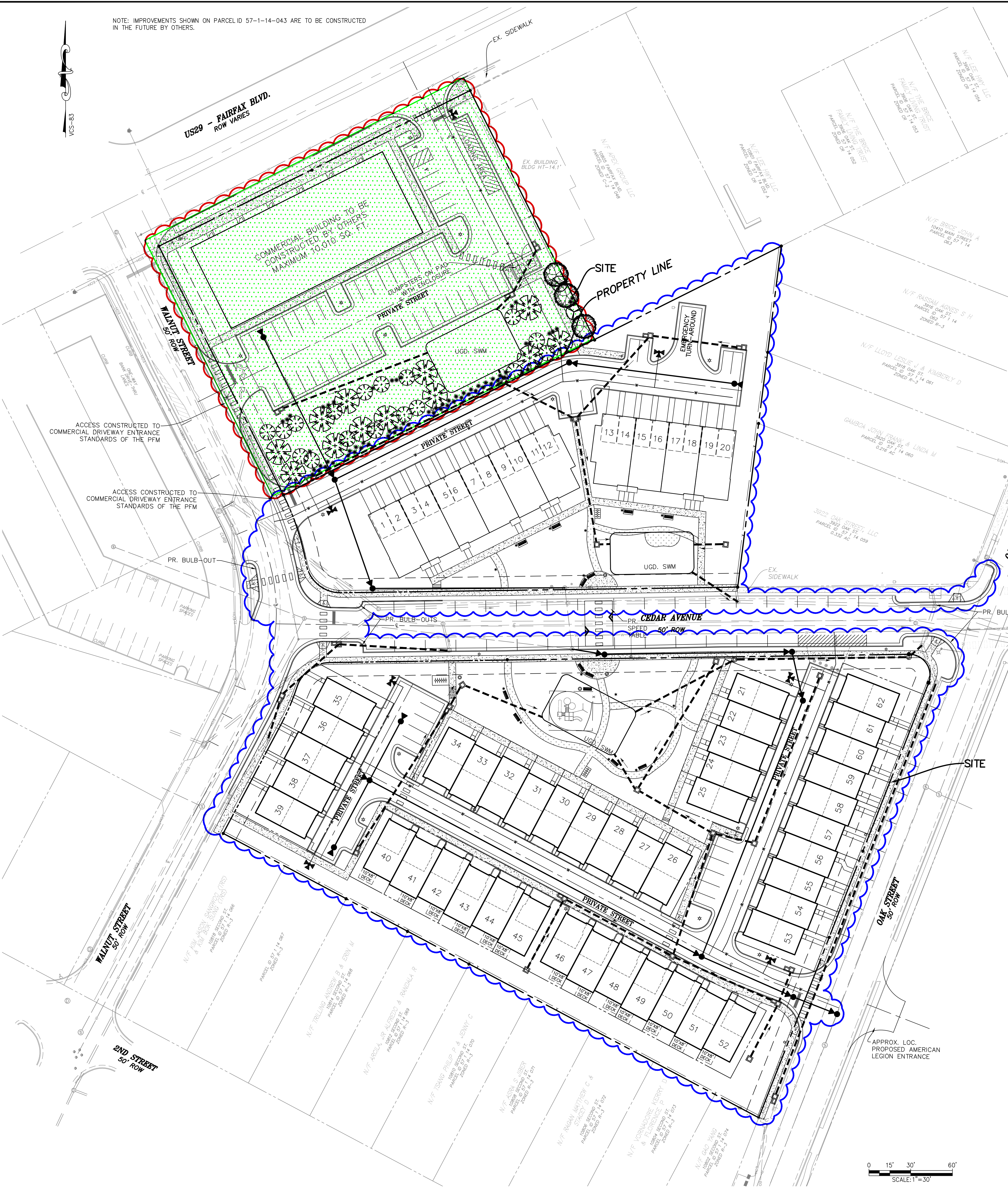
MASTER DEVELOPMENT PLAN
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 FAIRFAX CITY, VIRGINIA

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SHEET: 5 of 30

FILE PATH: S:\Projects\001271_Breezeway_Motel\Design\1271-REZONING MASTER DEVELOPMENT PLAN\01271 - Breezeway - 6 - Phasing.dwg PLOT DATE: 7/22/2021 8:26:04 PM BY: CHRIS NEIFERT

NOTE: IMPROVEMENTS SHOWN ON PARCEL ID 57-1-14-043 ARE TO BE CONSTRUCTED IN THE FUTURE BY OTHERS.

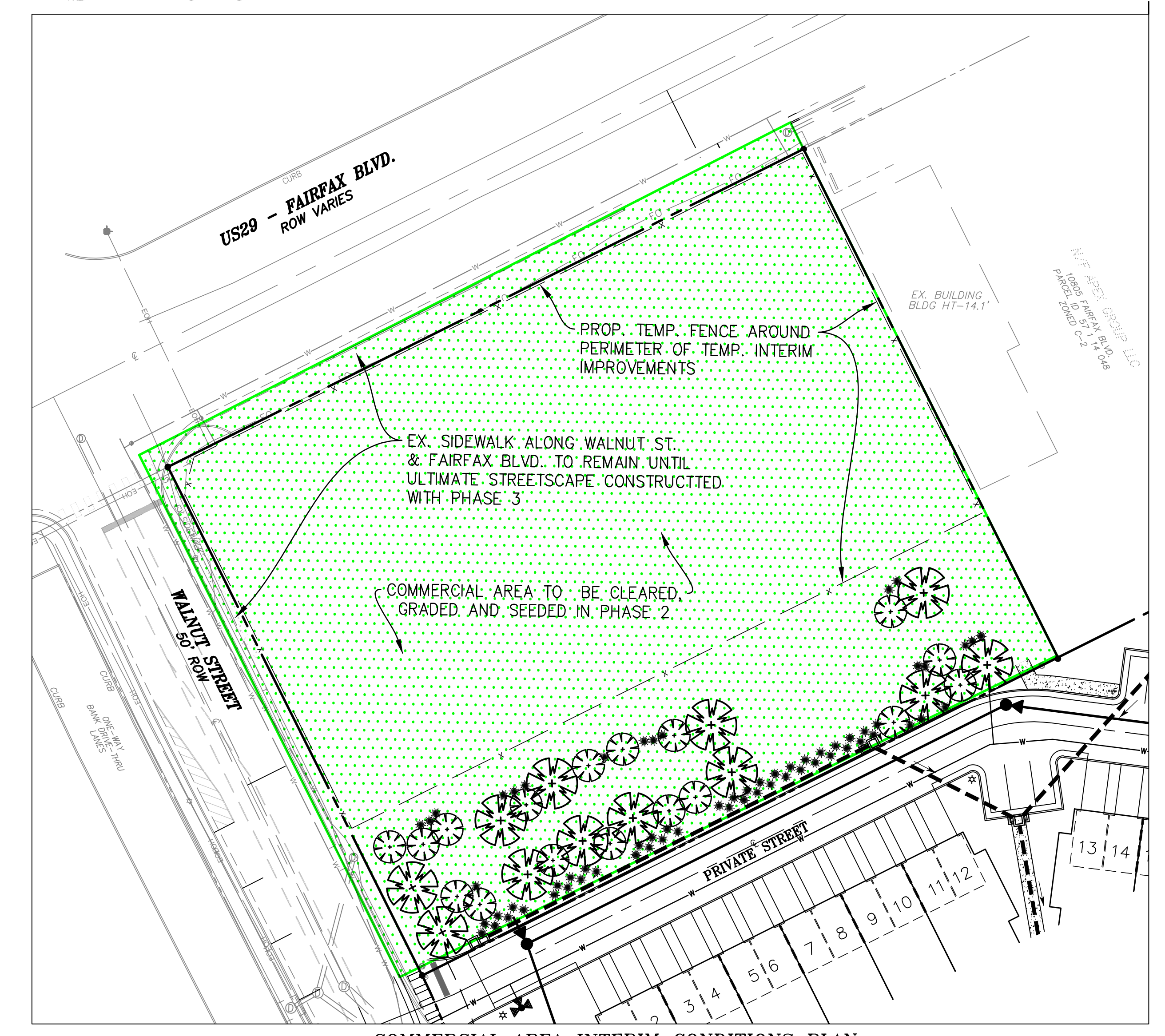


DEVELOPMENT PHASING NOTES

- PHASE 1**
 1. DEMOLITION OF FAIRFAX GARDENS, SINGLE FAMILY DETACHED HOMES, ASSOCIATED INFRASTRUCTURE AND VEGETATION, EXCEPT AS NOTED TO REMAIN/BE PRESERVED.
 2. CONSTRUCTION OF ALL RESIDENTIAL UNITS (42 TOWNHOMES AND 20 STACKED CONDOS), STREETS, UTILITIES, LANDSCAPING AND OTHER INFRASTRUCTURE SHOWN SUPPORTING THE RESIDENTIAL PORTION OF THE DEVELOPMENT. THE RESIDENTIAL UNITS MAY BE CONSTRUCTED IN TWO SUB-PHASES OF PHASE 1.
 3. UPON COMPLETION OF ALL RESIDENTIAL UNITS IN PHASE 1, A MINIMUM 20% OF THE SUBJECT PROPERTY SHALL BE PROVIDED AS OPEN SPACE THAT MEETS THE REQUIREMENTS OF ZO SECT. 3.8.7. SEE THE OPEN SPACE PLAN FOR OPEN SPACE LOCATIONS.
- PHASE 2**
 1. DEMOLITION OF THE BREEZEWAY MOTEL, ASSOCIATED INFRASTRUCTURE AND VEGETATION, EXCEPT AS NOTED TO REMAIN/BE PRESERVED.
 2. INSTALLATION OF INTERIM IMPROVEMENTS, SEE INTERIM CONDITIONS PLAN ON THIS SHEET. INTERIM CONDITIONS WILL INCLUDE, BUT ARE NOT LIMITED TO, CLEARING AND GRADING, SEEDING, LANDSCAPING, TEMPORARY SIDEWALK AND TEMPORARY FENCE.
- PHASE 3**
 1. CONSTRUCTION OF THE COMMERCIAL SITE AREA INCLUDING THE BUILDING, STREETS, UTILITIES, LANDSCAPING AND OTHER INFRASTRUCTURE SHOWN SUPPORTING THE COMMERCIAL PORTION OF THE DEVELOPMENT.

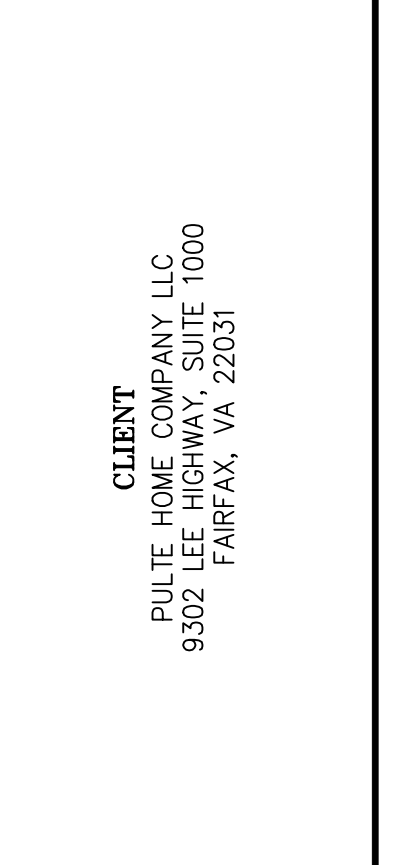
LEGEND

- EX. SIDEWALK
- PR. SIDEWALK
- ROAD CENTERLINE
- ADJACENT PROPERTY LINE
- EX. OVERHEAD ELECTRIC
- EX. CURB
- EX. EDGE OF PAVEMENT
- EX. MINOR CONTOUR
- EX. MAJOR CONTOUR
- PROPERTY BOUNDARY
- EX. SANITARY SEWER LINE
- EX. STORM SEWER LINE
- EX. WATER LINE
- EX. SANITARY MANHOLE
- EX. DRAINAGE MANHOLE
- EX. WATER METER
- EX. POWER POLE
- EX. FIRE HYDRANT
- PR. SANITARY SEWER LINE
- PR. STORM SEWER LINE
- PR. WATER LINE
- PR. FENCE
- PR. PLAZA
- PR. REMOVABLE LOCKING BOLLARD
- PR. TRASH RECEPTACLE
- PR. PEDESTRIAN LIGHT
- PR. STREET LIGHT
- PR. METAL BENCH
- PR. BIKE RACK
- PR. FIRE HYDRANT
- PR. INLET
- PR. DRAINAGE MANHOLE
- PR. UNDERGROUND SWM FACILITY WITH ISOLATOR ROW
- UGD. SWM
- PHASE 1
- INTERIM CONDITIONS AREA
- PHASE 2 AND PHASE 3



COMMERCIAL AREA INTERIM CONDITIONS PLAN

REVISION	NO.	DATE	DESCRIPTION
	1	6/6/2019	ADDRESS CITY COMMENTS
	2	9/18/2019	ADDRESS CITY COMMENTS
	3	6/7/2020	ADDRESS CITY COMMENTS
	4	7/14/2021	ADDRESS CITY COMMENTS
	5	10/30/2020	
	6	7/14/2021	



CLIENT
 PULTE HOME COMPANY LLC
 9302 LEE HIGHWAY, SUITE 1000
 FAIRFAX, VA 22031

13861 SUNRISE VALLEY DRIVE, SUITE 200
 HERNDON, VIRGINIA 20171
 (703) 430-7500 FAX (703) 430-0889
 BLANDON - LARGO BALTIMORE
 HERNDON - LARGO BALTIMORE
 RALEIGH - RICHMOND
 WWW.ATCSPLC.COM

DEVELOPMENT PHASING PLAN
**RT. 50 BREEZEWAY
 MASTER DEVELOPMENT PLAN**
 LOCATION
 FAIRFAX CITY, VIRGINIA

AUTHOR: ZME
 CHECK: JTK
 PROJ.#: 001271
 DATE: 10/30/2020
 SCALE: 1"=30'

SHEET: 6 of 30

FILE PATH: S:\Projects\001271_BreezeWay_Motel\Civil\Design\1271-REZONING MASTER DEVELOPMENT PLAN\01271 - BreezeWay - 7 - Preliminary Grading.dwg PLOT DATE: 7/22/2021 3:44:25 PM BY: CHRIS NEFEERT



NOTES

- THIS IS A PRELIMINARY GRADING & LIMITS OF CLEARING SHOWN ON THIS PLAN IS SUBJECT TO CHANGE AT THE TIME OF FINAL SITE PLAN.
- LOCATIONS AND SIZING OF SWM/BMP FACILITIES SHOWN ARE BASED ON A PRELIMINARY STUDY TO ENSURE COMPLIANCE WITH STATE AND CITY REQUIREMENTS. THE TYPE AND LOCATIONS OF FACILITIES SHOWN IS SUBJECT TO CHANGE WITH FINAL DESIGN.

LEGEND

[Symbol]	EX. SIDEWALK	[Symbol]	UGD, SWM	[Symbol]	PR. UNDERGROUND SWM FACILITY WITH ISOLATOR ROW
[Symbol]	PR. SIDEWALK	[Symbol]			
[Symbol]	ROAD CENTERLINE				
[Symbol]	ADJACENT PROPERTY LINE				
[Symbol]	EX. OVERHEAD ELECTRIC				
[Symbol]	EX. CURB				
[Symbol]	EX. EDGE OF PAVEMENT				
[Symbol]	EX. MINOR CONTOUR				
[Symbol]	EX. MAJOR CONTOUR				
[Symbol]	PR. MINOR CONTOUR				
[Symbol]	PR. MAJOR CONTOUR				
[Symbol]	PROPERTY BOUNDARY				
[Symbol]	EX. SANITARY SEWER LINE				
[Symbol]	EX. STORM SEWER LINE				
[Symbol]	EX. WATER LINE				
[Symbol]	PR. SANITARY SEWER LINE				
[Symbol]	PR. STORM SEWER LINE				
[Symbol]	PR. STORM SEWER LINE				
[Symbol]	LIMITS OF CLEARING				

STORMWATER MANAGEMENT (SWM) & BEST MANAGEMENT PRACTICE (BMP) NARRATIVE

SWM
WATER QUANTITY FOR THIS PROJECT WILL BE PROVIDED IN ACCORDANCE WITH STATE CODE 9VAC25-870-66 QUANTITY AND THE CITY OF FAIRFAX STORMWATER ORDINANCE. THIS BEING A REDEVELOPMENT, THE IMPROVEMENT FACTOR WILL BE UTILIZED TO MEET CHANNEL PROTECTIONS FOR THE 1-YEAR 24 HOUR STORM AND THE POST DEVELOPMENT 10-YEAR 24-HOUR STORM EVENT WILL BE CONFINED TO RELEASE AT A RATE LESS THAN PRE-DEVELOPED CONDITIONS TO MEET FLOOD PROTECTION.

TO MEET THESE WATER QUANTITY REQUIREMENTS, 3 UNDERGROUND DETENTION FACILITIES WILL BE UTILIZED. PRELIMINARY LOCATIONS ARE SHOWN ON THE DEVELOPMENT PLAN.

ADEQUATE OUTFALL

- THE EXISTING SITE DISCHARGES CONCENTRATED RUNOFF TO 2 OUTFALL LOCATIONS. EXISTING OUTFALL A INCLUDES MOSTLY ON-SITE SHEET FLOW FROM PROPERTIES NORTH OF CEDAR AVENUE THAT DRAINS SOUTH WEST FROM FAIRFAX BOULEVARD/WALNUT STREET WHERE IT LEAVES THE SITE AND DRAINS SOUTH INTO THE CEDAR AVENUE STORM PIPE DRAINAGE SYSTEM THAT CONVEYS DRAINAGE WEST ALONG PANTHER PLACE THAT ULTIMATELY DISCHARGES IN A 100-YEAR FLOODPLAIN SOUTHWEST OF THE PROJECT SITE.
- EXISTING OUTFALL B INCLUDES MOSTLY ON-SITE SHEET FLOW FROM THE SUBJECT PROPERTIES SOUTH OF CEDAR AVENUE THAT DRAINS NORTH EAST FROM WALNUT STREET WHERE IT DRAINS INTO THE CEDAR AVENUE STORM PIPE DRAINAGE SYSTEM @ OAK STREET THAT CONVEYS DRAINAGE WEST ALONG PANTHER PLACE THAT ULTIMATELY DISCHARGES IN A 100-YEAR FLOODPLAIN SOUTHWEST OF THE PROJECT SITE.

BMP

THIS PROJECT WILL USE THE VIRGINIA RUNOFF REDUCTION METHOD (VRRM) REDEVELOPMENT TO MEET STATE, PART 11B CRITERIA (9VAC25-870-85) AND CITY WATER QUALITY DESIGN CRITERIA. THE PROJECT SITE AREA INCLUDES ALL AREA WITHIN THE PROPOSED LIMITS OF CLEARING AND GRADING TO MEET WATER QUALITY DESIGN CRITERIA AND PHOSPHORUS REMOVAL REQUIREMENTS, A COMBINATION OF BOTH PROPRIETARY AND NON-PROPRIETARY BMP FACILITIES MAY BE USED. THESE FACILITIES MAY INCLUDE: ISOLATOR ROWS, HYDRODYNAMIC SEPARATORS, FILTERBAS, PERMEABLE PAVEMENT, & BIORETENTIONS. PRELIMINARY LOCATIONS ARE SHOWN ON THE DEVELOPMENT PLAN.

ONSITE SEWER DEMAND ANALYSIS

NORTH OF CEDAR AVENUE
THE SEWER OUTFALL FOR THIS PORTION OF SITE IS THE EXISTING SEWER THAT CROSSES CEDAR AVE. AT MID-BLOCK. THIS SEWER HAS BEEN IDENTIFIED AS HAVING A "BELLY" CONDITION PER CITY OF FAIRFAX. THE EXISTING PIPE IS FULL AT THE LOWEST POINT OF THE BELLY, AND CONTINUES TO ADEQUATELY FUNCTION IN THE CURRENT CONDITION. THE PROPOSED SEWER DEMAND HAS BEEN ANALYZED AND COMPARED TO CURRENT CONDITIONS. THERE IS AN INCREASE WITH THE PROPOSED CONDITIONS AND A FULL HYDRAULIC ANALYSIS SHALL BE PERFORMED AT SITE DEVELOPMENT STAGE TO DETERMINE IF PIPE SHOULD BE REPLACED. THE SEWER FLOW FROM NORTH OF CEDAR AVE. CONTINUES THROUGH THE PROJECT SITE SOUTH OF CEDAR AVE.

EXISTING CONDITIONS:
BREEZEWAY MOTEL & FAIRFAX GARDEN APARTMENTS (10807 & 10808 CEDAR AVE.) = 12,300 GPD

PROPOSED CONDITIONS:
STACKED CONDO BUILDINGS (10) & COMMERCIAL BUILDING (10,010 SF) = 15,003 GPD

SOUTH OF CEDAR AVENUE
THE ULTIMATE SEWER OUTFALL FOR THE TOTAL SITE AREA (NORTH & SOUTH OF CEDAR AVE.) IS THE EXISTING SEWER SYSTEM AT OAK ST. THIS SYSTEM IS THE SAME RECEIVING SYSTEM FOR THE CURRENT CONDITIONS. THE SEWER FLOWS FOR THE SITE AREA SOUTH OF CEDAR AVE. ARE INDICATED BELOW.

EXISTING CONDITIONS:
FAIRFAX GARDEN APARTMENTS (10811 & 10809 CEDAR AVE.) & FOUR (4) SINGLE FAMILY DWELLINGS = 8,400 GPD

PROPOSED CONDITIONS:
TOWN HOMES (42) = 25,200 GPD

EXISTING PROJECT TOTAL (NORTH AND SOUTH OF CEDAR AVE.) = 20,700 GPD
PROPOSED PROJECT TOTAL (NORTH AND SOUTH OF CEDAR AVE.) = 40,203 GPD (19,503 GPD INCREASE)

REVISION		DESCRIPTION	
NO.	DATE	NO.	DATE
1	6/6/2019	1	6/6/2019
2	9/18/2019	2	9/18/2019
3	6/7/2019	3	6/7/2019
4	9/14/2020	4	9/14/2020
5	10/31/2020	5	10/31/2020
6	7/14/2021	6	7/14/2021

JASON TURNER KACAMBURAS
Lic. No. 0402042416
PROFESSIONAL ENGINEER

CLIENT
PULTE HOME COMPANY LLC
9302 LEE HIGHWAY, SUITE 1000
FAIRFAX, VA 22031

**13861 SUNRISE VALLEY DRIVE, SUITE 200
HERNDON, VIRGINIA 20171
TEL: (703) 430-7500 FAX: (703) 430-0889
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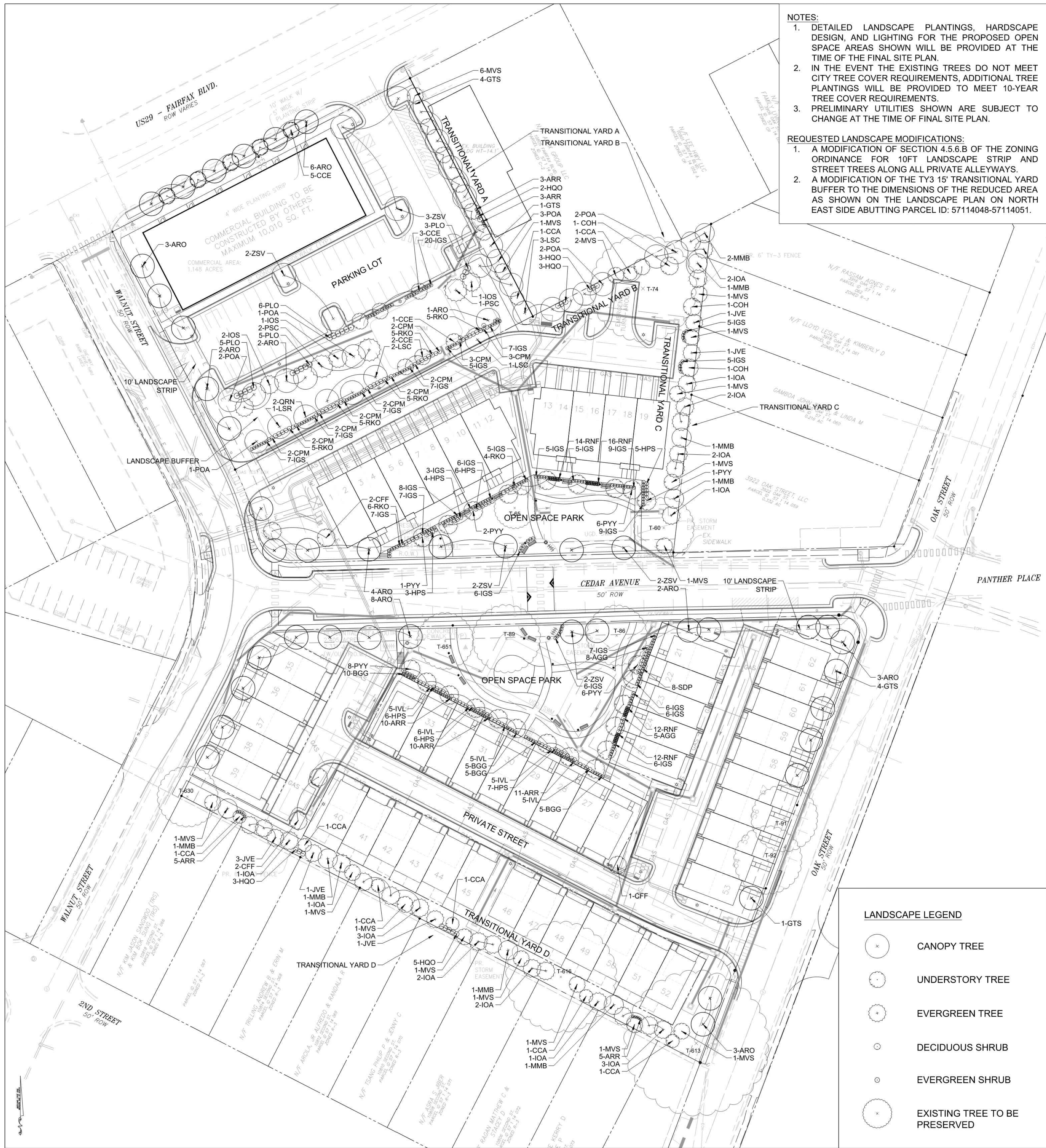
ATCS

**PRELIMINARY GRADING PLAN AND STORMWATER MANAGEMENT PLAN
RT. 50 BREEZEWAY
MASTER DEVELOPMENT PLAN**

LOCATION
FAIRFAX CITY, VIRGINIA

AUTHOR: ZME
CHECK: JTK
PROJ.#: 001271
DATE: 10/30/2020
SCALE: 1"=30'

SHEET: 7 of 30



- NOTES:**
1. DETAILED LANDSCAPE PLANTINGS, HARDSCAPE DESIGN, AND LIGHTING FOR THE PROPOSED OPEN SPACE AREAS SHOWN WILL BE PROVIDED AT THE TIME OF THE FINAL SITE PLAN.
 2. IN THE EVENT THE EXISTING TREES DO NOT MEET CITY TREE COVER REQUIREMENTS, ADDITIONAL TREE PLANTINGS WILL BE PROVIDED TO MEET 10-YEAR TREE COVER REQUIREMENTS.
 3. PRELIMINARY UTILITIES SHOWN ARE SUBJECT TO CHANGE AT THE TIME OF FINAL SITE PLAN.
- REQUESTED LANDSCAPE MODIFICATIONS:**
1. A MODIFICATION OF SECTION 4.5.6.B OF THE ZONING ORDINANCE FOR 10FT LANDSCAPE STRIP AND STREET TREES ALONG ALL PRIVATE ALLEYSWAYS.
 2. A MODIFICATION OF THE TY3 15' TRANSITIONAL YARD BUFFER TO THE DIMENSIONS OF THE REDUCED AREA AS SHOWN ON THE LANDSCAPE PLAN ON NORTH EAST SIDE ABUTTING PARCEL ID: 57114048-57114051.

BREEZEWAY					
CODE PLANTING TABLE					
CODE	CODE APPLICATION	REQUIRED	PROVIDED	NOTES	
TRANSITIONAL YARD A - East to Commercial Building, Adjacent to Commercially Zoned Parcels along Fairfax Blvd (200 L.F.)					
15' Width, Fence (Located on Property Line) = 6' height		6' fence	6' fence		
Plantings: 4 canopy trees per 100 L.F.	200/100x4-8	Canopy	8	8	
4 understory trees per 100 L.F.	200/100x4-8	Understory	8	8	
4 shrubs per 100 L.F.	200/100x4-8	Shrubs	8	8	
		Evergreens	0	0	
Total			24	24	
TRANSITIONAL YARD B - South of Commercially Zoned Parcels along Fairfax Blvd (150 L.F.)					
15' Width, Fence (Located on Property Line) = 6' height					
Plantings: 4 canopy trees per 100 L.F.	150/100x4-6	Canopy	6	6	
4 understory trees per 100 L.F.	150/100x4-6	Understory	6	6	
4 shrubs per 100 L.F.	150/100x4-6	Shrubs	6	6	
		Evergreens	0	0	
Total			18	18	
TRANSITIONAL YARD C - East to Proposed Multifamily Stacked Condo Dwellings (247.1 L.F.)					
15' Width, Fence (Located on Property Line) = 6' height					
Plantings: 4 canopy trees per 100 L.F.	247.1/100x4-9.88	Canopy	10	0	Evergreen trees are substituted in place of canopy trees
4 understory trees per 100 L.F.	247.1/100x4-9.88	Understory	10	10	
4 shrubs per 100 L.F.	247.1/100x4-9.88	Shrubs	10	10	
		Evergreens	0	10	
Total			30	30	
TRANSITIONAL YARD D - Along Southern Property Boundary (435.64 L.F.)					
15' Width, Fence (Located on Property Line) = 6' height					
Plantings: 4 canopy trees per 100 L.F.	435.64/100x4-17.42	Canopy	18	0	Evergreen trees are substituted in place of canopy trees
4 understory trees per 100 L.F.	435.64/100x4-17.42	Understory	18	18	
4 shrubs per 100 L.F.	435.64/100x4-17.42	Shrubs	18	18	
		Evergreens	0	18	
Total			54	54	
TRANSITIONAL YARDS TOTAL					
			126	126	
STREET TREES *CITY OF FAIRFAX ZONING ORDINANCE, Sect. 4.5.6.8					
FAIRFAX BLVD (206.3 L.F.)					
TOTAL L.F.	CODE	CODE APPLICATION	REQUIRED	PROVIDED	NOTES
206.3	1 Canopy Tree per 40 L.F.	206.3/40=5.2	6 trees	6 trees	
	Min. 10' Wide Landscape Stripe			5 understory trees	Additional plantings provided at Fairfax Blvd
WALNUT STREET (370.7 L.F.)					
TOTAL L.F.	CODE	CODE APPLICATION	REQUIRED	PROVIDED	NOTES
370.7	1 Canopy Tree per 40 L.F.	370.7/40=9.3	10 trees	10 trees	
	Min. 10' Wide Landscape Stripe				
CEDAR AVENUE (795.0 L.F.)					
TOTAL L.F.	CODE	CODE APPLICATION	REQUIRED	PROVIDED	NOTES
795.0	1 Canopy Tree per 40 L.F.	795.0/40=19.9	20 trees	20 trees	17 proposed trees + 3 existing trees
	Min. 10' Wide Landscape Stripe				
OAK STREET (355.6 L.F.)					
TOTAL L.F.	CODE	CODE APPLICATION	REQUIRED	PROVIDED	NOTES
355.6	1 Canopy Tree per 40 L.F.	355.6/40=8.9	9 trees	10 trees	8 proposed trees + 2 existing trees
	Min. 10' Wide Landscape Stripe				
STREET TREE TOTAL			45	51	46 proposed trees + 5 existing trees
PARKING LOT LANDSCAPING *CITY OF FAIRFAX ZONING ORDINANCE, Sect. 4.5.7.C and Sect. 4.5.7.D					
PERIMETER REQUIREMENT					
TOTAL L.F.	CODE	CODE APPLICATION	REQUIRED	PROVIDED	NOTES
		No Public Frontage	0	0	No landscaping shall be required per Zoning Ordinance Sect. 4.5.7.C
		TY3 Transitional Yard at All Perimeter Adjacent to Residentially Zoned Property	0	0	See Transitional Yard A for planting details
INTERIOR REQUIREMENT					
TOTAL PARKING SPACES	CODE	CODE APPLICATION	REQUIRED	PROVIDED	NOTES
44		New On-site surface parking lot with more than 10 spaces to provide 1 Parking island and 1 Canopy Tree per 10	5 trees	5 trees	Only the parking lot at the proposed commercial lot has more than 10 parking spaces therefore subject to interior parking requirement
ADDITIONAL PLANTING TABLE					
OPEN SPACE PARK PLANTING					
			REQUIRED	PROVIDED	NOTES
		Understory	-	29	
		Shrubs	-	304	
		Total		333	
LANDSCAPE BUFFER BETWEEN MULTI-FAMILY STACKED CONDO DWELLING AND PROPOSED COMMERCIAL BUILDING					
			REQUIRED	PROVIDED	NOTES
		Canopy	-	14	Additional plantings provided to create dense screening from parking lot to multi-family
		Understory	-	6	
		Shrubs	-	126	
		Evergreen	-	7	
		Total		153	

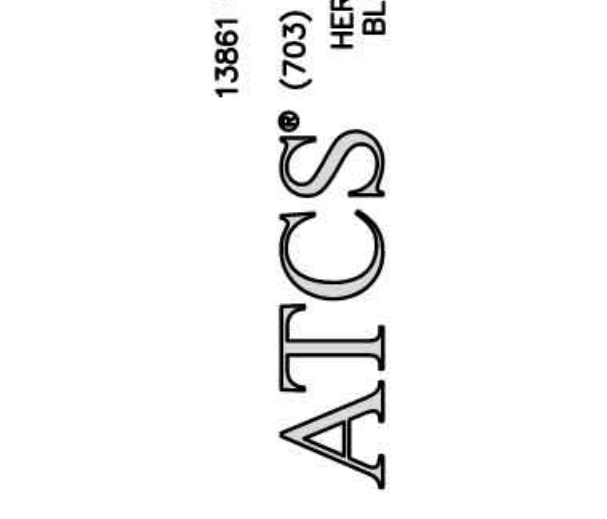
10 YEAR TREE COVER CALCULATIONS *CITY OF FAIRFAX ZONING ORDINANCE, Sect. 4.5.6						
TREE CANOPY						
SITE AREA	CODE APPLICATION	REQUIRED	PROVIDED	NOTES	NOTES	
206.475	10% Min. Tree Canopy Required For PD-14	20,648	39,995	Provided 19.4% Canopy		
TRANSITIONAL YARDS						
QUANTITY	BOTANICAL NAME	COMMON NAME	CATEGORY	SIZE	10 YEAR CANOPY	TOTAL 10 YEAR S.F.
CANOPY TREES (MAJOR DECIDUOUS SHADE TREES)						
3	Celtis occidentalis	Hackberry	III	3.5' Cal.	175	525
3	Liquidambar styraciflua 'Rotundiloba'	Rotundiloba Sweetgum	IV	3.5' Cal.	125	375
9	Magnolia macrophylla	Bigleaf Magnolia	III	3.5' Cal.	175	1575
5	Gleditsia triacanthos f. inermis 'Skycole'	Skyline Honey Locust	III	3.5' Cal.	175	875
6	Platanus occidentalis	American sycamore	IV	3.5' Cal.	250	1500
UNDERSTORY TREES (MINOR DECIDUOUS SHADE TREES)						
8	Carpinus caroliniana	American Hornbeam	I	3.5' Cal.	75	600
22	Magnolia virginiana	Sweet Bay Magnolia	II	10' Ht.	125	2750
EVERGREEN TREES						
21	Ilex opaca	American Holly	II	8.0' Ht.	125	2625
7	Juniperus virginiana	Eastern Red Cedar	II	8.0' Ht.	125	875
STREET TREE						
QUANTITY	BOTANICAL NAME	COMMON NAME	CATEGORY	SIZE	10 YEAR CANOPY	TOTAL 10 YEAR S.F.
CANOPY TREES (MAJOR DECIDUOUS SHADE TREES)						
30	Acer rubrum 'PNI 0208'	October Glory Red Maple	IV	3.5' Cal.	250	7500
5	Gleditsia triacanthos f. inermis 'Skycole'	Skyline Honey Locust	III	3.5' Cal.	175	875
6	Zelkova serrata 'Village Green'	Village Green Japanese zelkova	IV	3.5' Cal.	250	1500
UNDERSTORY TREES (MINOR DECIDUOUS SHADE TREES)						
5	Cercis canadensis	Eastern Redbud	II	10' Ht.	125	625
PARKING LOT						
QUANTITY	BOTANICAL NAME	COMMON NAME	CATEGORY	SIZE	10 YEAR CANOPY	TOTAL 10 YEAR S.F.
CANOPY TREES (MAJOR DECIDUOUS SHADE TREES)						
5	Zelkova serrata 'Village Green'	Village Green Japanese zelkova	IV	3.5' Cal.	250	1250
OPEN SPACE PARK PLANTING						
QUANTITY	BOTANICAL NAME	COMMON NAME	CATEGORY	SIZE	10 YEAR CANOPY	TOTAL 10 YEAR S.F.
CANOPY TREES (MAJOR DECIDUOUS SHADE TREES)						
24	Prunus x yedoensis	Yoshino Cherry	III	3.5' Cal.	175	4200
5	Cornus florida	Flowering Dogwood	III	10' Ht.	125	625
LANDSCAPE BUFFER BETWEEN MULTI-FAMILY STACKED CONDO DWELLING AND PROPOSED COMMERCIAL BUILDING						
QUANTITY	BOTANICAL NAME	COMMON NAME	CATEGORY	SIZE	10 YEAR CANOPY	TOTAL 10 YEAR S.F.
CANOPY TREES (MAJOR DECIDUOUS SHADE TREES)						
3	Acer rubrum 'PNI 0208'	October Glory Red Maple	IV	3.5' Cal.	250	750
4	Liquidambar styraciflua 'Rotundiloba'	Rotundiloba Sweetgum	IV	3.5' Cal.	125	500
5	Platanus occidentalis	American sycamore	IV	3.5' Cal.	250	1250
2	Quercus rubra	Red Oak	IV	3.5' Cal.	250	500
UNDERSTORY TREES (MINOR DECIDUOUS SHADE TREES)						
6	Cercis canadensis	Eastern Redbud	II	10' Ht.	125	750
EVERGREEN TREES						
4	Ilex opaca	American Holly	II	8.0' Ht.	125	500
3	Pinus strobus	Eastern White Pine	IV	8.0' Ht.	125	375
EXISTING TREES						
QUANTITY	BOTANICAL NAME	COMMON NAME	CATEGORY	SIZE	10 YEAR CANOPY	TOTAL 10 YEAR S.F.
11					645	7095
TOTAL PROPOSED TREE CANOPY						39995 (19.4%)



21515 RIDGETOP CIRCLE, SUITE 310
STERLING, VIRGINIA 20166
703-437-7907 • www.lpda.net

In association with:

13861 SUNRISE VALLEY DRIVE, SUITE 200
PERRIN, FLORIDA 32181
732-253-0889
ATCS (703) 703-7133
HERNDON, VA 20151
BLACKSBURG, VA 24050
RALEIGH, NC 27601
WWW.ATCSFL.COM



Project Owner

PULTE

Project Title

RT.50 BREEZEWAY MASTER DEVELOPMENT PLAN



No.	Revision	Date
1.		
2.		
3.		

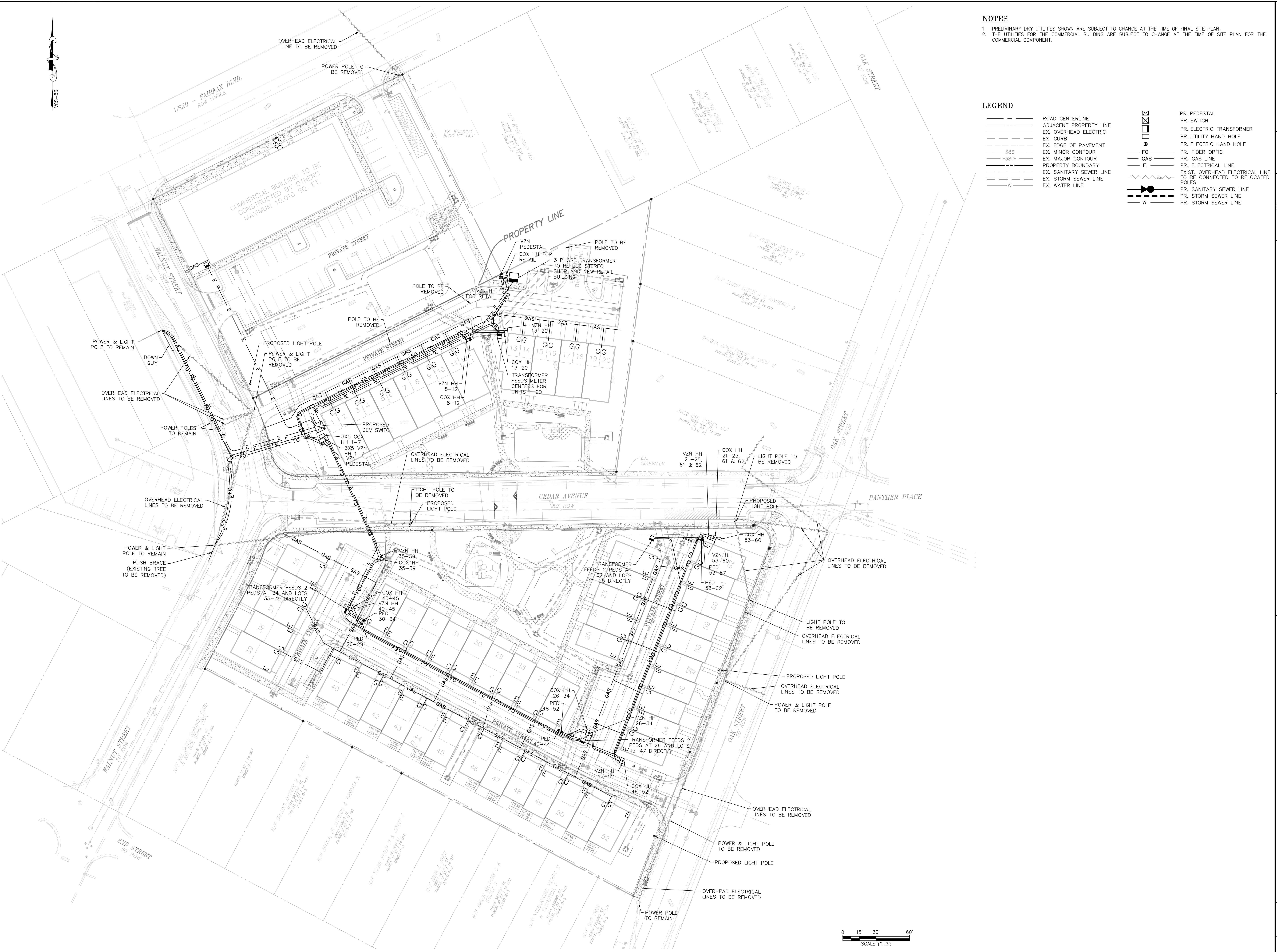
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Scale: 1" = 30'-0"
Date: 07.22.2021
Issued for:

Drawing Title

LANDSCAPE PLAN

Drawing Number

FILE PATH: S:\Projects\001271_Breezezy\001271_01\Design\Civil\Design\1271-REZONING MASTER DEVELOPMENT PLAN\01271 - Breezezy - 9 - Dry Utility.dwg PLOT DATE: 7/22/2021 3:42:14 PM BY: CHRIS NEIFERT



NOTES
 1. PRELIMINARY DRY UTILITIES SHOWN ARE SUBJECT TO CHANGE AT THE TIME OF FINAL SITE PLAN.
 2. THE UTILITIES FOR THE COMMERCIAL BUILDING ARE SUBJECT TO CHANGE AT THE TIME OF SITE PLAN FOR THE COMMERCIAL COMPONENT.

LEGEND

---	ROAD CENTERLINE	☒	PR. PEDESTAL
- - - -	ADJACENT PROPERTY LINE	☐	PR. SWITCH
---	EX. OVERHEAD ELECTRIC	☐	PR. ELECTRIC TRANSFORMER
---	EX. CURB	☐	PR. UTILITY HAND HOLE
---	EX. EDGE OF PAVEMENT	○	PR. ELECTRIC HAND HOLE
---	EX. MINOR CONTOUR	—	PR. FIBER OPTIC
---	EX. MAJOR CONTOUR	—	PR. GAS LINE
---	PROPERTY BOUNDARY	—	PR. ELECTRICAL LINE
---	EX. SANITARY SEWER LINE	—	EXIST. OVERHEAD ELECTRICAL LINE TO BE CONNECTED TO RELOCATED POLES
---	EX. STORM SEWER LINE	—	PR. SANITARY SEWER LINE
---	EX. WATER LINE	—	PR. STORM SEWER LINE

SUBMISSION		REVISION	
NO.	DATE	NO.	DESCRIPTION
1	6/6/2019	1	6/6/2019 ADDRESS CITY COMMENTS
2	4/7/2019	2	9/18/2019 ADDRESS CITY COMMENTS
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5	10/30/2020	5	7/14/2021
6	7/14/2021	6	

CLIENT
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 9302 LEE HIGHWAY, SUITE 1000
 FAIRFAX, VA 22031

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 (703) 430-7500 FAX (703) 430-0899
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ATCS
 DRY UTILITY PLAN
RT. 50 BREEZEZY
 MASTER DEVELOPMENT PLAN
 LOCATION
 FAIRFAX CITY, VIRGINIA

AUTHOR: ZME
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