



# City of Fairfax

## 9640 FAIRFAX BOULEVARD

# SPECIAL USE PERMIT / SPECIAL EXCEPTION PLAT

### CITY OF FAIRFAX, VIRGINIA

#### NOTES

- OWNER:  
JAYKIRTI INC.  
9640 FAIRFAX BOULEVARD  
FAIRFAX, VA 22031  
  
APPLICANT:  
THE LAMB CENTER  
3160 CAMPBELL DRIVE  
FAIRFAX, VA 22031  
  
WESLEY HOUSING  
5515 CHEROKEE AVENUE  
SUITE 200  
ALEXANDRIA, VA 22312
- THE PROPERTY SHOWN HEREON IS DESIGNATED BY THE CITY OF FAIRFAX, VIRGINIA, AS PARCEL IDENTIFICATION NUMBER 48-3-09-020 AND IS ZONED CR, COMMERCIAL RETAIL.
- THE APPLICANT PROPOSES TO DEVELOP THE PROPERTY WITH UPPER STORY RESIDENTIAL/MIXED USE BUILDING, WHICH REQUIRES THE BELOW SPECIAL EXCEPTIONS.
- THIS PLAT AND THE SURVEY UPON WHICH IT IS BASED SHOWS ONLY THOSE IMPROVEMENTS THAT ARE OBSERVABLE AND CAN BE LOCATED USING NORMAL SURVEY METHODS. OBSERVED EVIDENCE OF UTILITIES HAS BEEN SHOWN PURSUANT TO SECTION 5 PARAGRAPH E (iv) OF THE ALTA/NSPS MINIMUM STANDARD DETAIL REQUIREMENTS. THERE ARE NO GUARANTEES, EITHER EXPRESS OR IMPLIED, THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED, OR THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THE UNDERGROUND UTILITIES HAVE NOT BEEN PHYSICALLY LOCATED.
- TOTAL AREA OF THE PROPERTY IS 17,839 SQUARE FEET OR 0.4095 ACRES.
- THIS PLAT IS BASED ON A CURRENT FIELD SURVEY BY THIS FIRM.
- THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP FOR THE CITY OF FAIRFAX, VIRGINIA, MAP NUMBER 5155240003D, EFFECTIVE DATE JUNE 2, 2006, DESIGNATES THE PROPERTY AS BEING IN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
- THIS PLAN IS BASED ON A CURRENT FIELD SURVEY PREPARED BY THIS FIRM.
- THE PROPERTY IS SERVED BY PUBLIC SEWER AND WATER.
- THE PROPOSED DEVELOPMENT WILL COMPLY WITH ADU REGULATIONS IN ZONING ORDINANCE SECTION 3.9.3.D.

#### SPECIAL USE PERMIT REQUESTED

- SPECIAL USE PERMIT IS REQUESTED FOR UPPER STORY RESIDENTIAL/MIXED USE.

#### SPECIAL EXCEPTION REQUESTED

- SPECIAL EXCEPTION FOR PARKING REDUCTION IS REQUESTED.
- SPECIAL EXCEPTION FROM MEETING THE LANDSCAPE STRIP AND STREET TREE REQUIREMENT ALONG FAIRFAX BOULEVARD IS REQUESTED. [ZONING ORDINANCE SECTION 4.5.6.B.1]
- SPECIAL EXCEPTION OF THE DENSITY LIMITATIONS IS REQUESTED. [ZONING ORDINANCE SECTION 3.6.2]
- SPECIAL EXCEPTION OF THE FRONT YARD EXTENSION OF THE COURTYARD. [ZONING ORDINANCE SECTION 1.5.12.E]

#### IMPERVIOUS AREA CALCULATIONS

| PRE DEVELOPMENT |            | POST DEVELOPMENT |            |
|-----------------|------------|------------------|------------|
| IMPERVIOUS AREA | ±16,211 SF | IMPERVIOUS AREA  | ±14,367 SF |
| PERVIOUS AREA   | ±1,628 SF  | PERVIOUS AREA    | ±3,472 SF  |
| TOTAL SITE AREA | ±17,839 SF | TOTAL SITE AREA  | ±17,839 SF |

#### LOT COVERAGE CALCULATION

|                       |                  |
|-----------------------|------------------|
| BUILDING AREA:        | 10,700 SF        |
| PARKING/DRIVE AISLES: | 800 SF           |
| SIDEWALKS:            | 1,160 SF         |
| TOTAL:                | 12,660 SF OR 71% |

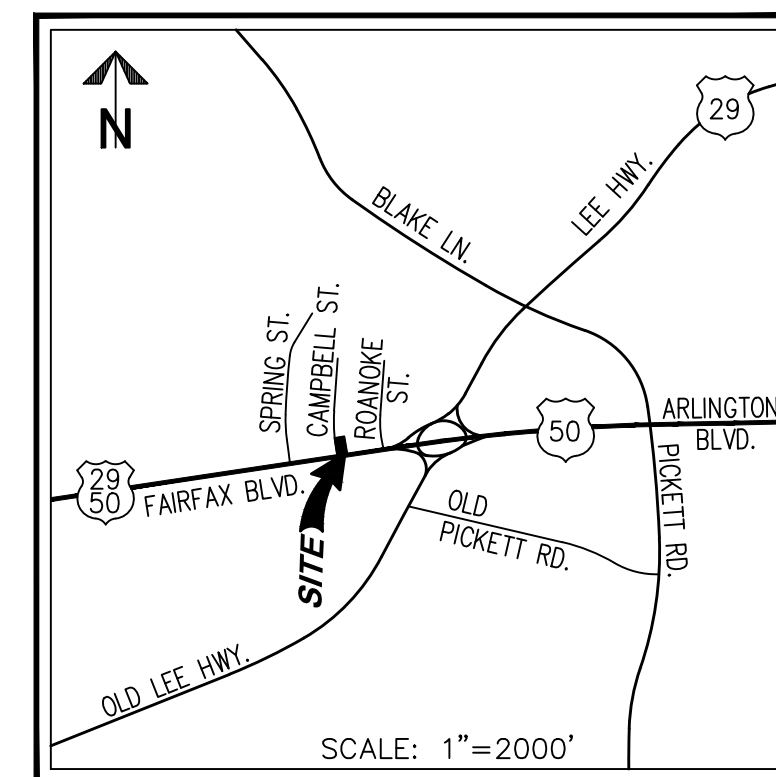
#### LOADING REQUIREMENTS

USE: UPPER STORY RESIDENTIAL/MIXED USES  
RATE: 1 SPACE FOR 50 OR MORE UNITS  
REQUIRED: 1 SPACE  
PROVIDED: 1 SPACE

#### BICYCLE PARKING REQUIREMENTS

RATE: 2 SPACES REQUIRED FOR 1-40 PARKING SPACES  
REQUIRED: 2 SPACE  
PROVIDED: 2 SPACE

#### VICINITY MAP



#### STORMWATER MANAGEMENT AND BEST MANAGEMENT PRACTICES NARRATIVES

- THE EXISTING SITE PREVIOUSLY SERVED AS A MOTEL. THE EXISTING SITE HAS NO STORMWATER MANAGEMENT OR WATER QUALITY FACILITIES. THE PROPOSED REDEVELOPMENT PROJECT WILL REMOVE ALL EXISTING ON-SITE IMPROVEMENTS AND CONSTRUCT A MULTIFAMILY BUILDING WITH GROUND LEVEL PARKING WITHIN THE STRUCTURE AS WELL AS GROUND FLOOR COMMERCIAL SPACE ALONG FAIRFAX BOULEVARD. THIS WILL RESULT IN LITTLE CHANGE IN OVERALL IMPERVIOUS AREA. THE STORMWATER MANAGEMENT NECESSARY TO PREVENT AN INCREASE IN PEAK RUNOFF RATES FOR THE 2 AND 10-YEAR STORMS WILL BE ACCOMPLISHED WITH UNDERGROUND DETENTION FACILITIES TO BE LOCATED IN FRONT OF THE BUILDING NEAR THE CORNER OF CAMPBELL DRIVE AND FAIRFAX BOULEVARD. FINAL DESIGN TO BE DETERMINED AT TIME OF SITE PLAN.
- BMP WILL BE PROVIDED IN ACCORDANCE WITH THE VIRGINIA RUNOFF REDUCTION METHOD THROUGH THE USE OF UNDERGROUND STRUCTURAL BMP FACILITIES TO BE DESIGNED AT TIME OF SITE PLAN.
- THIS STORMWATER MANAGEMENT ANALYSIS IS PRELIMINARY AND SUBJECT TO CHANGE WITH FINAL ENGINEERING AT TIME OF SITE PLAN.

#### OUTFALL ANALYSIS NARRATIVE

- THE EXISTING SITE DRAINS TO EXISTING INLETS IN CAMPBELL DRIVE. THE RECEIVING STORM SEWER SYSTEM FLOWS WEST IN FAIRFAX BOULEVARD TO SPRING STREET. THE SYSTEM THEN FLOWS SOUTH BEFORE ULTIMATELY DISCHARGING INTO ACCOTINK CREEK.
- AFTER THE PROPOSED REDEVELOPMENT SITE RUNOFF WILL CONTINUE TO DRAIN IN THE SAME DIRECTION. RUNOFF WILL CONTINUE TO BE DISCHARGED INTO THE SAME INLETS AND STORM SEWER SYSTEM. RUNOFF FROM THE PROPOSED BUILDING ROOF AS WELL AS SOME OF THE SITE SURFACE AREA WILL BE DIRECTED TO PROPOSED STORMWATER MANAGEMENT FACILITIES IN FRONT OF THE BUILDING NEAR THE CORNER OF CAMPBELL DRIVE AND FAIRFAX BOULEVARD. STORMWATER RELEASED FROM THIS DETENTION FACILITY WILL BE PIPED TO AN EXISTING STORM SEWER THAT CONVEYS RUNOFF TO THE EXISTING STORM SEWER SYSTEM DESCRIBED ABOVE. THIS SYSTEM WILL REDUCE SITE PEAK RUNOFF RATES FOR THE 2 AND 10-YEAR STORMS TO BELOW PRE-DEVELOPMENT LEVELS AND WILL OTHERWISE BE DESIGNED TO COMPLY WITH APPLICABLE PROVISIONS OF THE CITY'S STORMWATER MANAGEMENT ORDINANCE.
- BASED ON A PRELIMINARY REVIEW OF THE OUTFALL PATH DESCRIBED ABOVE, IT IS THE EXPECTATION OF THE SUBMITTING ENGINEER THAT THE OUTFALL WILL DETERMINED TO BE ADEQUATE. FINAL DETERMINATION OF ADEQUACY AND FINAL STORMWATER MANAGEMENT DESIGN WILL BE PROVIDED AT TIME OF SITE PLAN.

#### ZONING TABULATION

|                                      | CR REQUIRED     | PROVIDED            |
|--------------------------------------|-----------------|---------------------|
| EXISTING ZONE: CR, COMMERCIAL RETAIL |                 |                     |
| SITE AREA: ±17,839 SF OR ±0.410 AC   |                 |                     |
| MAXIMUM DENSITY                      | 24 DU/AC (ADU)  | 131.7 DU/AC         |
| MINIMUM LOT AREA                     | 20,000 SF       | 17,839 SF *         |
| MINIMUM LOT WIDTH                    | NONE            | ±93 FT              |
| MAXIMUM BUILDING HEIGHT              | 60 FT/5 STORIES | MAX 60 FT/5 STORIES |
| MAXIMUM BUILDING COVERAGE            | 60%             | ±60%                |
| MAXIMUM LOT COVERAGE                 | 85%             | ±71%                |
| MINIMUM YARD REQUIREMENTS            |                 |                     |
| FRONT                                | 20 FT           | ±20 FT              |
| SIDE (STREET)                        | 20 FT           | ±20 FT              |
| SIDE                                 | 0 FT            | ±0 FT               |
| REAR                                 | 0 FT            | ±0 FT               |

\* SITE AREA IS PRIOR TO ±1,985 SF OF RIGHT-OF-WAY DEDICATION

#### PARKING REQUIREMENTS

USE: UPPER STORY RESIDENTIAL/MIXED USES  
RATE: 1.25 SP/EFFICIENCY UNIT  
(41 UNITS X 1.25 = 51.25)  
RATE: 1.5 SP/1 BEDROOM UNIT  
(10 UNITS X 1.5 = 15)  
RATE: 2.0 SP/2 BEDROOM UNIT  
(3 UNITS X 2.0 = 6)  
REQUIRES: 72.25 PARKING SPACES  
USE: OFFICE  
RATE: 1 SP/300 SF OF GFA  
(±1,400 / 300 = 4.67)  
REQUIRES: 4.67 PARKING SPACES  
TOTAL PARKING REQUIRED = 77 SPACES

PROVIDED: 18 PARKING SPACES \*  
\* A PARKING REDUCTION IS REQUESTED WITH THIS APPLICATION

NOTE: THE FOLLOWING STANDARDS ARE REQUIRED FOR UPPER STORY RESIDENTIAL/MIXED USES PER ZONING ORDINANCE 3.5.1.D:

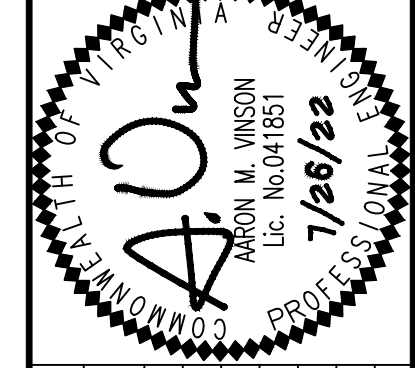
- UPPER STORY RESIDENTIAL UNITS ARE ALLOWED ABOVE THE GROUND FLOOR OF AN UPPER STORY RESIDENTIAL/MIXED USE BUILDING AS SET FORTH IN PRINCIPAL USE TABLE.
- AT LEAST 75% OF THE GROUND FLOOR (FLOOR AREA) OF UPPER STORY RESIDENTIAL/MIXED USE BUILDING SHALL BE USED SOLELY FOR NONRESIDENTIAL USES. THE REMAINING 25% OF THE FIRST FLOOR MAY BE USED FOR RESIDENTIAL USES AND/OR RESIDENTIAL ACCESSORY USES, SUCH AS ENTRY LOBBIES AND AMENITIES.
- LOBBY AND SIMILAR AREAS ON THE FIRST FLOOR, WHICH SERVE UPPER STORY RESIDENTIAL USES, SHALL BE CONSIDERED RESIDENTIAL ACCESSORY USES.
- UPPER STORY RESIDENTIAL/MIXED USE BUILDINGS SHALL ADHERE TO ALL DIMENSIONAL STANDARDS OF THE NONRESIDENTIAL USE SPECIFIED IN 3.6.2.
- THE GROUND FLOOR SHALL HAVE AT LEAST 12 FEET OF CLEAR INTERIOR HEIGHT (FLOOR TO CEILING) CONTIGUOUS TO THE REQUIRED BUILDING LINE FRONTAGE, IF ANY, FOR A MINIMUM DEPTH OF AT LEAST 25 FEET.
- AT LEAST 80% OF EACH UPPER STORY SHALL HAVE AN INTERIOR CLEAR HEIGHT (FLOOR TO CEILING) OF AT LEAST 9 FEET.

#### SHEET INDEX

|        |   |
|--------|---|
| P-0101 | COVER SHEET                                 |
| P-0201 | EXISTING CONDITIONS PLAN                    |
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| P-0401 | CONCEPTUAL LANDSCAPE PLAN AND TABULATIONS   |
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| P-0601 | TRUCK MOVEMENT EXHIBIT                      |
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| P-0603 | ARCHITECTURAL ELEVATIONS                    |
| P-0604 | SIGHT DISTANCE PLAN AND PROFILE             |

**WALTER L. PHILLIPS**  
INCORPORATED  
ESTABLISHED 1945  
DATE: 5/26/22; REV: 7/26/22

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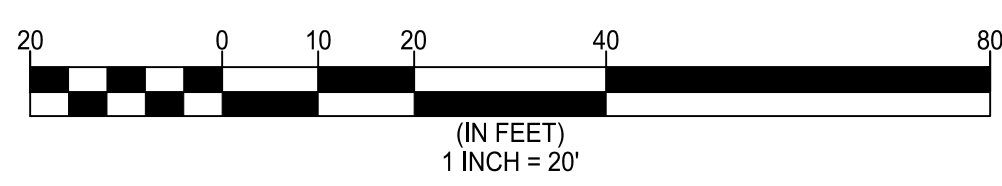
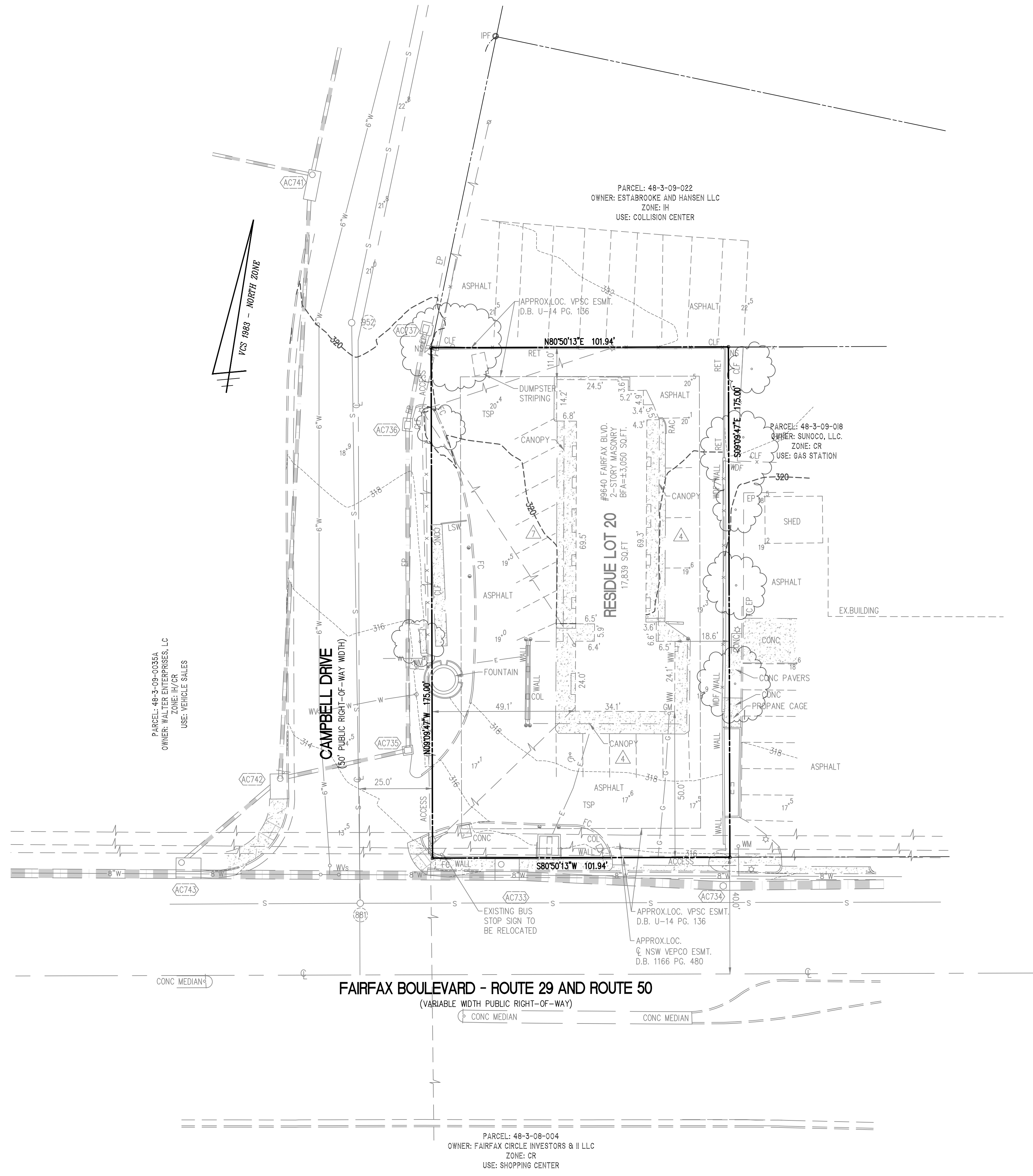


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**COVER SHEET**  
SPECIAL USE PERMIT / SPECIAL EXCEPTION PLAT  
**9640 FAIRFAX BOULEVARD**  
CITY OF FAIRFAX, VIRGINIA

**LEGEND**

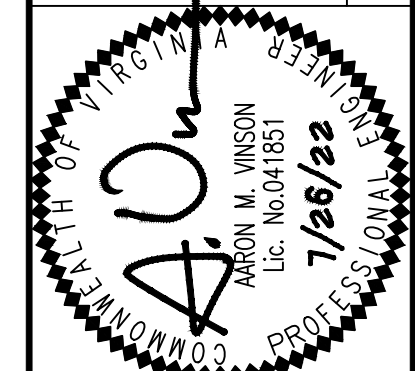
- APPROX.LOC..... APPROXIMATE LOCATION
- BFA..... BUILDING FOOTPRINT AREA
- BN..... BRICK BENCH
- BRL..... BUILDING RESTRICTION LINE
- CH..... CHIMNEY
- CLF..... CHAINLINK FENCE
- COL..... COLUMN
- CONC..... CONCRETE
- CSW..... CONCRETE SIDEWALK
- DB..... DEED BOOK
- EM..... ELECTRIC METER
- EP..... EDGE OF PAVEMENT
- ESMT..... EASEMENT
- FC..... HEADER CURB
- GM..... GAS METER
- IPF..... IRON PIN FOUND (PROPERTY CORNER)
- N/F..... NOW OR FORMERLY
- NS..... NAIL SET (PROPERTY CORNER)
- NSW..... NON SPECIFIC WIDTH
- P..... PLANTER
- PG..... PAGE
- RAC..... ROLLED ASPHALT CURB
- SD..... STORM SEWER STRUCTURE
- SMH..... SANITARY SEWER STRUCTURE
- SN..... SIGN
- SO.FT..... SQUARE FEET
- TSP..... TEST PIT
- WDF..... WOODEN FENCE
- WM..... WATER METER
- WV..... WATER VALVE
- WW..... WINDOW WELL
- ..... FIRE HYDRANT
- △..... DOORWAY/ENTRANCE
- ..... UTILITY POLE
- ☆..... LIGHT POLE
- X—..... FENCE
- E—..... OVERHEAD WIRES
- E—..... UNDERGROUND ELECTRIC LINE
- G—..... UNDERGROUND GAS LINE
- W—..... UNDERGROUND WATER LINE
- C—..... CURB AND GUTTER
- ..... BOLLARD
- ..... SIGN
- ..... RESERVED FOR DISABLED



**EXISTING CONDITIONS PLAN**

**SPECIAL USE PERMIT / SPECIAL EXCEPTION PLAT**  
**9640 FAIRFAX BOULEVARD**  
 CITY OF FAIRFAX, VIRGINIA

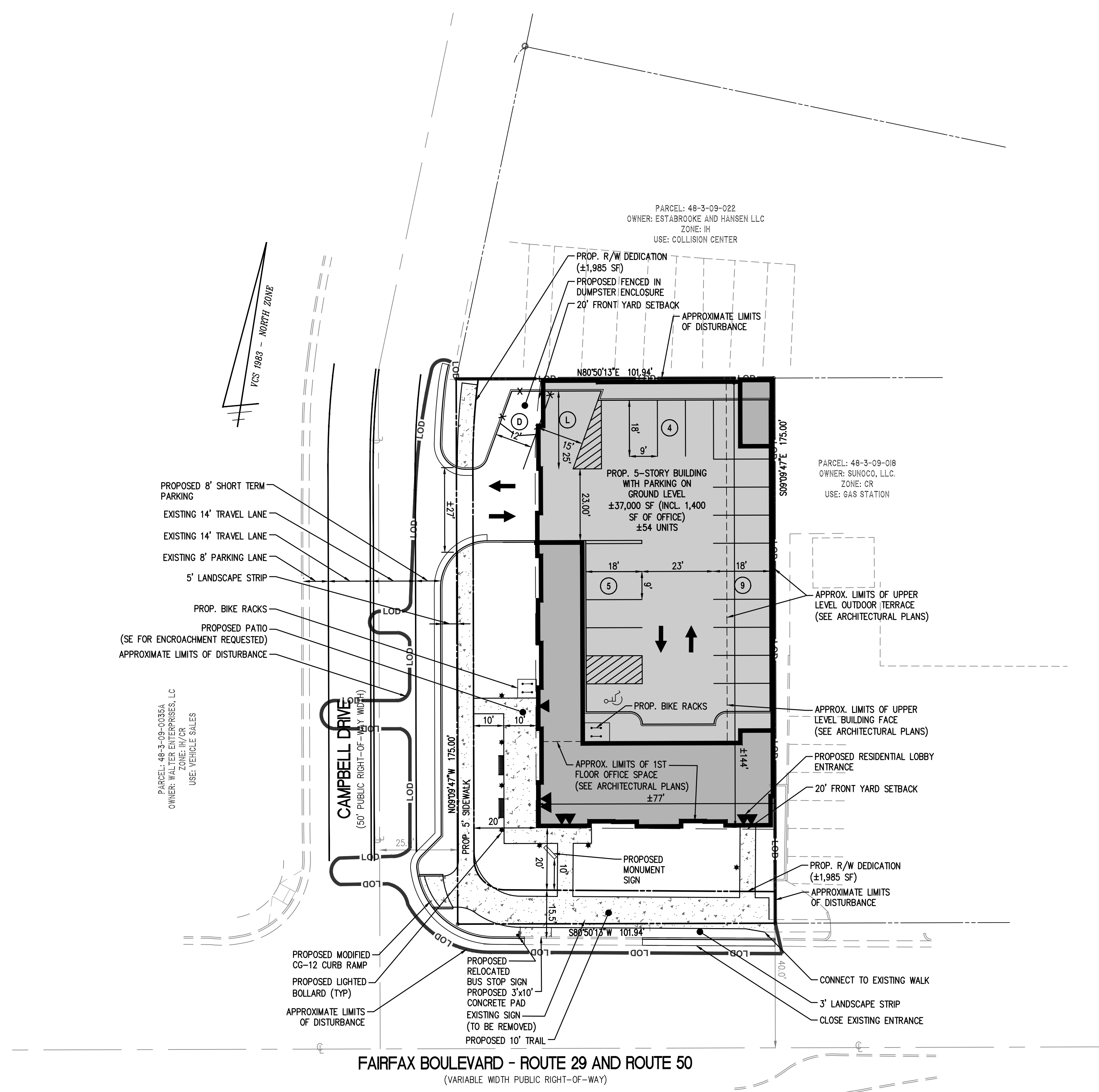
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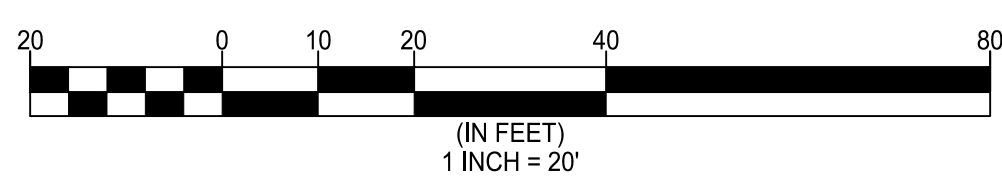
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| PROPOSED | DESCRIPTION                      | EXISTING |
|----------|----------------------------------|----------|
|          | CURB & GUTTER<br>CG-2            |          |
|          | TRANSITION FROM CG-6<br>TO CG-6R |          |
|          | SANITARY SEWER                   |          |
|          | SANITARY LATERAL                 |          |
|          | CLEAN OUT                        |          |
|          | STORM SEWER                      |          |
|          | WATER MAIN                       |          |
|          | FIRE HYDRANT<br>PLUG             |          |
|          | OVERHEAD WIRES                   |          |
|          | UTILITY POLE                     |          |
|          | UNDERGROUND<br>ELECTRIC          |          |
|          | TELEPHONE                        |          |
|          | GAS MAIN                         |          |
|          | ELECTRICAL                       |          |
|          | TRANSFORMER                      |          |
|          | HANDICAP<br>RAMP (CG-12)         |          |
|          | GUARDRAIL                        |          |
|          | FENCE                            |          |
|          | TRAFFIC FLOW                     |          |
|          | LIGHT                            |          |
|          | DOOR                             |          |
|          | TREES                            |          |
|          | CONTOURS                         |          |
|          | SPOT ELEVATION                   |          |
|          | DRAINAGE FLOW DIRECTION          |          |
|          | TOP OF CURB                      |          |
|          | BOTTOM OF CURB                   |          |
|          | TOP OF WALL                      |          |
|          | BOTTOM OF WALL                   |          |
|          | HIGH POINT                       |          |
|          | TEST PIT                         |          |
|          | LIMITS OF DISTURBANCE            |          |
|          | DUMPSTER ENCLOSURE               |          |
|          | LOADING SPACE                    |          |
|          | PARKING SPACES                   |          |



FAIRFAX BOULEVARD - ROUTE 29 AND ROUTE 50  
(VARIABLE WIDTH PUBLIC RIGHT-OF-WAY)



**SPECIAL USE PERMIT - SPECIAL EXCEPTION PLAT**

**SPECIAL USE PERMIT / SPECIAL EXCEPTION PLAT**

**9640 FAIRFAX BOULEVARD**

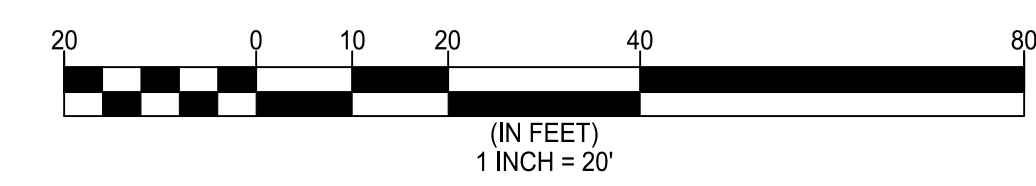
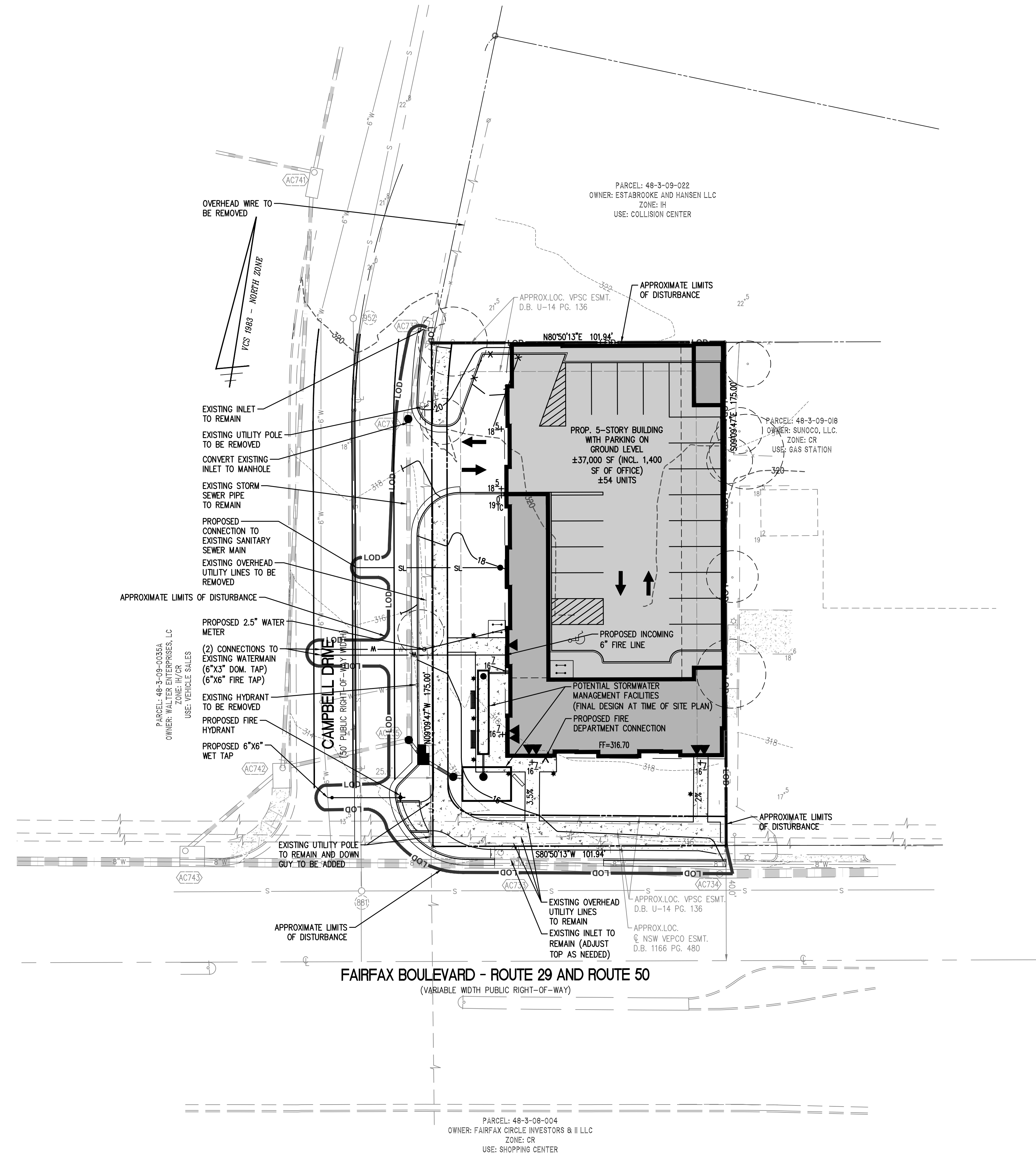
**CITY OF FAIRFAX, VIRGINIA**

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DATE: 5/22/22, REV: 7/26/22  
SCALE: 1" = 20'

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|                      |             |      |          |

| PROPOSED | DESCRIPTION                      | EXISTING |
|----------|----------------------------------|----------|
|          | CURB & GUTTER<br>CG-2            |          |
|          | TRANSITION FROM CG-6<br>TO CG-6R |          |
|          | SANITARY SEWER<br>CG-6R<br>CG-6  |          |
|          | SANITARY LATERAL<br>SL           |          |
|          | CLEAN OUT<br>C.O.                |          |
|          | STORM SEWER                      |          |
|          | WATER MAIN<br>W                  |          |
|          | FIRE HYDRANT<br>F                |          |
|          | OVERHEAD WIRES<br>PLUG           |          |
|          | UTILITY POLE                     |          |
|          | UNDERGROUND<br>ELECTRIC<br>UE    |          |
|          | TELEPHONE<br>T                   |          |
|          | GAS MAIN<br>G                    |          |
|          | ELECTRICAL<br>E                  |          |
|          | TRANSFORMER                      |          |
|          | HANDICAP<br>RAMP (CG-12)         |          |
|          | GUARDRAIL                        |          |
|          | FENCE                            |          |
|          | TRAFFIC FLOW                     |          |
|          | LIGHT                            |          |
|          | DOOR                             |          |
|          | TREES                            |          |
|          | CONTOURS<br>260<br>264           |          |
|          | SPOT ELEVATION<br>+264.50        |          |
|          | DRAINAGE FLOW DIRECTION          |          |
|          | TOP OF CURB<br>TC                |          |
|          | BOTTOM OF CURB<br>BC             |          |
|          | TOP OF WALL<br>TW                |          |
|          | BOTTOM OF WALL<br>BW             |          |
|          | HIGH POINT<br>HP                 |          |
|          | TEST PIT<br>TP                   |          |
|          | LIMITS OF DISTURBANCE<br>LOD     |          |



**PRELIMINARY UTILITY AND GRADING PLAN**  
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 CHECKED: AV

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| NO.                  | DESCRIPTION | DATE | APPROVED |
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**PRELIMINARY PLANT SCHEDULE**

NOTE: THE PLANT SPECIES ARE PRELIMINARY RECOMMENDATIONS ONLY. SELECTIONS ARE SUBJECT TO CHANGE AT THE TIME OF SITE PLAN. PROPOSED LANDSCAPING WILL INCLUDE NATIVE SPECIES CONSISTENT WITH THE CITY OF FAIRFAX'S GUIDELINES FOR LANDSCAPING.

| KEY | BOTANICAL NAME                 | COMMON NAME               | QTY | CAL. | HT.     | COMMENTS           | UNIT (SF) | TOTAL (SF) | BONUS             |
|-----|--------------------------------|---------------------------|-----|------|---------|--------------------|-----------|------------|-------------------|
| QB  | Quercus bicolor                | Swamp White Oak           | 1   | 3.5" | 12'-14" | B&B, full specimen | 250       | 250.00     | Native            |
| QW  | Quercus phellos                | Willow Oak                | 3   | 3.5" | 12'-14" | B&B, full specimen | 250       | 750.00     | Native            |
| UA  | Ulmus americana 'Valley Forge' | Valley Forge American Elm | 3   | 3.5" | 12'-14" | B&B, full specimen | 250       | 750.00     | Improved Cultivar |

**SHRUBS**

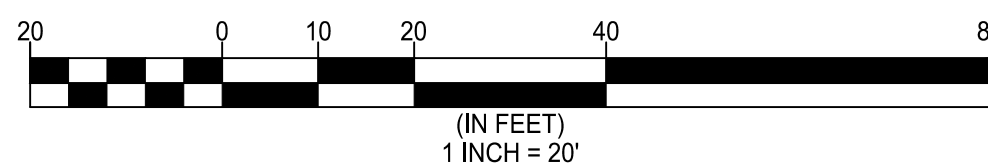
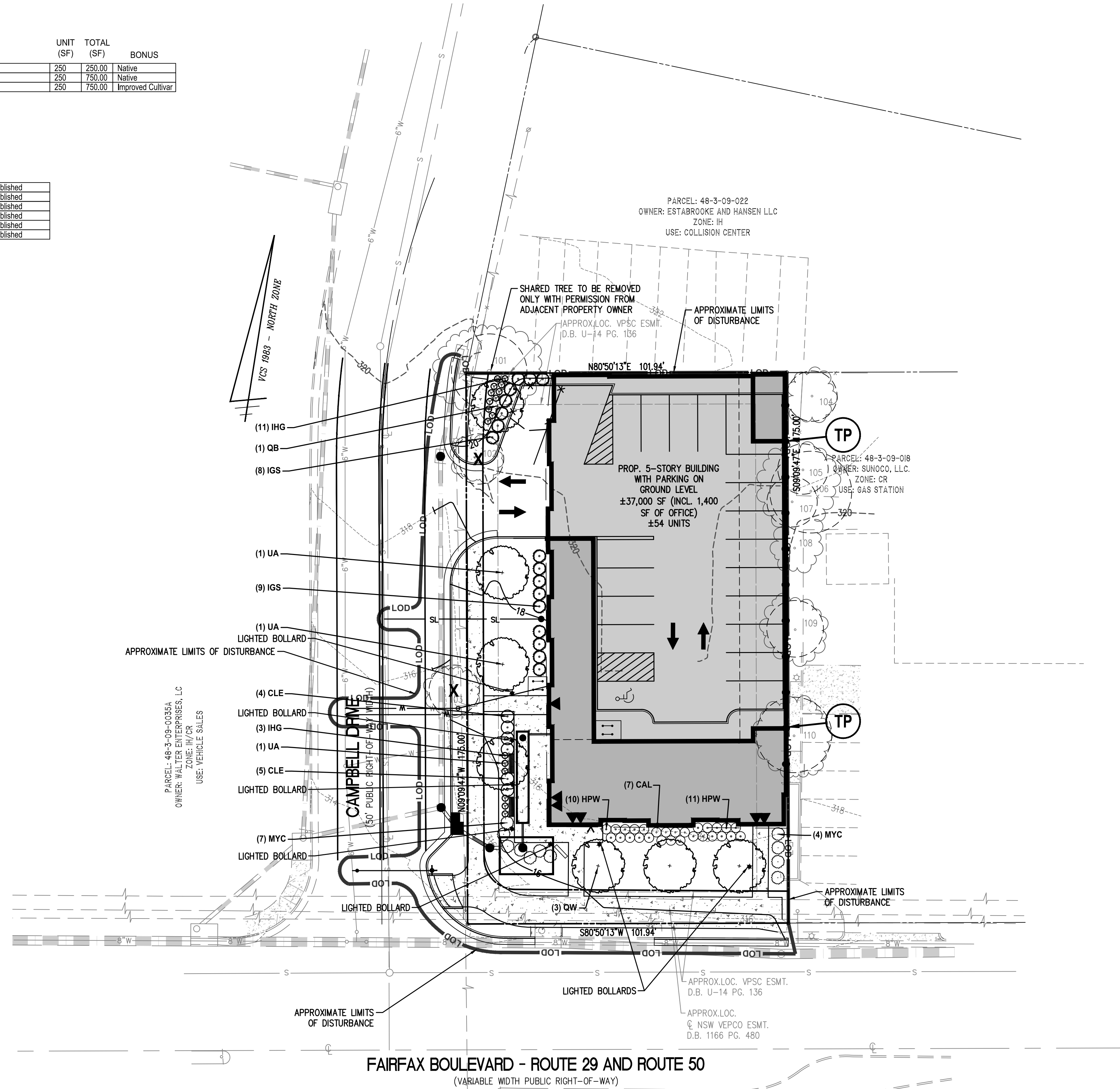
| KEY | BOTANICAL NAME                  | COMMON NAME                     | QTY | HEIGHT  | SPREAD  | COMMENTS   |
|-----|---------------------------------|---------------------------------|-----|---------|---------|--|
| CAL | Callicarpa americana            | American Beautyberry            | 7   | 18'-24" | 18'-24" | 3 gal., full vigorous, well-rooted & established |
| CLE | Clethra alnifolia 'Hummingbird' | Hummingbird Summersweet Clethra | 6   | 18'-24" | 18'-24" | 3 gal., full vigorous, well-rooted & established |
| HPW | Hydrangea quercifolia 'Pee Wee' | Pee Wee Oakleaf Hydrangea       | 21  | 18'-24" | 18'-24" | 3 gal., full vigorous, well-rooted & established |
| IGS | Ilex glabra 'Shamrock'          | Shamrock Inkberry               | 17  | 18'-24" | 18'-24" | 3 gal., full vigorous, well-rooted & established |
| IHC | Itea virginica 'Henry's Garnet' | Henry's Garnet Sweetspire       | 17  | 24'-30" | 24'-30" | 3 gal., full vigorous, well-rooted & established |
| MYC | Myrica cerifera                 | Southern Bayberry               | 11  | 36"     | 30"     | 7 gal., full vigorous, well-rooted & established |

**TREE COVER CALCULATIONS**

|  |                |
|--|----------------|
| SITE AREA  | ±17,839 SF     |
| - R.O.W. ACQUISITION DEDUCTIONS                    | ±1,986 SF      |
| TOTAL REMAINING SITE AREA                          | ±15,853 SF     |
| X % REQUIRED (ZONING - CR)                         | 10%            |
| = TREE COVER TO BE PROVIDED                        | (10%) 1,585 SF |
| TREE COVER TO BE PROVIDED BY PRESERVING TREES      | 0 SF           |
| TREE COVER NEEDED TO BE PROVIDED BY PLANTING TREES | 1,585 SF       |
| ACTUAL TREE COVER PROVIDED BY PLANTING             | 1,750 SF       |
| TOTAL TREE COVER PROVIDED                          | 1,750 SF       |

**LANDSCAPE LEGEND**

|  |                          |
|--|--------------------------|
|  | PROPOSED DECIDUOUS TREES |
|  | PROPOSED SHRUBS          |
|  | PROPOSED BENCH           |
|  | PROPOSED TABLE & CHAIRS  |
|  | PROPOSED BIKE RACK       |
|  | LIGHTED BOLLARD          |



CONCEPTUAL LANDSCAPE PLAN AND TABULATIONS

SPECIAL USE PERMIT / SPECIAL EXCEPTION PLAT

9640 FAIRFAX BOULEVARD

CITY OF FAIRFAX, VIRGINIA

WALTER L. PHILLIPS  
INCORPORATED  
DATE: 5/22/22; REV: 7/26/22  
SCALE: 1" = 20'

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Landscape Architects • Arborists  
207 PARK AVENUE  
FALLS CHURCH, VIRGINIA 22046  
(703) 532-6163 Fax (703) 533-1301  
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ESTABLISHED 1945

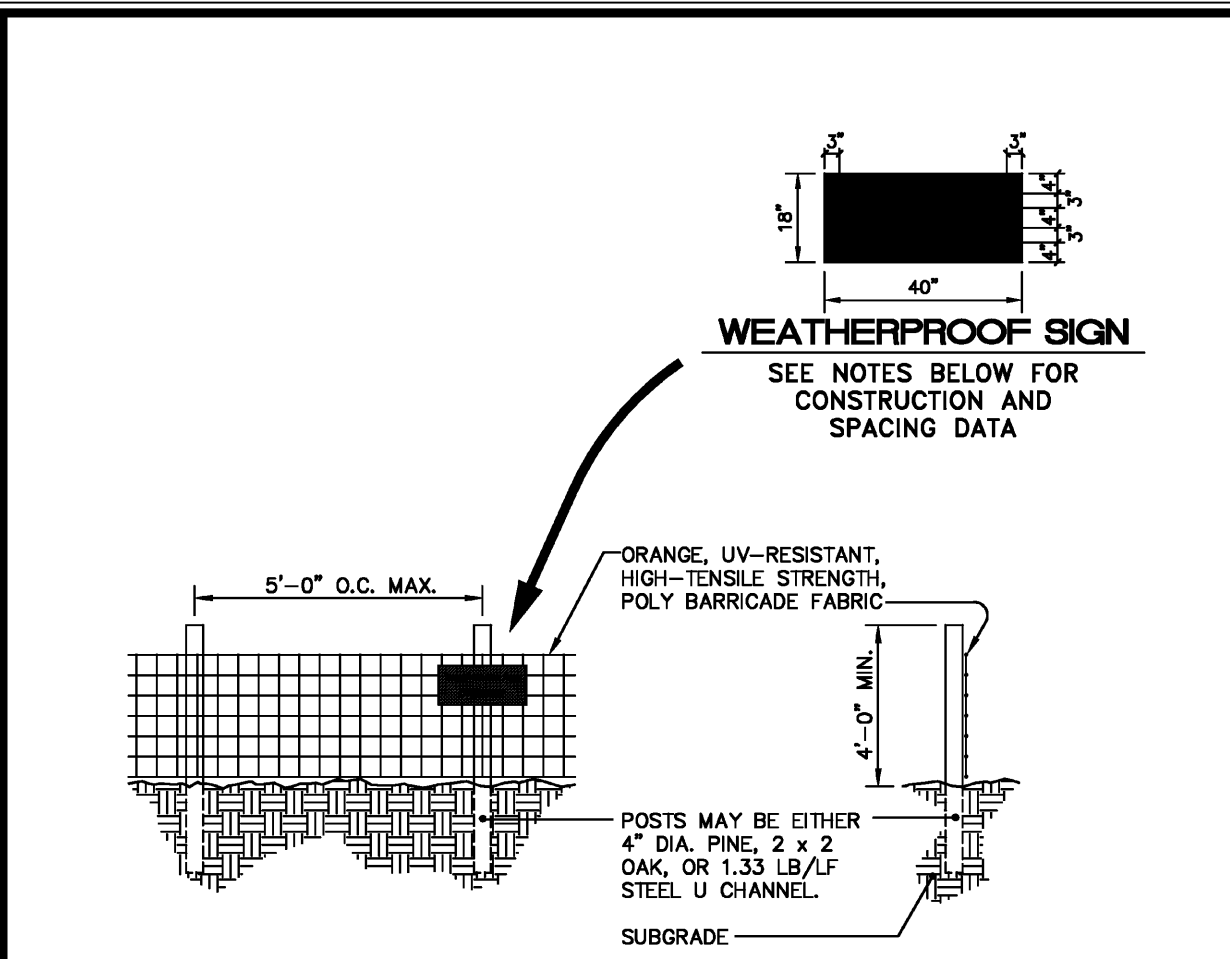
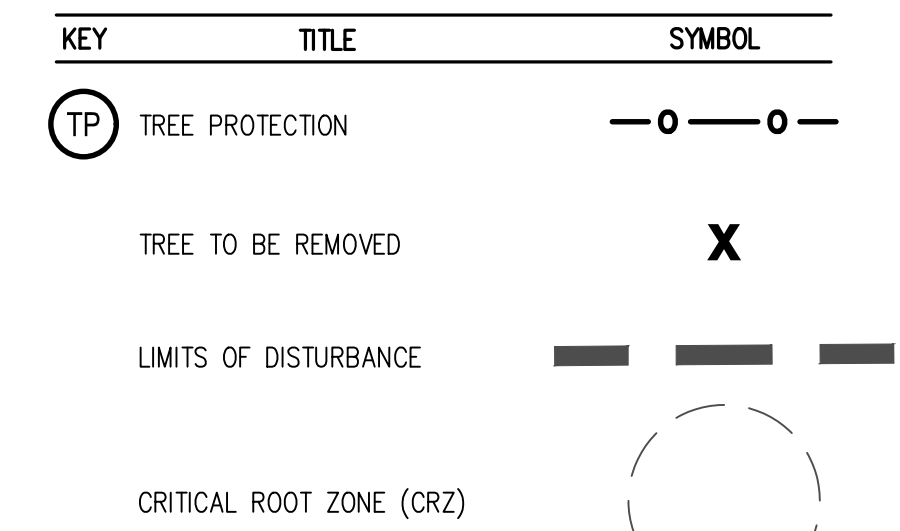
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|     |             | REV. | DATE | BY       | DATE |
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|     |             |      |      |          |      |
|     |             |      |      |          |      |



| Tree # | Botanical Name     | Common Name    | Size DBH (in) | Critical Root Zone (CRZ) Radius (ft) | Species Rating (%) | Condition (%) | Condition | CRZ/Shared/ROW | Activities |                                |                       |            |              |  | Notes |  |                            |
|--------|--------------------|----------------|---------------|--------------------------------------|--------------------|---------------|-----------|----------------|------------|--------------------------------|-----------------------|------------|--------------|--|-------|--|----------------------------|
|        |                    |                |               |                                      |                    |               |           |                | Removal    | Hand Removal/Selective Removal | Tree Protection Fence | Root Prune | Root Padding |  |       |  |                            |
| 101    | Monus alba         | White mulberry | 12"           | 12'                                  | 30%                | 50%           | FAIR      | O              | *          |                                |                       |            |              |  |       |  | *PERMISSION REQ. TO REMOVE |
| 102    | Malus spp.         | Crabapple      | 6"            | 8'                                   | 63%                | 63%           | GOOD      | X              |            |                                |                       |            |              |  |       |  |                            |
| 103    | Pyrus calleryana   | Callery pear   | 8"            | 8'                                   | 20%                | 44%           | FAIR      | R              | X          |                                |                       |            |              |  |       |  |                            |
| 104    | Pyrus calleryana   | Callery pear   | 6"            | 8'                                   | 20%                | 56%           | FAIR      | O              |            |                                | X                     |            |              |  |       |  |                            |
| 105    | Monus alba         | White mulberry | 6"            | 8'                                   | 30%                | 44%           | FAIR      | O              |            |                                | X                     |            |              |  |       |  |                            |
| 106    | Quercus virginiana | Live oak       | 13"           | 13'                                  | 75%                | 63%           | GOOD      | O              |            |                                | X                     |            |              |  |       |  |                            |
| 107    | Quercus palustris  | Pin oak        | 7"            | 8'                                   | 70%                | 59%           | FAIR      | O              |            |                                | X                     |            |              |  |       |  |                            |
| 108    | Dead               | Dead           | 13"           | 0'                                   | 0%                 | 0%            | DEAD      | O              |            |                                | X                     |            |              |  |       |  |                            |
| 109    | Pyrus calleryana   | Callery pear   | 8"            | 9'                                   | 20%                | 66%           | GOOD      | O              |            |                                | X                     |            |              |  |       |  |                            |
| 110    | Pyrus calleryana   | Callery pear   | 12"           | 12'                                  | 20%                | 66%           | GOOD      | O              |            |                                | X                     |            |              |  |       |  |                            |

DBH = Diameter at Breast Height (measured 4.5 feet above ground)  
 CRZ = Critical Root Zone - As determined by the corresponding jurisdiction  
 CRZ values for trees with multiple stems were calculated based on methods outlined in the 9th edition of the Guide for Plant Appraisal, published by the I.S.A.  
 Shared trees shall not be removed without written permission from adjacent property owners.  
 Offsite trees were assessed without trespassing. Measurements are approximate.

**TREE PROTECTION LEGEND**



- NOTES:**
1. Install tree protection fence and signage prior to calling for the initial on site inspection by the City of Fairfax Inspector.
  2. Warning signs shall be made of durable, weatherproof material.
  3. Letters shall be 3" high minimum, clearly legible and spaced as detailed.
  4. Signs shall be placed no greater than 75' on center or as approved.
  5. For tree protection areas less than 200' in perimeter, provide no less than three signs per protected area.
  6. Attach signs securely to fence posts and fabric.
  7. Maintain tree protection fence throughout duration of project.
  8. Additional signs may be required by City of Fairfax Inspections based on actual field conditions.
  9. No activity shall occur within the protected area including material storage, stockpiling, parking or any activity that may compact the ground or damage the trees.
  10. The City reserves the right to require a 4' to 6' height chain link fencing for identified trees, such as specimen or champion trees, to maximize the protection of the tree and its critical root zone.

Department of Public Works  
 10455 Armstrong Street  
 Fairfax, VA 22030-3630

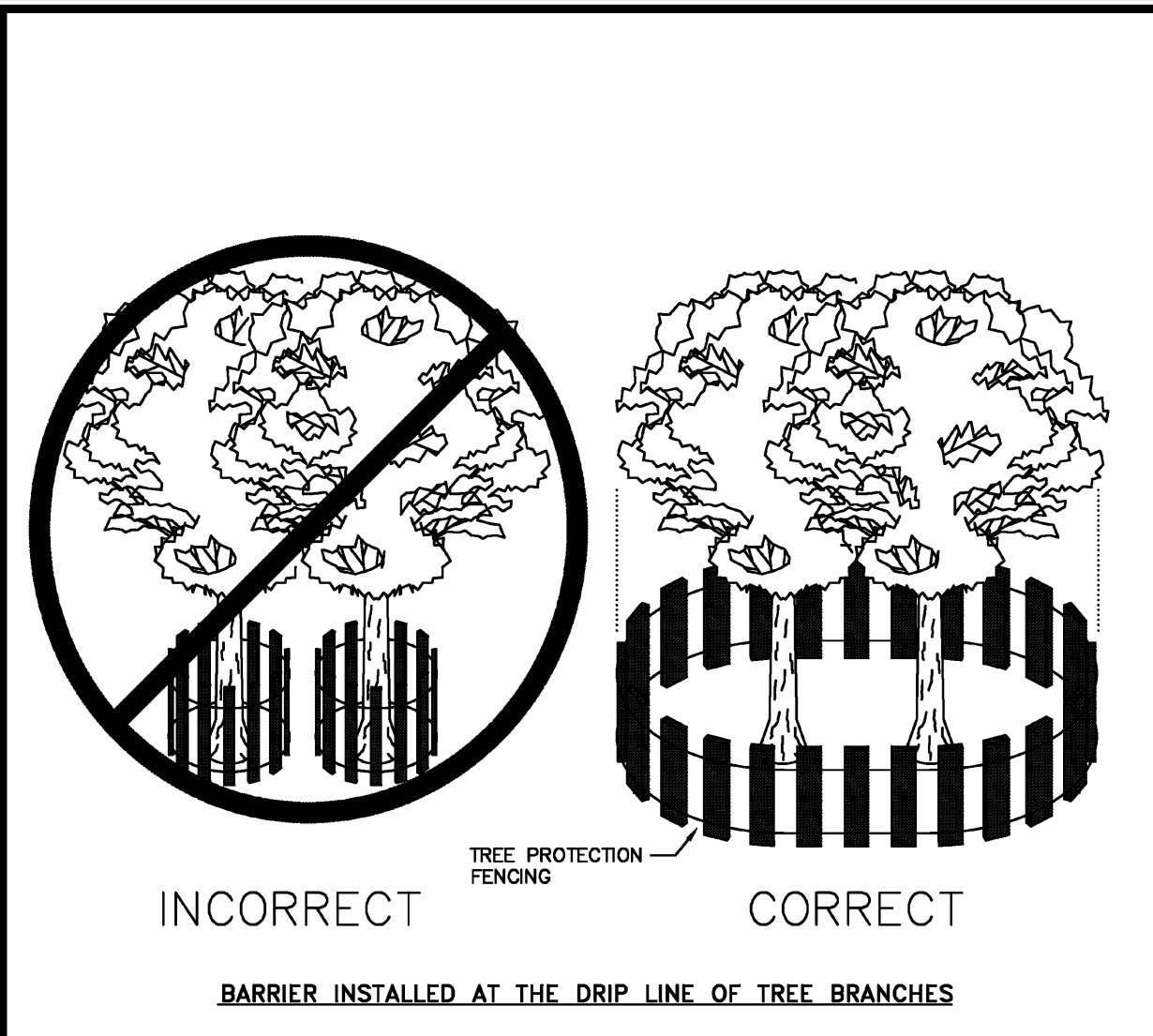
**CITY OF FAIRFAX**  
 USE WITH THE FAIRFAX STANDARD SPECIFICATIONS ONLY

Voice (703) 385-7810  
 FAX (703) 591-5727  
 www.fairfaxva.gov

SCALE: Not To Scale  
 REVISION DATE: December 2016  
 SHEET # 2 of 2

DETAIL # 8.09  
 SHEET # 2 of 2

**STANDARD TREE PROTECTION DETAIL**



- NOTES:**
1. Precautions shall be taken to prevent and minimize damage to trees. In such cases repair any damage to crown, trunk or root system immediately.
  - A. Repair roots by cleanly cutting off the damaged areas. Spread peat moss or moist topsoil over exposed roots.
  - B. Repair damage to bark by trimming around the damaged area as shown in Detail 8.10. Taper the cut to provide drainage.
  - C. Cut off damaged tree limbs above the tree collar at the trunk or main branch. Use three separate cuts as shown in Detail 8.10 to avoid peeling bark from healthy areas of tree.

Department of Public Works  
 10455 Armstrong Street  
 Fairfax, VA 22030-3630

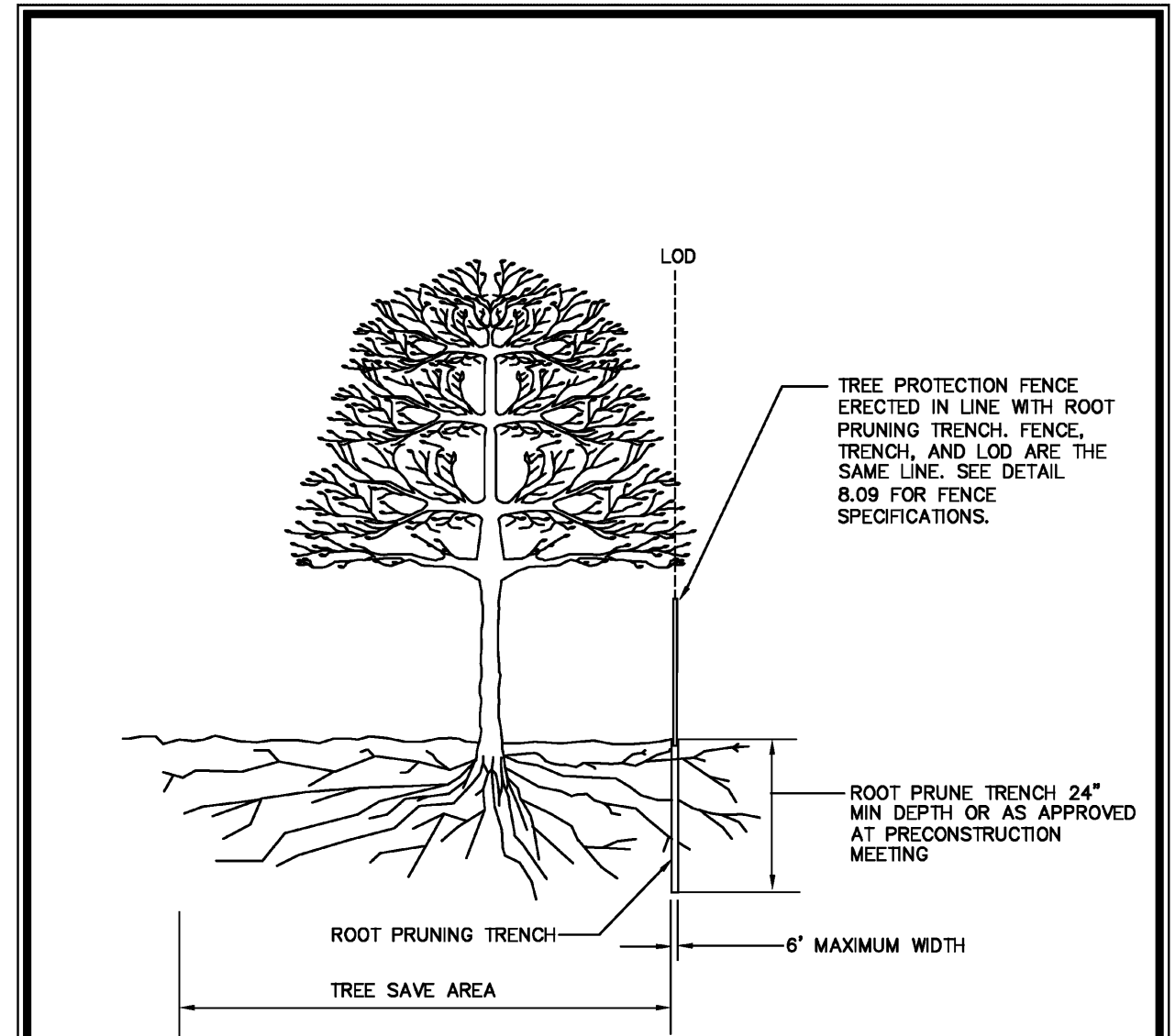
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 REVISION DATE: December 2016  
 SHEET # 1 of 2

DETAIL # 8.09  
 SHEET # 1 of 2

**STANDARD TREE PROTECTION DETAIL**



- NOTES:**
1. Retention areas will be set as part of the review process and preconstruction meeting and flagged prior to trenching.
  2. Trench locations shall be determined in the field or as approved by the City of Fairfax.
  3. Trench shall be backfilled immediately with excavated soil or other organic soil as specified per plan or by the inspector.
  4. Roots shall be cleanly cut using a vibratory knife or other approved equipment.
  5. Pruning shall be executed with LOD shown on plans or as approved.

Department of Public Works  
 10455 Armstrong Street  
 Fairfax, VA 22030-3630

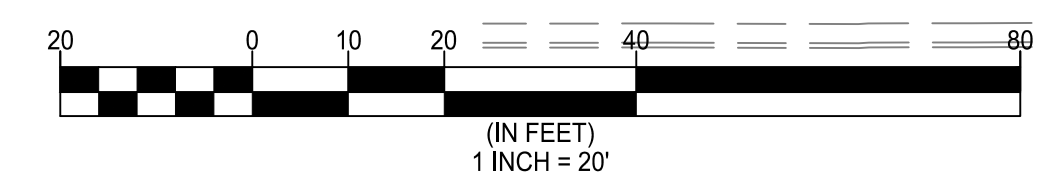
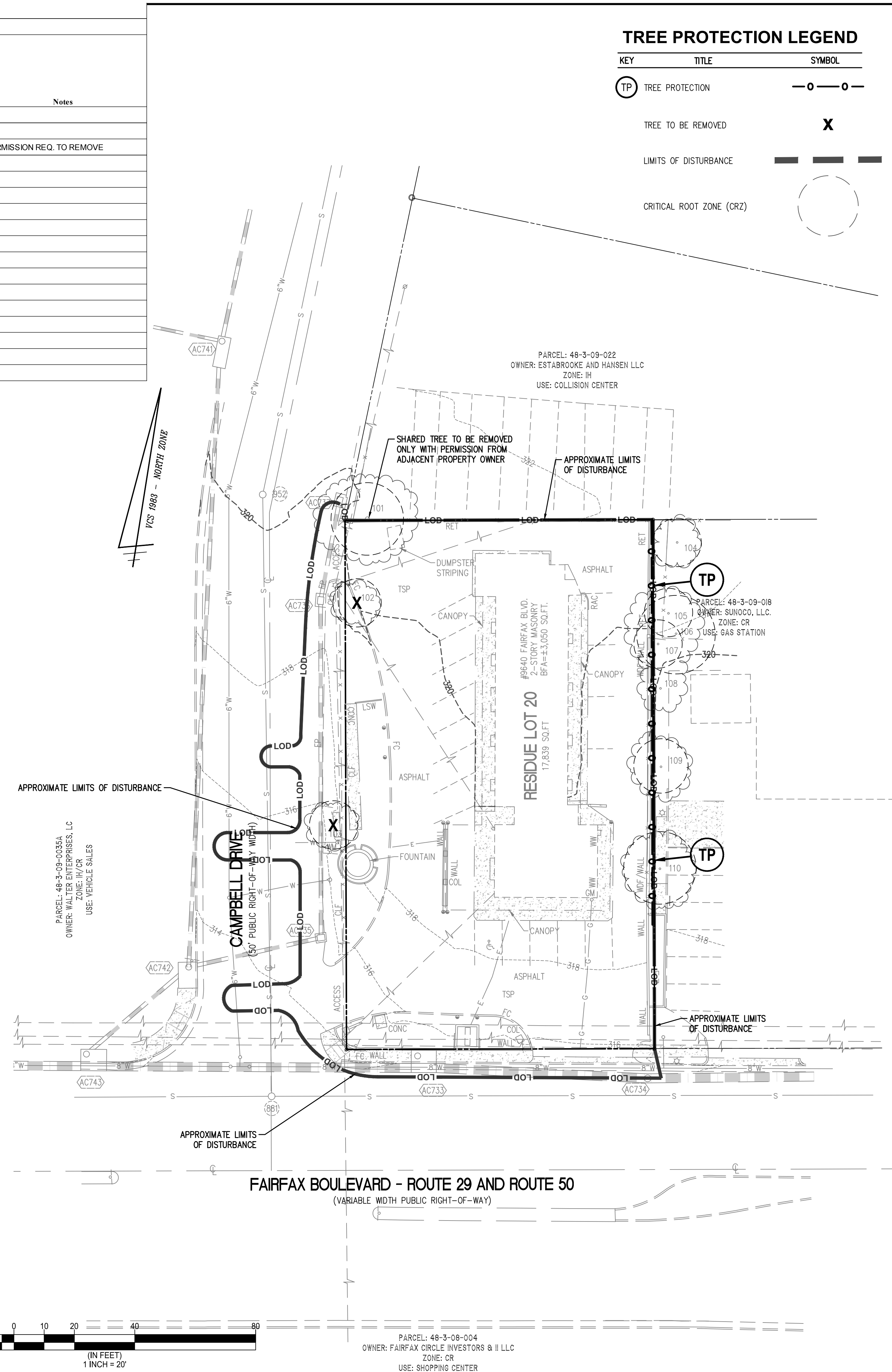
**CITY OF FAIRFAX**  
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 www.fairfaxva.gov

SCALE: Not To Scale  
 REVISION DATE: December 2016  
 SHEET # 1 of 2

DETAIL # 8.12  
 SHEET # 1 of 2

**ROOT PRUNING DETAIL**



PARCEL: 48-3-08-004  
 OWNER: FAIRFAX CIRCLE INVESTORS & II LLC  
 ZONE: CR  
 USE: SHOPPING CENTER

**WALTER L. PHILLIPS**  
 ENGINEERS • SURVEYORS • PLANNERS  
 LANDSCAPE ARCHITECTS • ARBORISTS  
 207 PARK AVENUE  
 FALLS CHURCH, VIRGINIA 22046  
 (703) 532-6163 Fax (703) 533-1301  
 www.WLPINC.com

ESTABLISHED 1945  
 INDEPENDENT  
 DATE: 5/26/22; REV: 7/26/22  
 SCALE: 1" = 20'

CITY OF FAIRFAX PROFESSIONAL SEAL  
 ANTHONY W. WINSON  
 Lic. No. 041851  
 7/26/22

REVISION APPROVED BY

| NO. | DESCRIPTION | DATE | REV. BY | APPROVED BY |
|-----|-------------|------|---------|-------------|
|     |             |      |         |             |
|     |             |      |         |             |
|     |             |      |         |             |

**TREE MANAGEMENT PLAN**  
**SPECIAL USE PERMIT / SPECIAL EXCEPTION PLAT**  
**9640 FAIRFAX BOULEVARD**  
 CITY OF FAIRFAX, VIRGINIA

PARCEL: 48-3-09-022  
 OWNER: ESTABROOKE AND HANSEN LLC  
 ZONE: IH  
 USE: COLLISION CENTER

PARCEL: 48-3-09-018  
 OWNER: SUNOCO, L.L.C.  
 ZONE: CR  
 USE: GAS STATION

PARCEL: 48-3-08-004  
 OWNER: FAIRFAX CIRCLE INVESTORS & II LLC  
 ZONE: CR  
 USE: SHOPPING CENTER

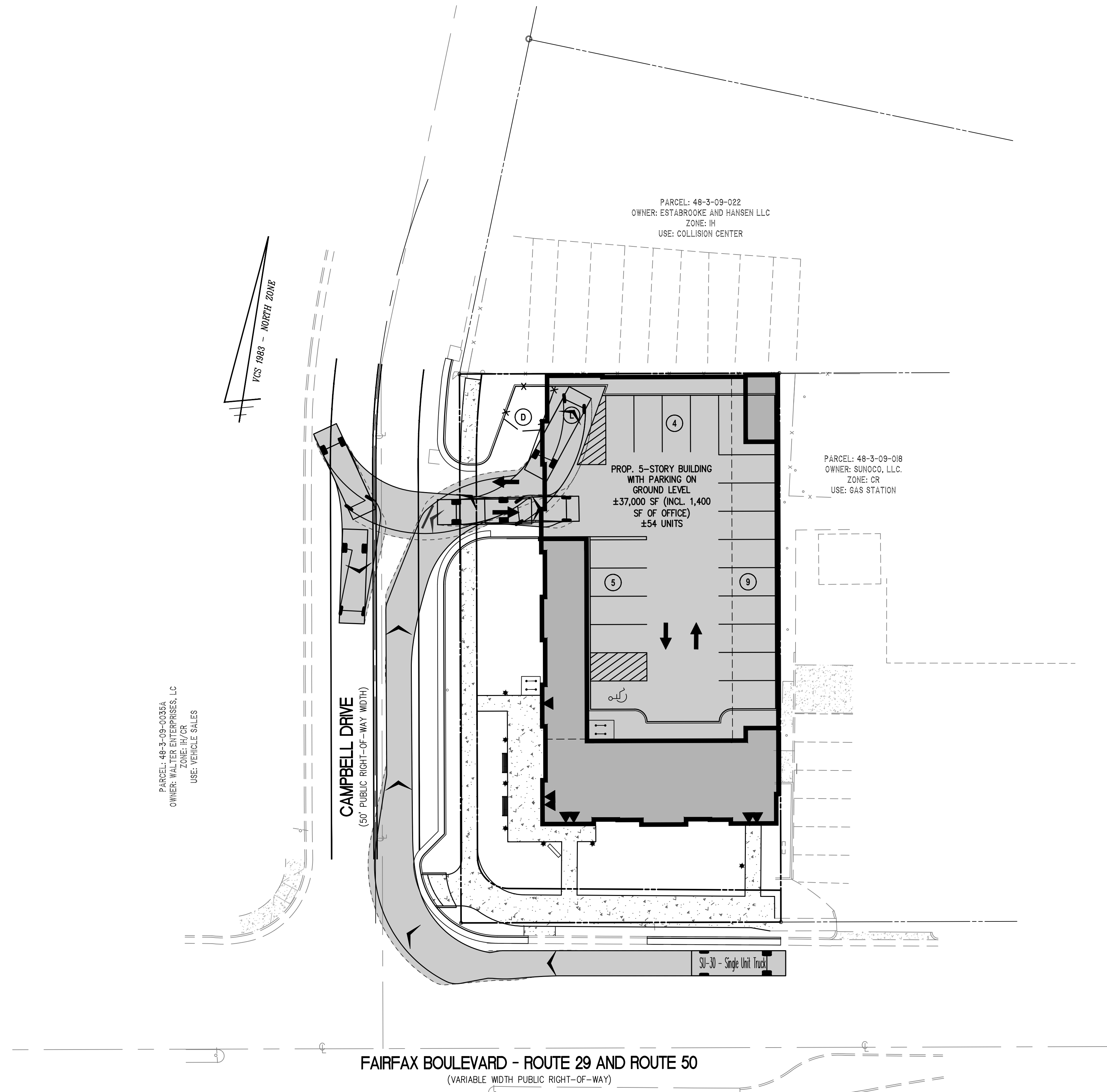
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 TAX MAP NO. 48-3  
 JOB NO. 17-126  
 CADD DWG. FILE: Q:\sds\proj\17126\dwg\Planning\SEP\17126P-0402.dwg

TREE INVENTORY, TREE PRESERVATION AND LANDSCAPE PLAN PREPARED BY:  
  
 BENJAMIN J. SCHITTER, CERTIFIED ARBORIST ISA #MA-5385A 06/25/2022

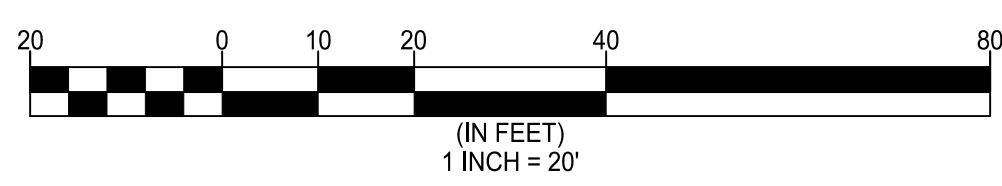
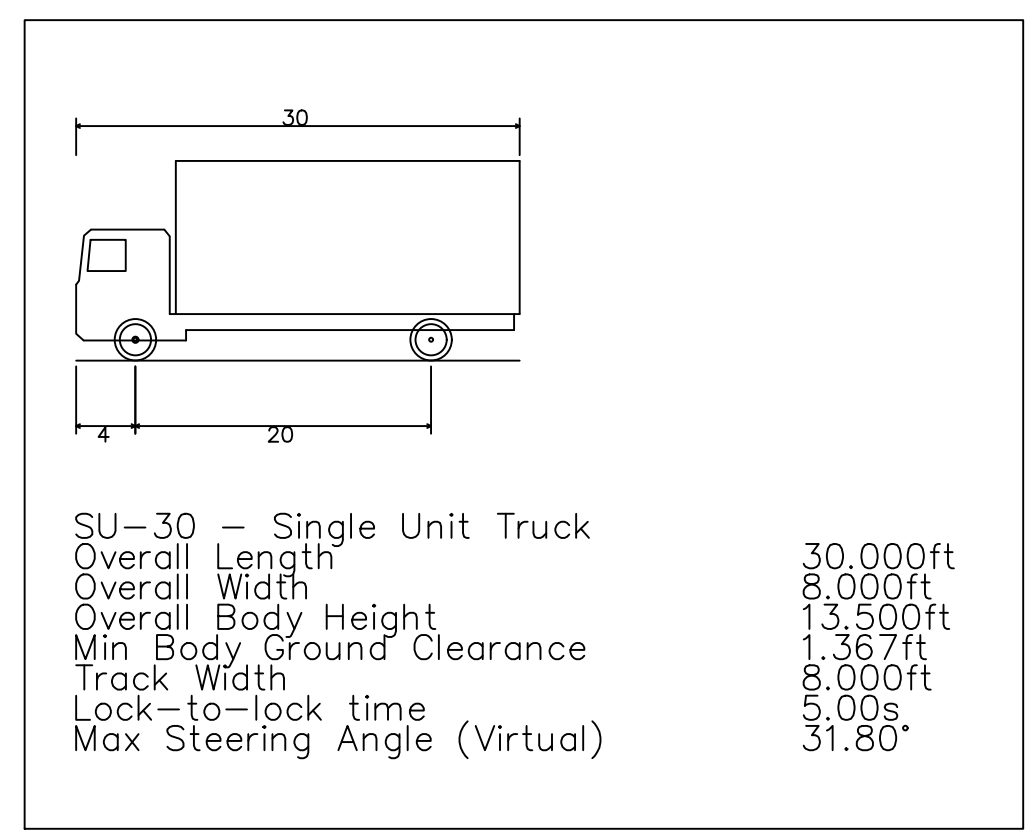
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 DRAWN: MH

SHEET: P-0402

| PROPOSED | DESCRIPTION                   | EXISTING |
|----------|-------------------------------|----------|
|          | CURB & GUTTER                 |          |
|          | CG-2                          |          |
|          | TRANSITION FROM CG-6 TO CG-6R |          |
|          | CG-6R                         |          |
|          | SANITARY SEWER                |          |
|          | SANITARY LATERAL              |          |
|          | CLEAN OUT                     |          |
|          | STORM SEWER                   |          |
|          | WATER MAIN                    |          |
|          | FIRE HYDRANT                  |          |
|          | PLUG                          |          |
|          | OVERHEAD WIRES                |          |
|          | UTILITY POLE                  |          |
|          | UNDERGROUND ELECTRIC          |          |
|          | TELEPHONE                     |          |
|          | GAS MAIN                      |          |
|          | ELECTRICAL                    |          |
|          | TRANSFORMER                   |          |
|          | HANDICAP RAMP (CG-12)         |          |
|          | GUARDRAIL                     |          |
|          | FENCE                         |          |
|          | TRAFFIC FLOW                  |          |
|          | LIGHT                         |          |
|          | DOOR                          |          |
|          | TREES                         |          |
|          | CONTOURS                      |          |
|          | SPOT ELEVATION                |          |
|          | DRAINAGE FLOW DIRECTION       |          |
|          | TOP OF CURB                   |          |
|          | BOTTOM OF CURB                |          |
|          | TOP OF WALL                   |          |
|          | BOTTOM OF WALL                |          |
|          | HIGH POINT                    |          |
|          | TEST PIT                      |          |
|          | LIMITS OF DISTURBANCE         |          |
|          | DUMPER ENCLOSURE              |          |
|          | LOADING SPACE                 |          |
|          | PARKING SPACES                |          |



**TRUCK DETAIL**



**TRUCK MOVEMENT EXHIBIT**

**SPECIAL USE PERMIT / SPECIAL EXCEPTION PLAT**

**9640 FAIRFAX BOULEVARD**

**CITY OF FAIRFAX, VIRGINIA**

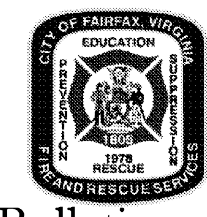
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DATE: 5/6/22; REV: 7/26/22  
SCALE: 1" = 20'

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DRAWN: IMH

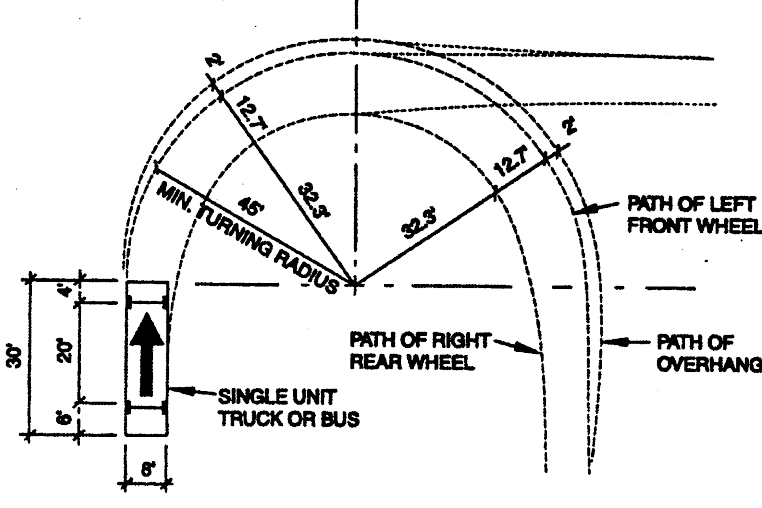
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|     |             | REV. BY              | APPROVED | DATE | DATE |
|     |             |                      |          |      |      |
|     |             |                      |          |      |      |





City of Fairfax  
Department of Fire and Rescue Service  
Office of Code Administration  
10455 Armstrong Street  
Fairfax, VA, 22030

Bulletin



SECTION F-3.6 Fire Lanes and Emergency Access and Roadways and Special Provisions

**F-3.6 Designation.**  
The fire official shall designate fire lanes on public streets and on private property where necessary to ensure that firefighting and rescue apparatus has the required access to fire department connections, buildings and structures. Fire lanes shall have a minimum width of eighteen (18) feet or wider. Fire lanes serving structures greater than 30 feet in height or schools shall have a minimum clear width of 22 feet. Approved road widths see table 3.5.2. "Dead end" fire lanes over 150 feet in length shall be provided with an approved turnaround. Approved turnarounds, see table 3.5.1. All curved sections of fire lanes shall have a minimum outside radius of 45 feet.

Fire lanes shall not exceed 10% slope in any direction. Pavement sections shall be designed to support vehicles weighing up to 75,000 pounds. Where gates are to be installed across a fire lane, the following conditions must be observed:

- The gates must be maintained in an operable condition or be fixed in the open position.
- A means of manually opening the gate in the event of power failure must be provided.
- A key operated switch to the satisfaction of the fire official must be provided.

**Table 3.6.1 Approved turnaround**

| Length (feet) | Width (feet) | Turnarounds Required                             |
|---------------|--------------|--|
| 0-150         | 20           | None Required                                    |
| 150-500       | 20           | 120" hammerhead or 60" Y 96" diameter cul-de-sac |
| 501-750       | 26           | 120" Hammerhead or 60" Y 96" diameter cul-de-sac |
| Over 750      |              | Special approval required                        |

**Table 3.6.2 Standard Fire and Emergency Access Roadway.**

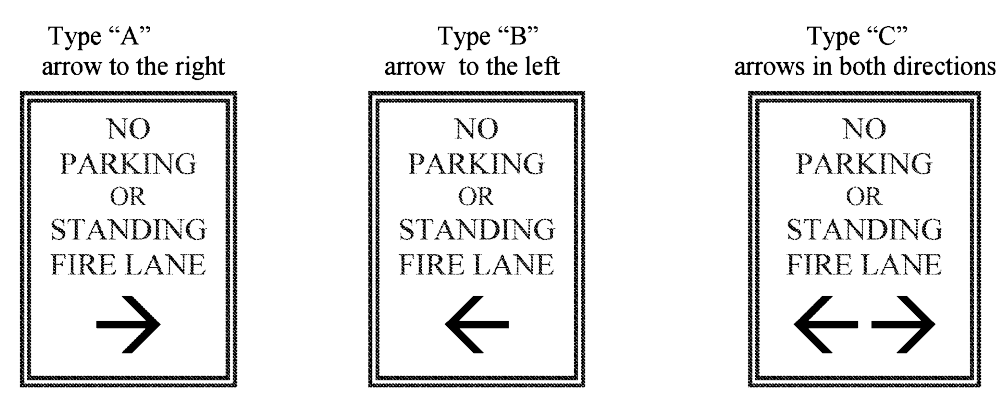
Standard Requirements for parking restrictions

| Street Curb    | Width | Curb to Curb | One Way Traffic   | Two Way Traffic  |
|----------------|-------|--------------|---|--|
| Less than 20'  |       |              | No parallel parking on either side of the street        | No parallel parking on either side of street                         |
| 20' to 26'     |       |              | Parallel parking on one side As decided by Fire Marshal | No Parallel parking on either side of street                         |
| 26' to 32'     |       |              | Parallel parking allowed both sides of street           | Parallel parking on one side As approved and decided by Fire Marshal |
| 32' or greater |       |              | Parallel parking allowed on both sides of street        | Parallel parking allowed on both sides of street                     |

**F-3.6.3 Signs and markings.**  
The property owner or designee shall supply and install signs and other required markings to delineate fire lanes as directed by the fire official. The cost of which will be born by the property owner or designee.

**F-3.6.4 Specifications.**  
Fire lanes shall conform to the following specifications:  
Metal construction, dimensions twelve (12) inches by eighteen (18) inches. Red letters on a reflective white background with three-eighths (3/8) inch red trim strip around the entire outer edge of the sign. Signs shall be mounted with the top of the signs seven (7) feet above grade.

Lettering size to be as follows:  
"NO PARKING" - 2 inches,  
"OR" - 1 inch,  
"STANDING" - 2 inches,  
"FIRE LANE" - 2 1/2 inches,  
Arrow's 1 inch solid. Spacing between words to be uniform.

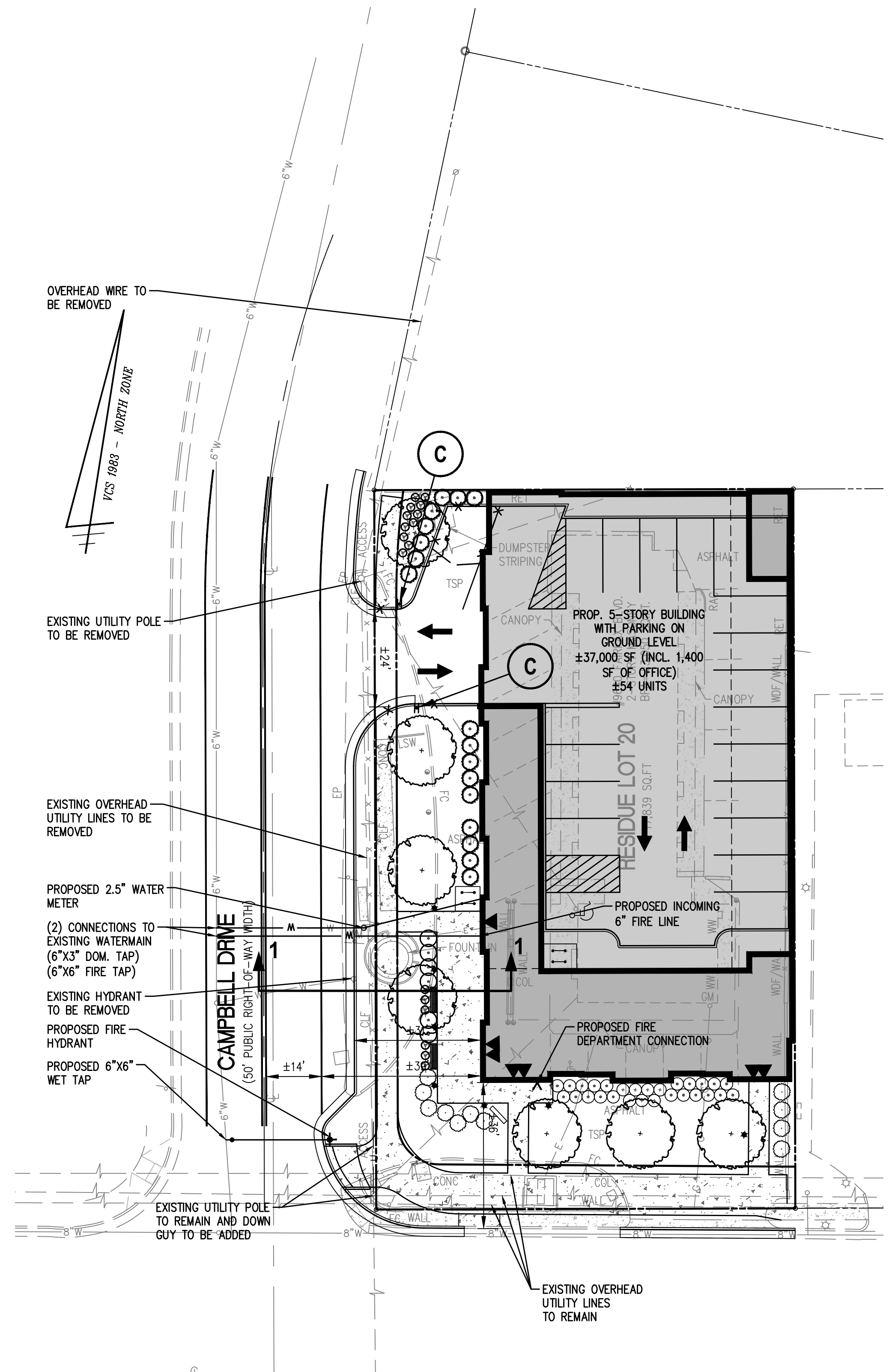


Type "D" two signs back to back perpendicular to the street.  
1. Other type signs or markings approved by the fire official.  
2. Curbing shall be painted yellow within the limits of the fire lane.  
3. Striping may be required to be marked as needed on the road surface.

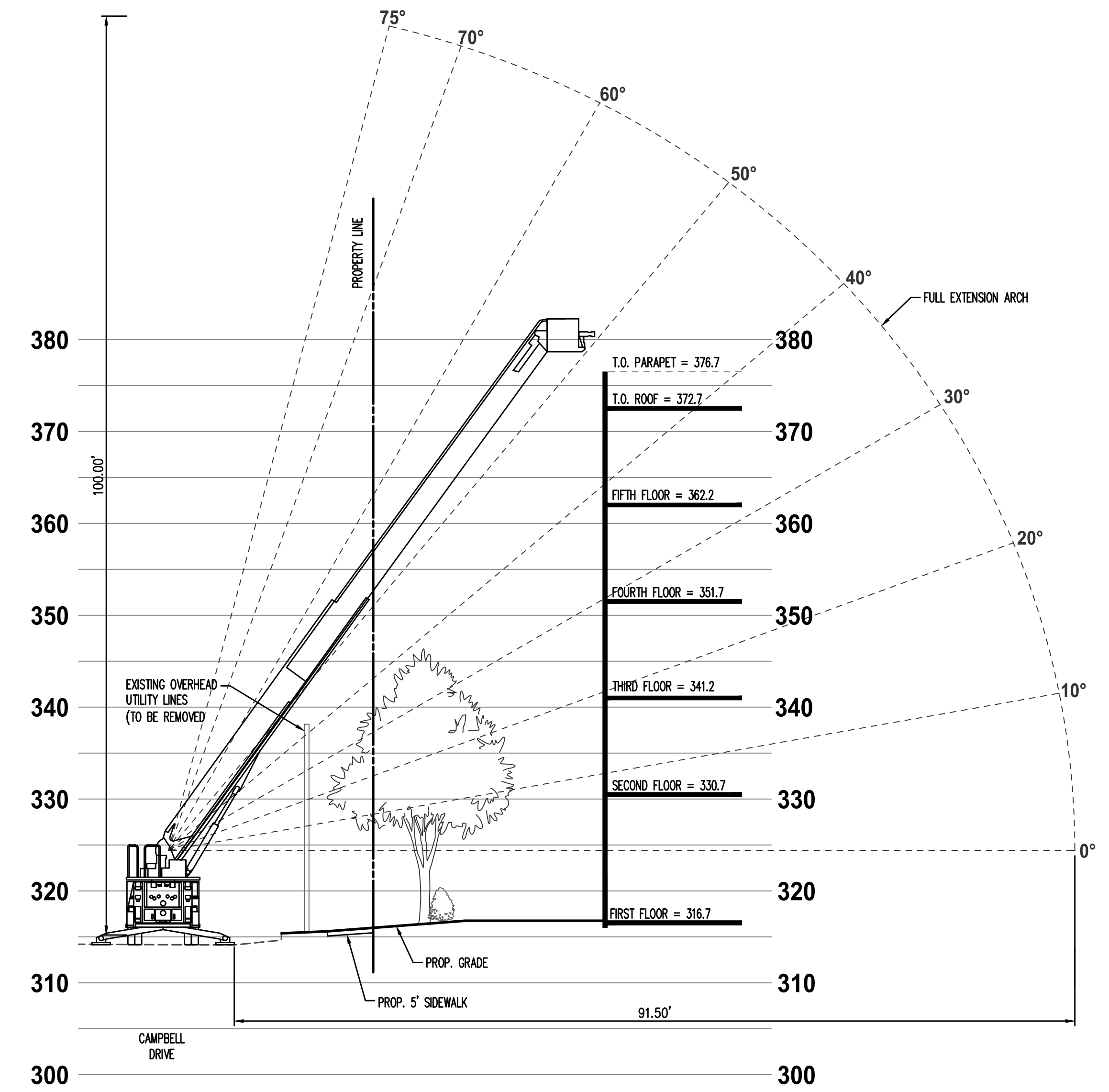
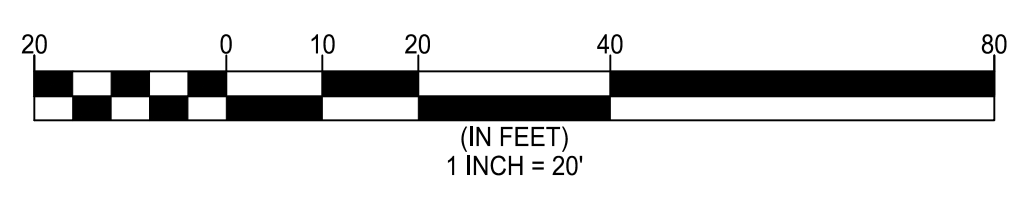
- Section F-3.6.5 Fire Lane restrictions**
- It shall be unlawful for any person to park in the designated and marked area, except for school buses that are in the process of receiving or discharging students as long as the bus driver remains with the bus at all times. For the purposes of this subsection, the term "park" shall mean the standing of a vehicle, whether occupied or not, except while obeying traffic regulations, signs or signals or except while involuntarily stopping because of causes beyond the control of the operator of the vehicle.
  - In any prosecution under this section, proof that the vehicle described in the complaint, summons or warrant was parked in violation of this code, together with proof that the defendant was at the time of such parking the registered owner of the vehicle, shall constitute a prima facie evidentiary presumption that such registered owner of the vehicle was the person who parked the vehicle at the place and at the time such violation occurred.
  - In addition, the vehicle parked in violation of this section may be impounded by the City of Fairfax Fire Marshal's Office, Fairfax Police Department or the city fire marshal's office and held until the penalty provided and the towing and storage charges incurred are paid.
  - This section shall be enforced by the city fire marshal or his staff and the city police department.
  - Penalty for violation of this section shall be a fine of fifty dollars (\$100.00) for each offense.

**Section F-3.6.6 Existing signs.**  
It shall be unlawful for any person to deface, injure, tamper with, remove, destroy or impair the usefulness of any posted fire lane sign installed under the provisions of this code.

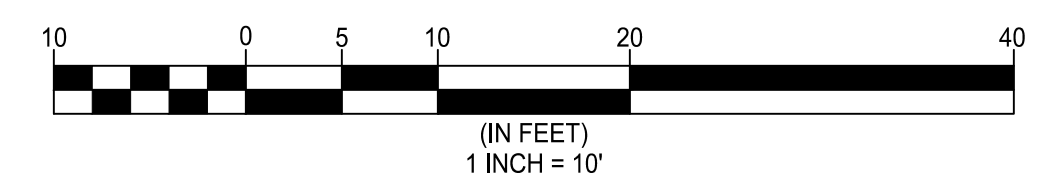
Department of Community Development and Planning  
City of Fairfax, Virginia



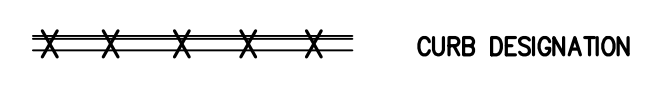
FAIRFAX BOULEVARD - ROUTE 29 AND ROUTE 50  
(VARIABLE WIDTH PUBLIC RIGHT-OF-WAY)



SECTION 1-1



**CURB DESIGNATION**  
ALL CURBS OR PAVED SPACES DESIGNATED AT FIRE LANES SHALL BE INDICATED BY YELLOW/RED PAINT AS APPROVED BY THE CITY OF FAIRFAX CODE ADMINISTRATION. IN AREAS WITHOUT CURBING, A 6" WIDE YELLOW STRIPE SHOULD BE APPLIED TO THE EDGE OF THE PAVEMENT. PAINT SHALL BE HIGHWAY TRAFFIC GRADE.



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DRAWN: IMH  
CHECKED: AV

REVISION APPROVED BY

| NO. | DESCRIPTION | DATE | REV. BY | APPROVED | DATE |
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**FIRE MARSHAL EXHIBIT**  
SPECIAL USE PERMIT / SPECIAL EXCEPTION PLAT  
**9640 FAIRFAX BOULEVARD**  
CITY OF FAIRFAX, VIRGINIA



**SOUTHWEST VIEW**



**SOUTHEAST VIEW**



THIS IMAGE IS CONCEPTUAL AND ARE INTENDED TO ILLUSTRATE THE GENERAL CHARACTER AND QUALITY OF THE PROPOSED BUILDINGS. THIS IMAGES IS NOT INTENDED TO REPRESENT ACTUAL BUILDING DESIGN OR INTERPRETED AS A COMMITMENT TO SPECIFIC BUILDING DIMENSIONS OR BUILDING ELEMENTS, SUCH AS ROOF LINE AND THE NUMBER AND PLACEMENT OF WINDOWS OR DOORS. FINAL DESIGN WILL BE DETERMINED AT TIME OF SITE PLAN.

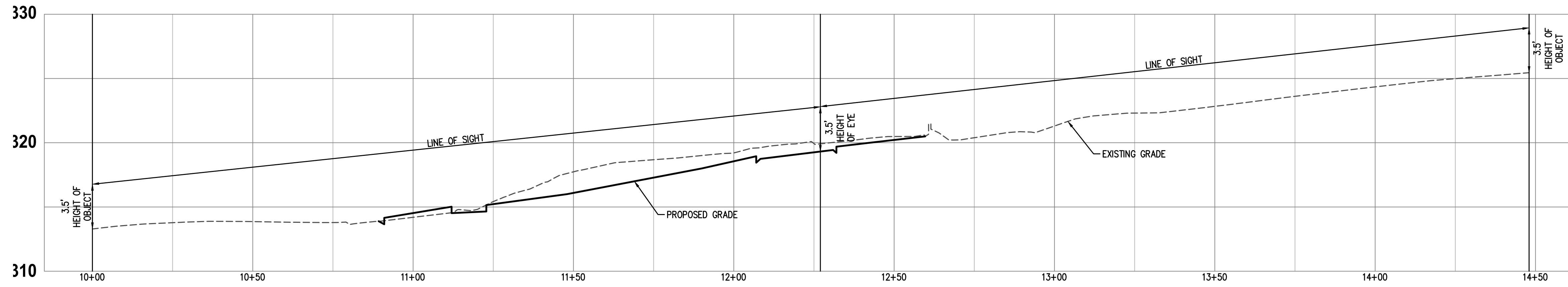
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SCALE: N/A  
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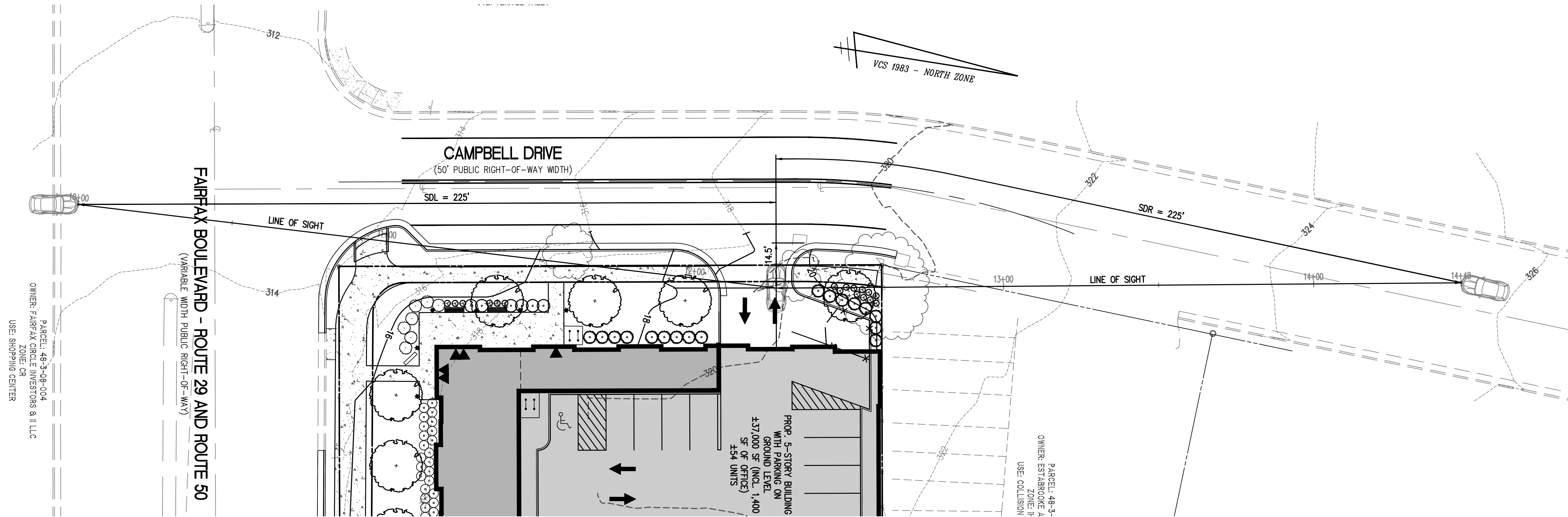
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**ARCHITECTURAL ELEVATIONS**  
**SPECIAL USE PERMIT / SPECIAL EXCEPTION PLAT**  
**9640 FAIRFAX BOULEVARD**  
 CITY OF FAIRFAX, VIRGINIA



**SIGHT DISTANCE PROFILE**

SCALE: HOR. 1" = 20'  
 VERT. 1" = 5'  
 SPEED LIMIT = 20 MPH



**SIGHT DISTANCE PLAN VIEW**

FAIRFAX BOULEVARD - ROUTE 29 AND ROUTE 50  
 (VARIABLE WIDTH PUBLIC RIGHT-OF-WAY)

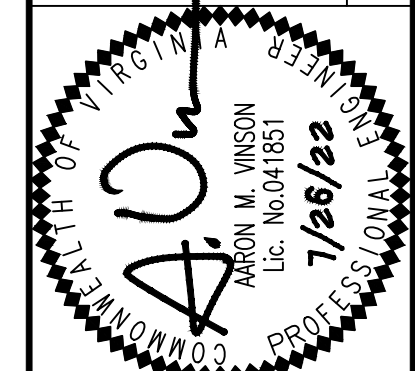
PARCEL: 48-3-08-004  
 OWNER: FAIRFAX CORE DEVELOPERS & II, LLC  
 ZONE: CR  
 USE: SHOPPING CENTER

PROP. 5-STORY BUILDING  
 WITH PARKING ON  
 GROUND LEVEL  
 1,400 SF OF OFFICE  
 454 UNITS

PARCEL: 48-3-  
 OWNER: ESTABROOK A  
 ZONE: CR  
 USE: COLLESON

**SIGHT DISTANCE PLAN AND PROFILE**  
**SPECIAL USE PERMIT / SPECIAL EXCEPTION PLAT**  
**9640 FAIRFAX BOULEVARD**  
 CITY OF FAIRFAX, VIRGINIA

| NO. | DESCRIPTION | DATE | REV. BY | APPROVED BY | DATE |
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