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8/22/2023

Community Dev & Planning

4131 Chain Bridge Rd | Fairfax, Virginia

BAR Submission

August 17th, 2023

Applicant:

TDC, ACQUISITIONS, LLC
1850 M Street NW, Suite 820
Washington, DC 20036

Architect:

WDG Architecture
1025 Connecticut Avenue, NW, Suite 300
Washington, DC. 20036

Civil Engineer:

Bohler
12825 Worldgate Drive, Suite 700
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Landscape Architect:

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1 FAIRFAX COUNTY JUDICIAL CENTER



2 OFFICE BUILDINGS



3 FAIRFAX COUNTY DETENTION CENTER



4 BUSINESS PARK



5 PROJECT SITE



6 BUSINESS PARK



7 FAIRFAX CITY HALL



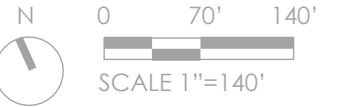
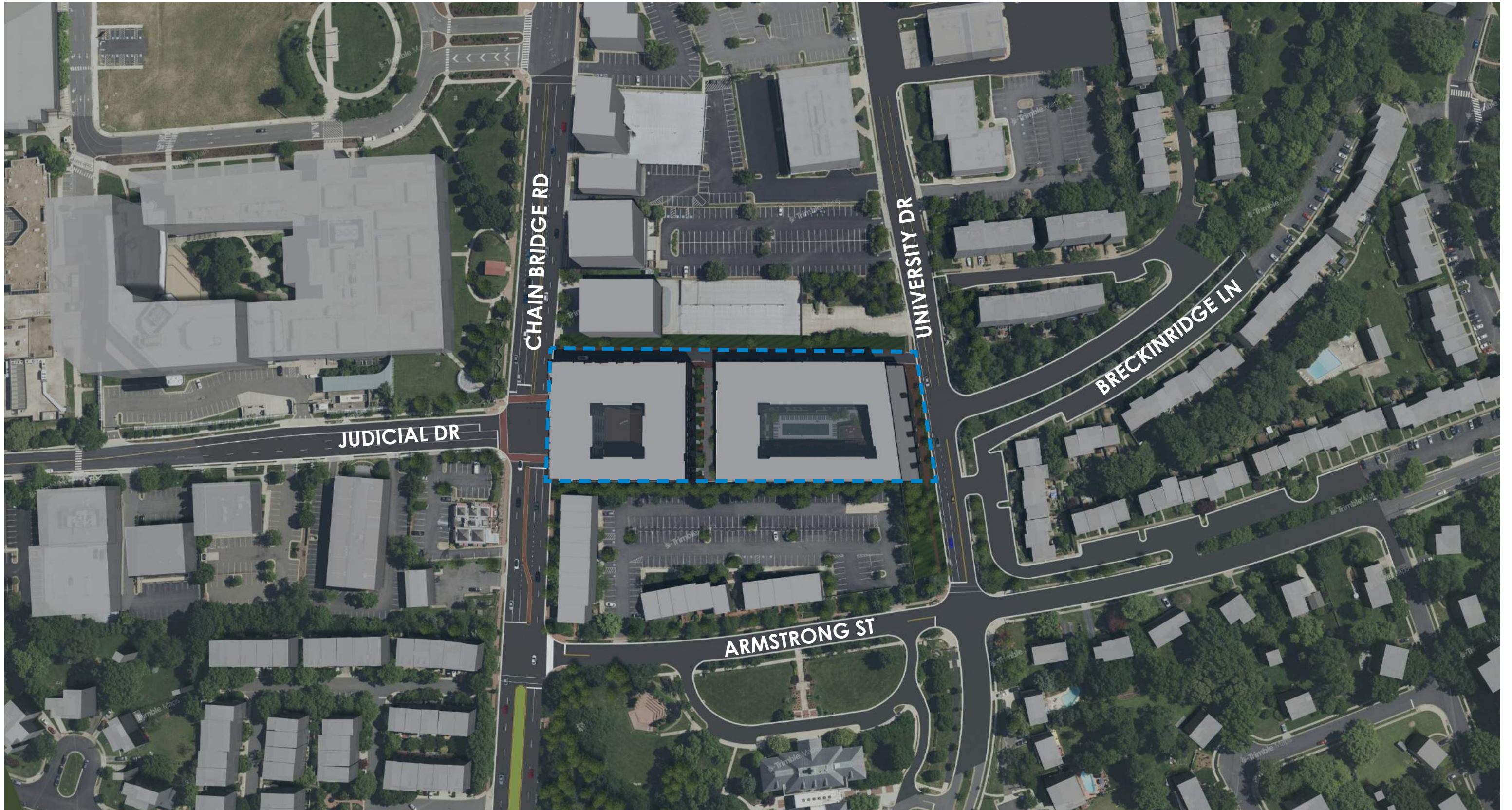
8 TOWNHOUSES



9 OFFICE BUILDING



10 PROJECT SITE





4085 CHAIN BRIDGE ROAD



4103 CHAIN BRIDGE ROAD



4117 CHAIN BRIDGE ROAD



4087 UNIVERSITY DRIVE



4084 UNIVERSITY DRIVE



4041 & 4081 UNIVERSITY DRIVE



UNIVERSITY DRIVE & NORTH STREET



4085 CHAIN BRIDGE ROAD



CITY OF FAIRFAX REGIONAL LIBRARY



CITY CENTER WEST (Recently approved)
MAIN STREET & WEST STREET



10523 MAIN STREET



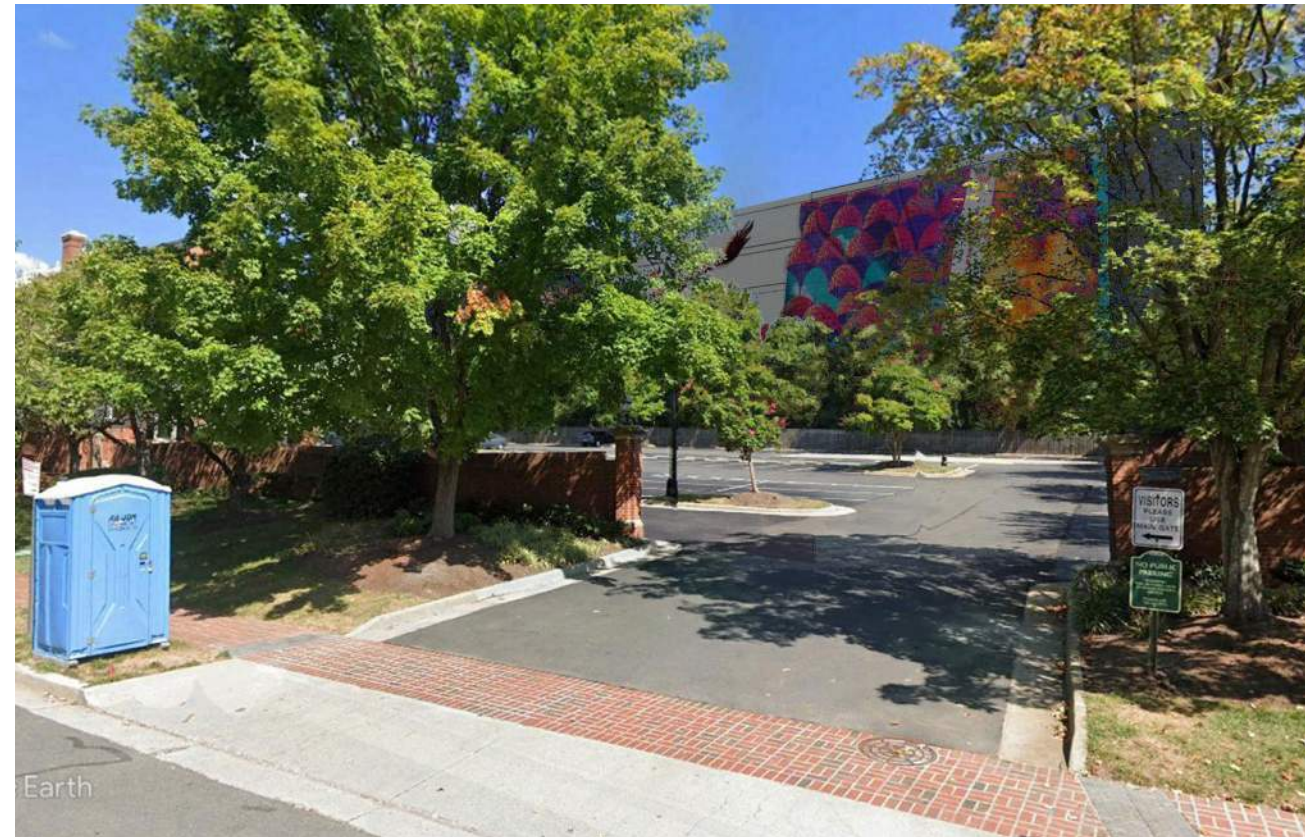
1 VIEW LOOKING FROM NW- CHAIN BRIDGE RD



KEY PLAN



2 VIEW LOOKING FROM SW - CHAIN BRIDGE RD



3 VIEW LOOKING FROM SE - ARMSTRONG STREET



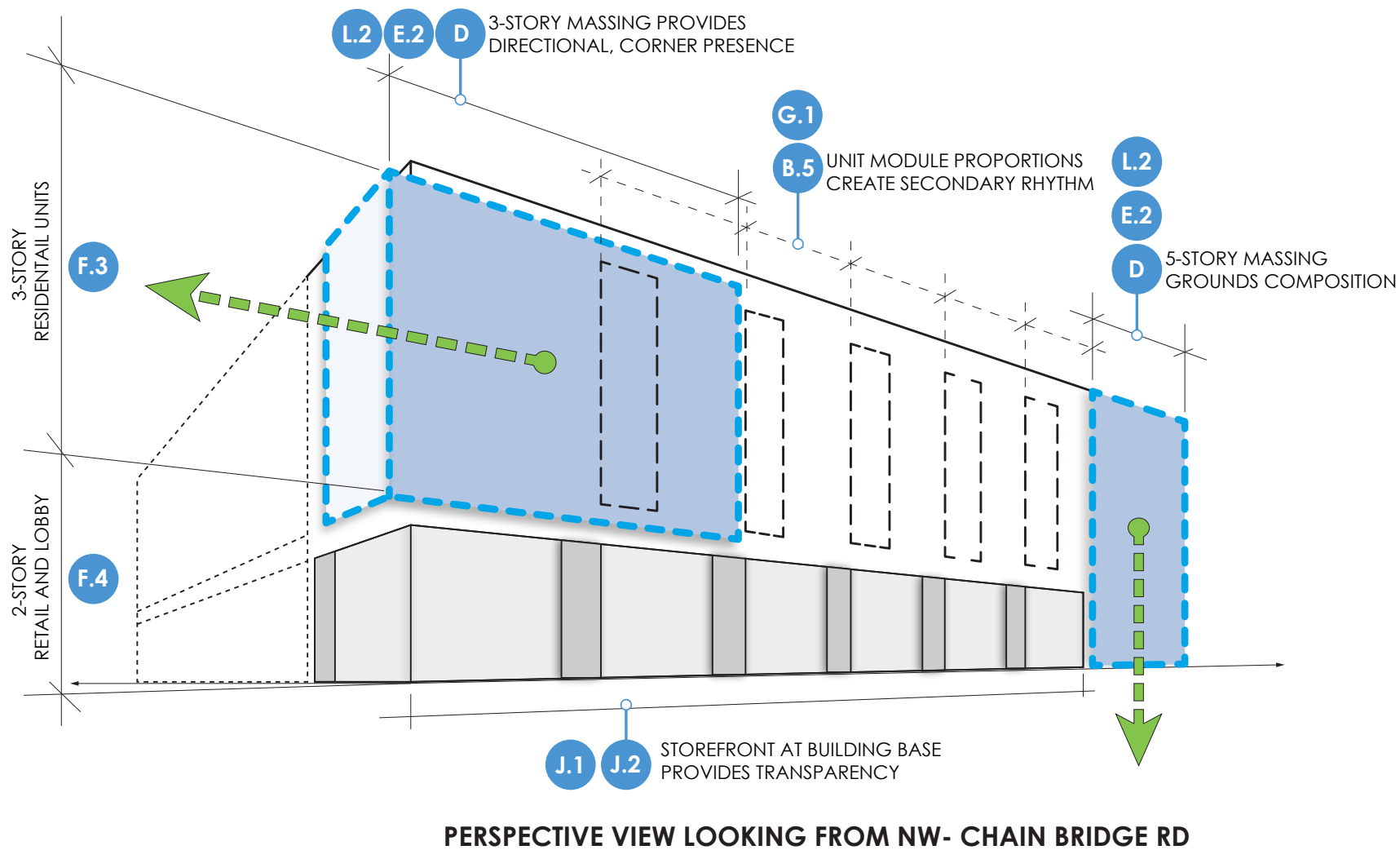
4 VIEW LOOKING FROM SE - ARMSTRONG STREET & UNIVERSITY DR



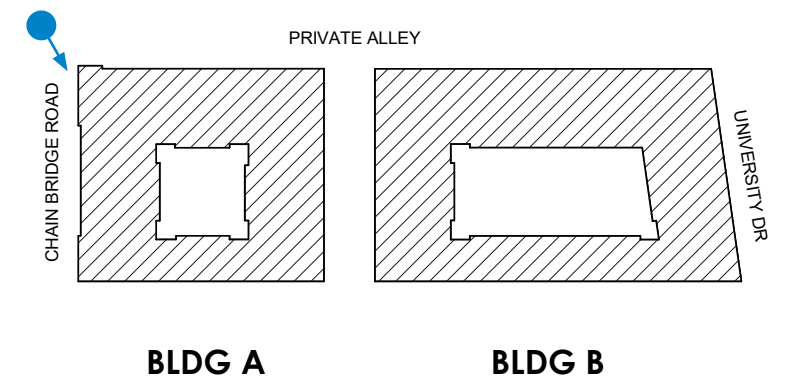
KEY PLAN



5 VIEW LOOKING FROM NE - UNIVERSITY DR



PERSPECTIVE VIEW LOOKING FROM NW- CHAIN BRIDGE RD



TOD-3 NEW CONSTRUCTION

F. Building Height & Width

(§3.7.3.C –Dimensional standards)

Because of the variety in building forms in the TOD, there is a corresponding variety in building heights of one to multi-stories. Building width also varies wildly depending on the size of the lot, design and age of the building, and its original use.

1. The maximum height of new buildings in the TOD can allow for a height of four stories. In some instances, four stories may be inappropriately tall.
2. The width of infill buildings should reflect the lot coverage goal and in general, minimize unusable open space between parcels.
3. Many commercial buildings in the neighboring downtown area average 30 feet in width. If new buildings are wider than this size, their primary facades should be divided into bays to reflect the predominant width of the existing buildings. Buildings that front on two or more sides should use this bay division technique on all appropriate facades. These bays also should have varied planes within the overall façade.
4. Mixed-use buildings should typically have a taller ground floor to accommodate for commercial uses.

J. Entry Features: Storefronts, Porches & Doors

1. When designing new storefronts in the TOD, continue with the concept of display windows, but the design may have more glass and a wider range of materials than the traditional storefronts of the HOD.
2. Keep the ground levels of new retail commercial buildings at least sixty percent transparent up to a level of ten feet if possible.
3. Articulate the entrance bay of larger institutional or office buildings to provide visual interest.

TOD-3 NEW CONSTRUCTION

B. Building Types

2. Large
Sometimes new commercial, office or mixed-use buildings will be constructed on larger sites. They may be a single large site or several lots assembled from smaller parcels that can translate into new structures whose scale and mass could overwhelm neighboring existing buildings. Therefore, while this building type needs to respond to the various building conditions of the site, it also should employ design techniques to reduce its visual presence.

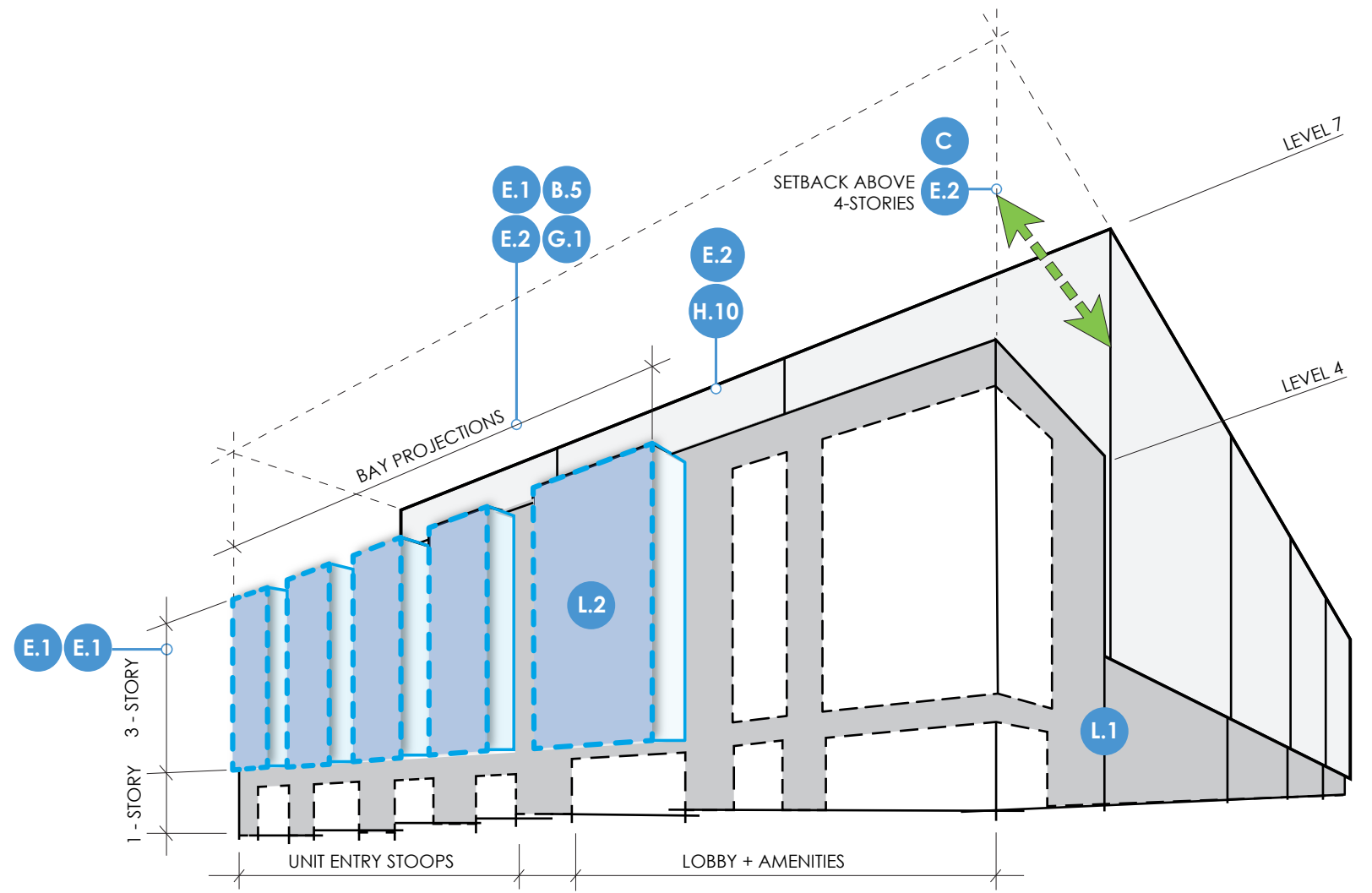
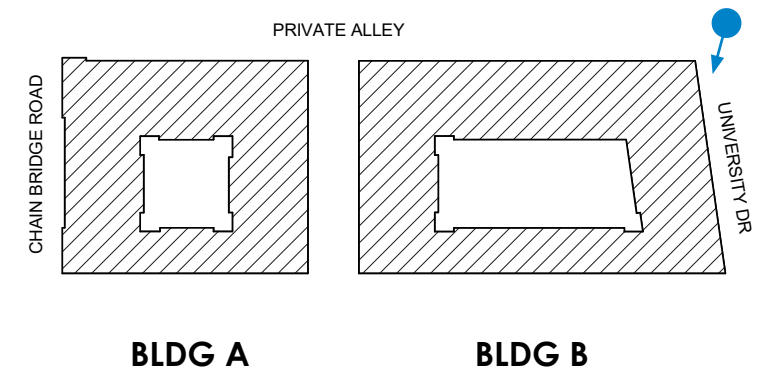
5. Residential
Depending on the zoning designation of the site or of an application for rezoning, there is an opportunity to construct townhouses or mixed-use apartment or condominium buildings on some sites in the TOD. These designs should take their cues from similar townhouse forms or from other more recent, larger mixed-use buildings that are located closer to the street and have scale-reducing techniques employed in their design to reduce the appearance of their larger size.

C. Building Siting

(§3.7.3.C.–Dimensional standards)
For the purposes of these guidelines, site refers not only to the area of ground that the building sits on, but also to the position of the building on the site (setback and spacing). Front setback is the required area between the property line and the front wall of the building as further defined in the Zoning Ordinance. Spacing between buildings depends on the size of the lot, the size of the building, and side-yard setback requirements. Consistent spacing between a row of buildings helps to establish an overall rhythm along a street.

D. Building Form

The overall form of a building relates to a combination of shape, massing, proportion and directional expression. A building's form, or shape, can be simple or complex (a combination of elements used with projections or indentations). The level of complexity usually relates directly to the style or type of building. Many of the buildings in the TOD have relatively simple building forms. Also, a building can be oriented in horizontal, vertical, or square proportions.



VIEW LOOKING FROM NE - UNIVERSITY DRIVE

TOD-3 NEW CONSTRUCTION

E. Building Size & Footprint

While there is a wide variety in building size and footprint in the TOD, new buildings should cover a vast majority of the site with open space used intermittently to provide small outdoor gathering areas. See building and lot coverage provisions in §3.7.3.C. New infill buildings' footprints will be limited by the size of the existing lot; and if lots are combined for a larger footprint, scale reduction techniques and complex building forms should be used on the massing. These could include varying the surface planes of the building, stepping back the building

as the structure increases in height, and breaking up the roofline with different elements to create smaller compositions.

1. If neighborhood transitional buildings have larger footprints, their massing should be reduced to relate to the smaller scaled forms of nearby residential structures.

2. Institutional and multi-lot buildings by their nature will have large footprints. Therefore, the massing of these large-scale structures should be reduced so they will not overpower the traditional scale of the neighboring HOD. Techniques could include varying the surface planes of the building, stepping back the building as the structure increases in height, and breaking up the roofline with different elements to create smaller compositions.

F. Building Height & Width

(§3.7.3.C –Dimensional standards)

3. Many commercial buildings in the neighboring downtown area average 30 feet in width. If new buildings are wider than this size, their primary facades should be divided into bays to reflect the predominant width of the existing buildings. Buildings that front on two or more sides should use this bay division technique on all appropriate facades. These bays also should have varied planes within the overall façade.

TOD-3 NEW CONSTRUCTION

G. Building Scale

Scale is the relationship between the size of a building and the size of a person. Scale also can be defined as the relationship of the size of a building to neighboring buildings, and of a building to its site. The design features of a building can reinforce a human scale or can create a monolithic large appearance. There is a very wide variety of scales in the TOD depending on a building's age, size, design, and use.

1. When the primary facade of a new commercial building is wider than 30 feet, modulate it with bays.




L. Materials, Textures & Colors

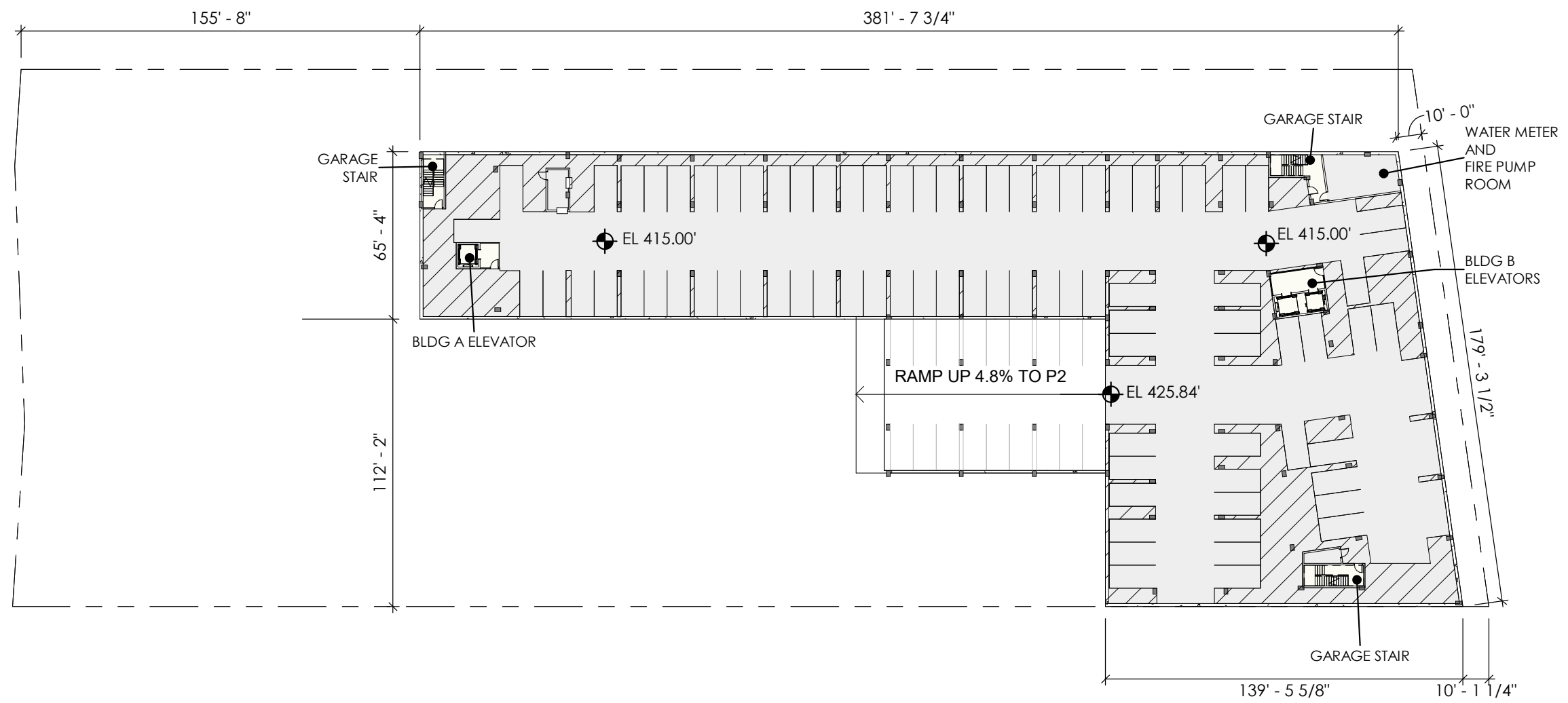
1. The selection of materials and textures for a new building in the TOD should be compatible with, and complement, the neighboring historic buildings. Brick, stone, and wood siding or cementitious siding are the most appropriate materials for new buildings. Most new brick buildings currently use a brick facing over a frame instead of a solid brick wall.
2. Large scale multi-lot buildings whose primary facades have been divided into different bays and planes to relate to existing neighboring buildings may vary materials, shades, and textures.




H. Roof Form & Materials

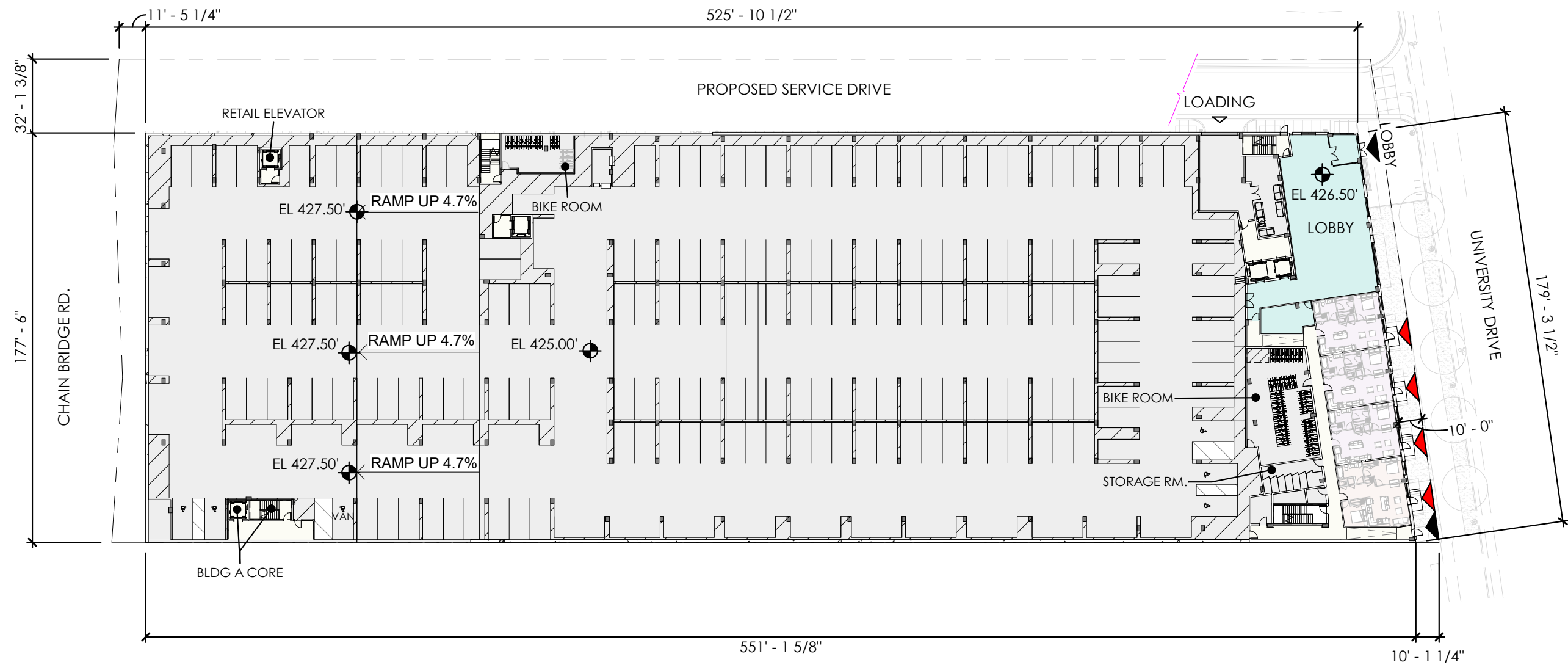
Roof design, materials, and textures should be consistent with the existing structures in the nearby HOD. Common roof forms in the TOD include hipped, gable, flat, and shed roofs. Common roof materials in the HOD include metal, slate, composition shingles, and wood shingles, as well as rubber membranes and built-up roofs of tar and gravel.




10. If roof-mounted mechanical or other equipment is used, it should be screened from public view on all sides. The design of the screen or mechanical penthouse should relate to the overall building form and design; avoid a roof box appearance. The screening material should be consistent with the textures, materials, and colors of the building. Another method is to place the equipment in a non-visible location behind a parapet wall or to setback the equipment enough from the edge of the roof so that it cannot be seen from public-right-of-way below. For more information see: (§4.5.8.F Roof-mounted mechanical equipment screening standards).

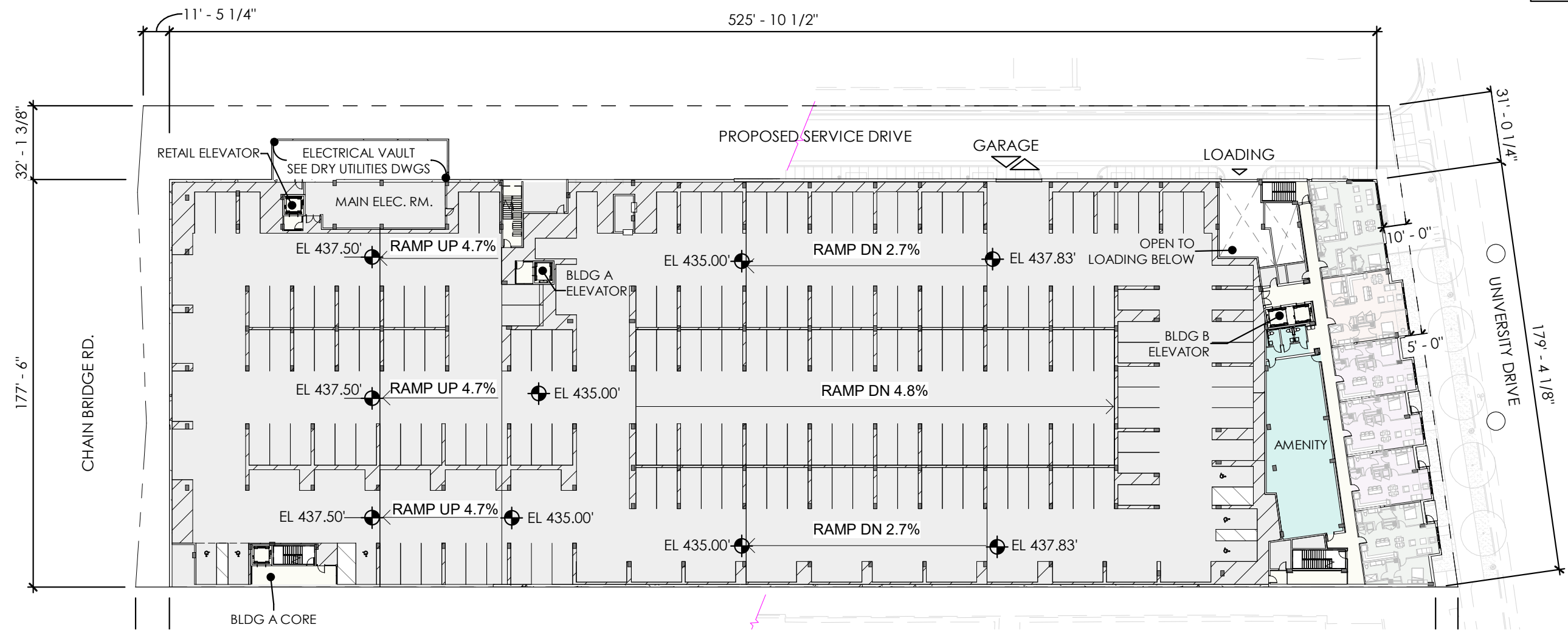
BUILDING ENTRANCE LEGEND	
	BUILDING ENTRANCE (LOBBY, RETAIL, ETC)
	UNIT ENTRANCE STOOP
	GARAGE ENTRANCE AND LOADING






LEGEND	
	BUILDING ENTRANCE (LOBBY, RETAIL, ETC)
	UNIT ENTRANCE STOOP
	GARAGE ENTRANCE AND LOADING






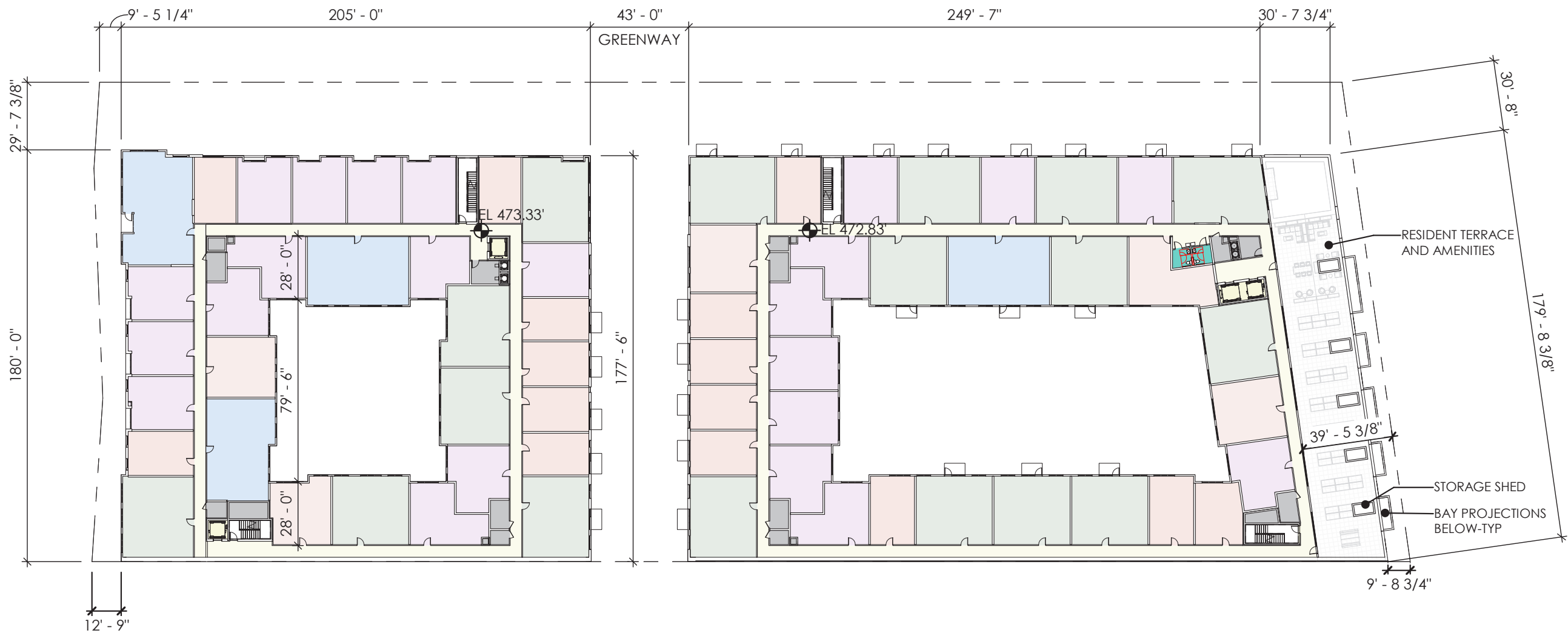
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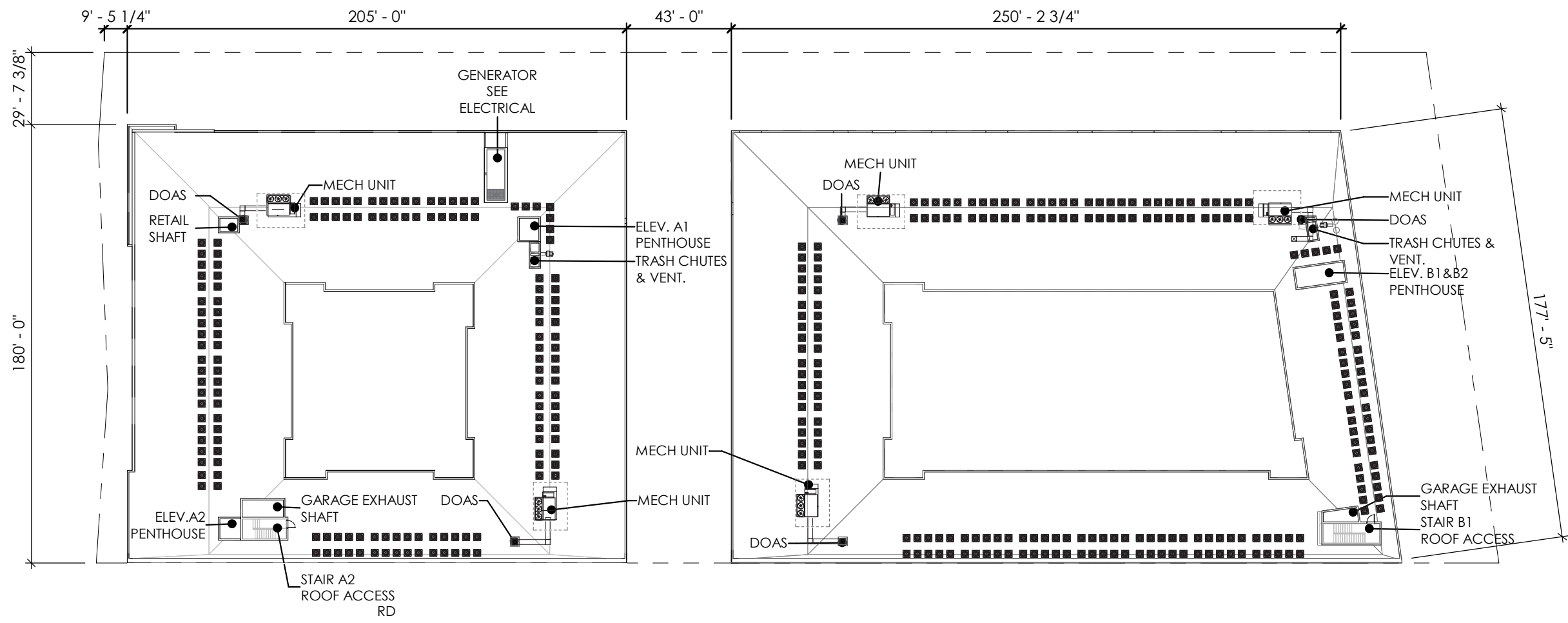


BUILDING A

BUILDING B

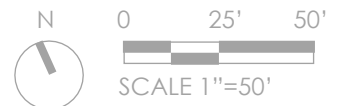


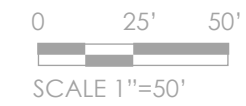
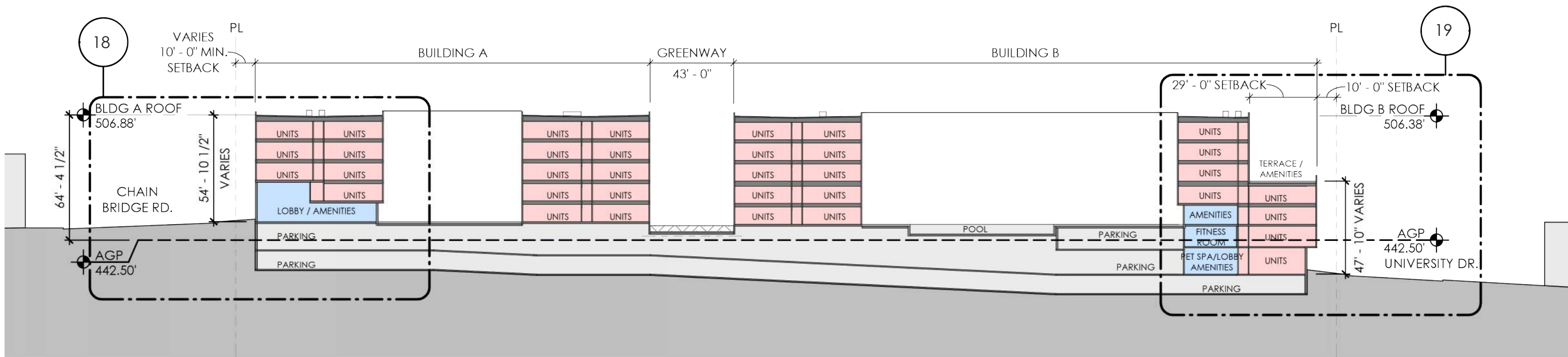
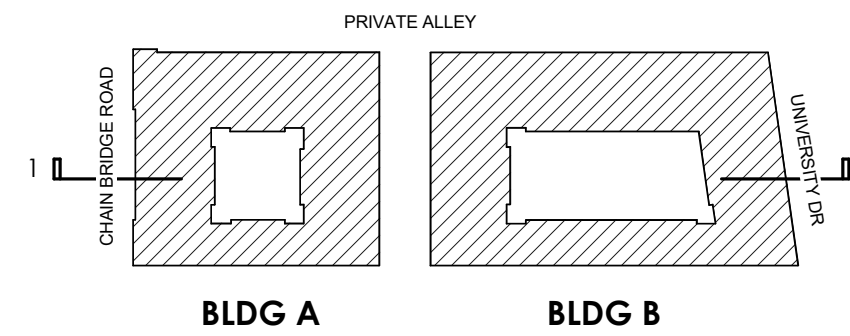
LEGEND	
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	UNIT ENTRANCE STOOP
	GARAGE ENTRANCE AND LOADING

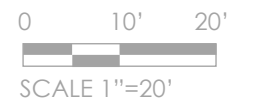
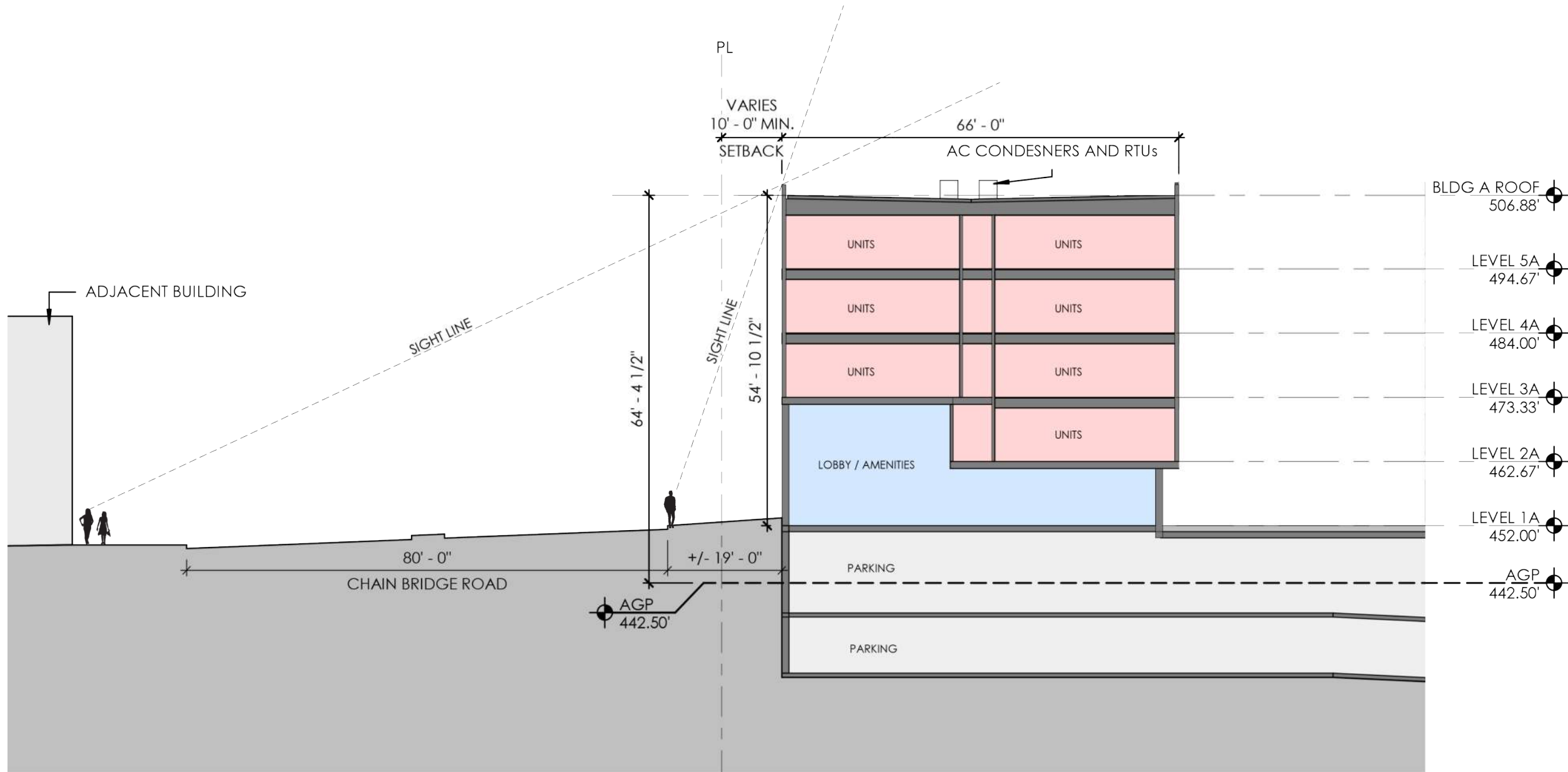
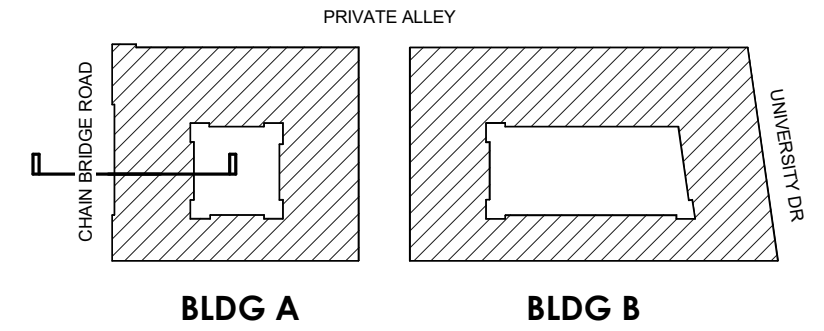


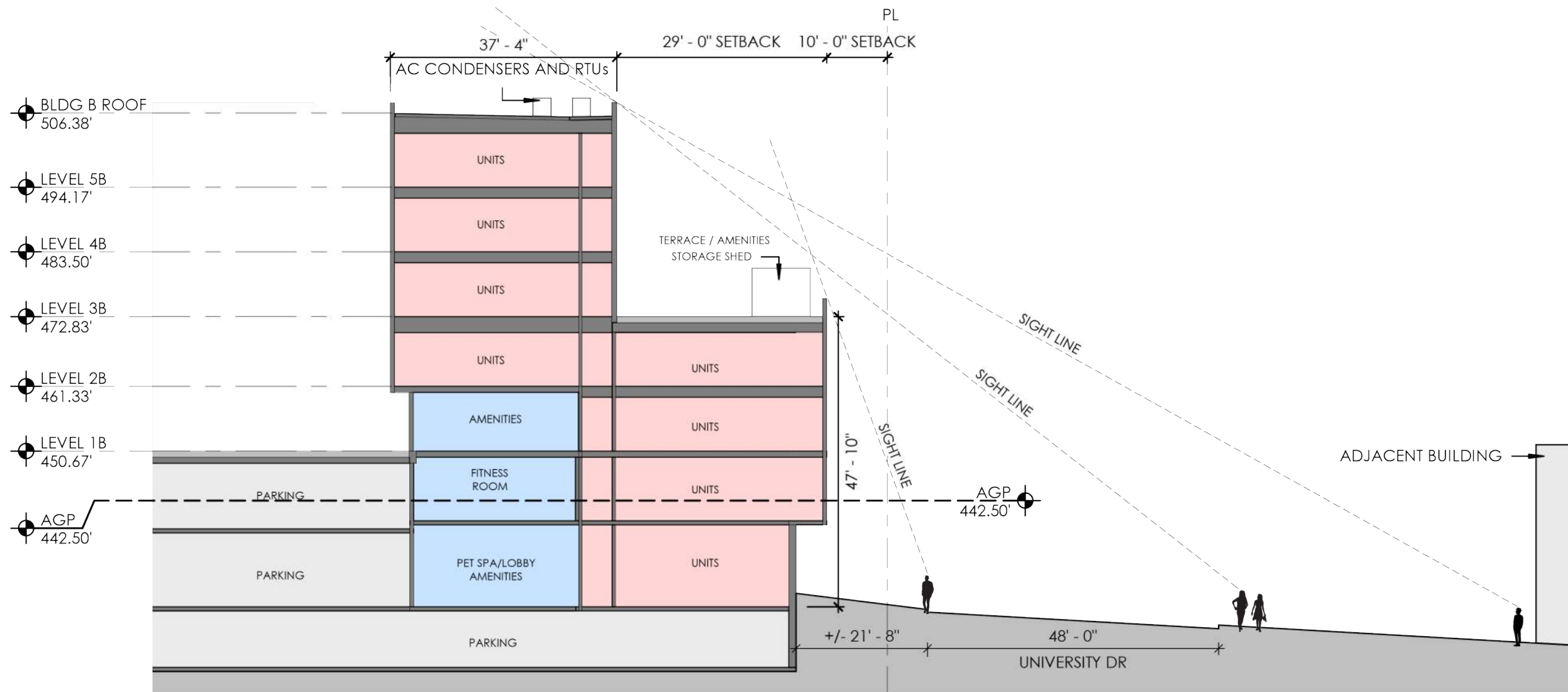
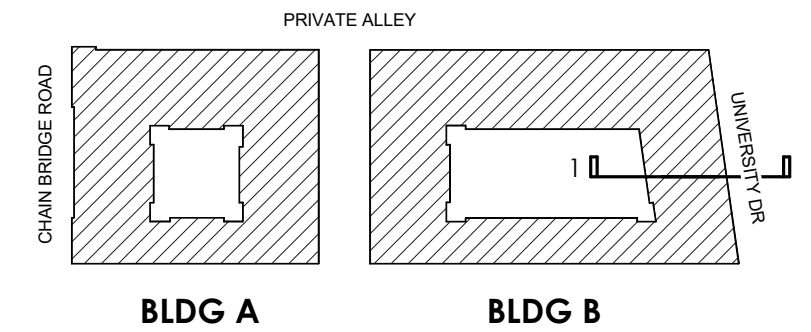
BUILDING A

BUILDING B



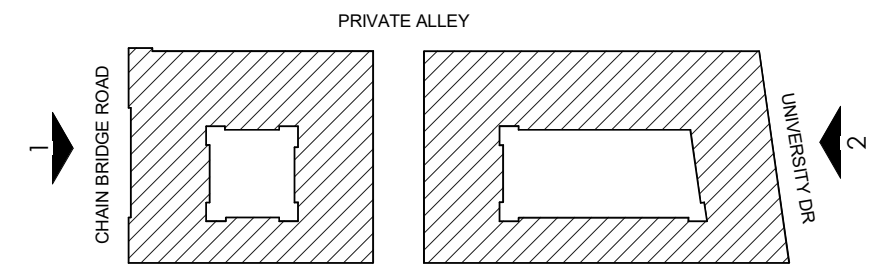






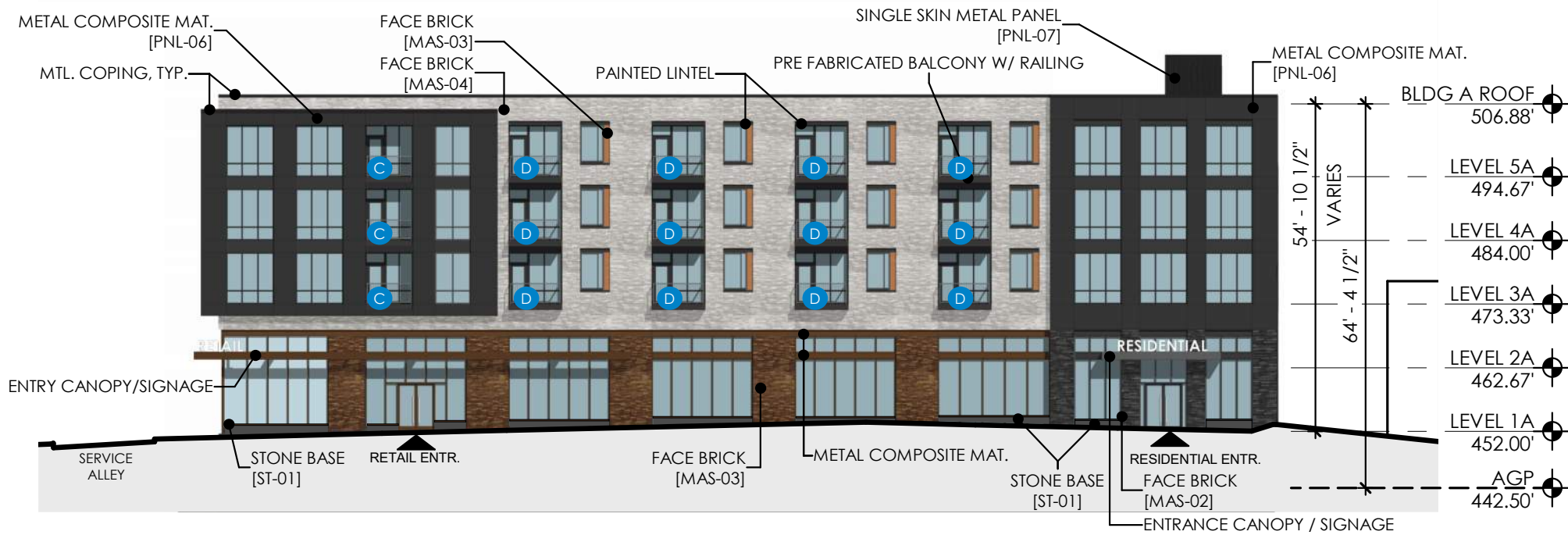


2 BLDG B - UNIVERSITY DR. ELEVATION
SCALE: 1" = 25'-0"



EXTERIOR MATERIAL LEGEND
SEE SHEET #35 FOR DETAILED MATERIAL INFORMATION

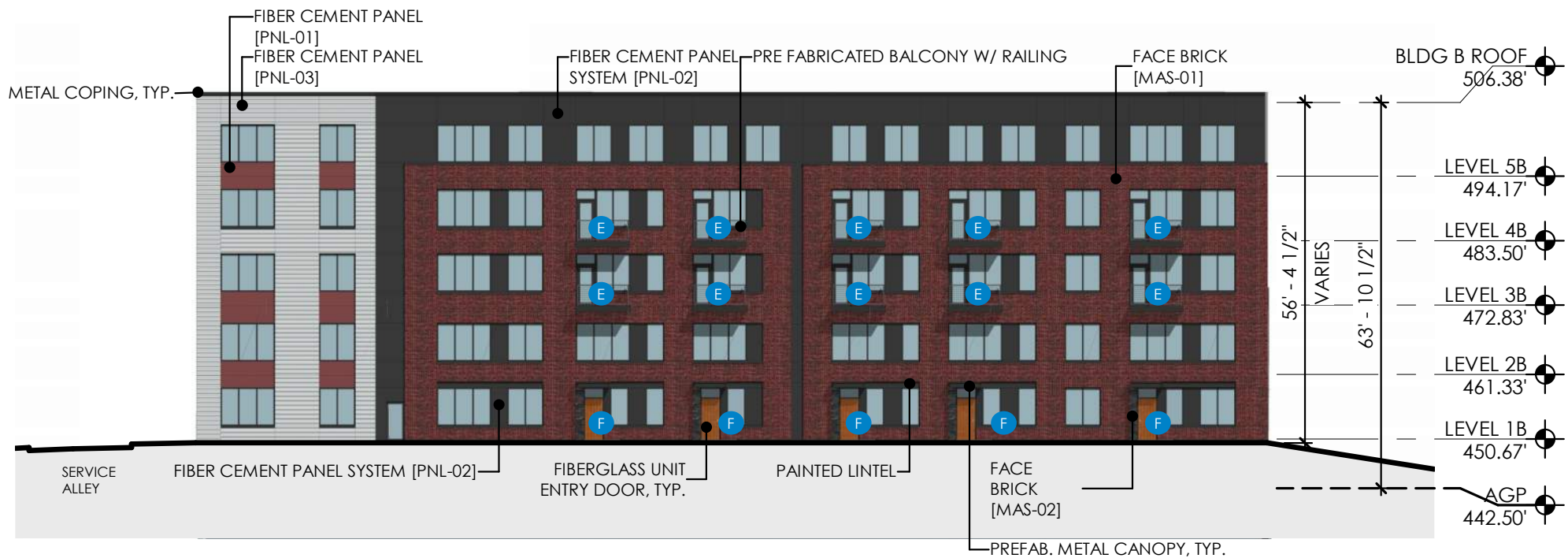
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MAS-02	MAS-05	PNL-03	ST-01
MAS-03	PNL-01	PNL-06	



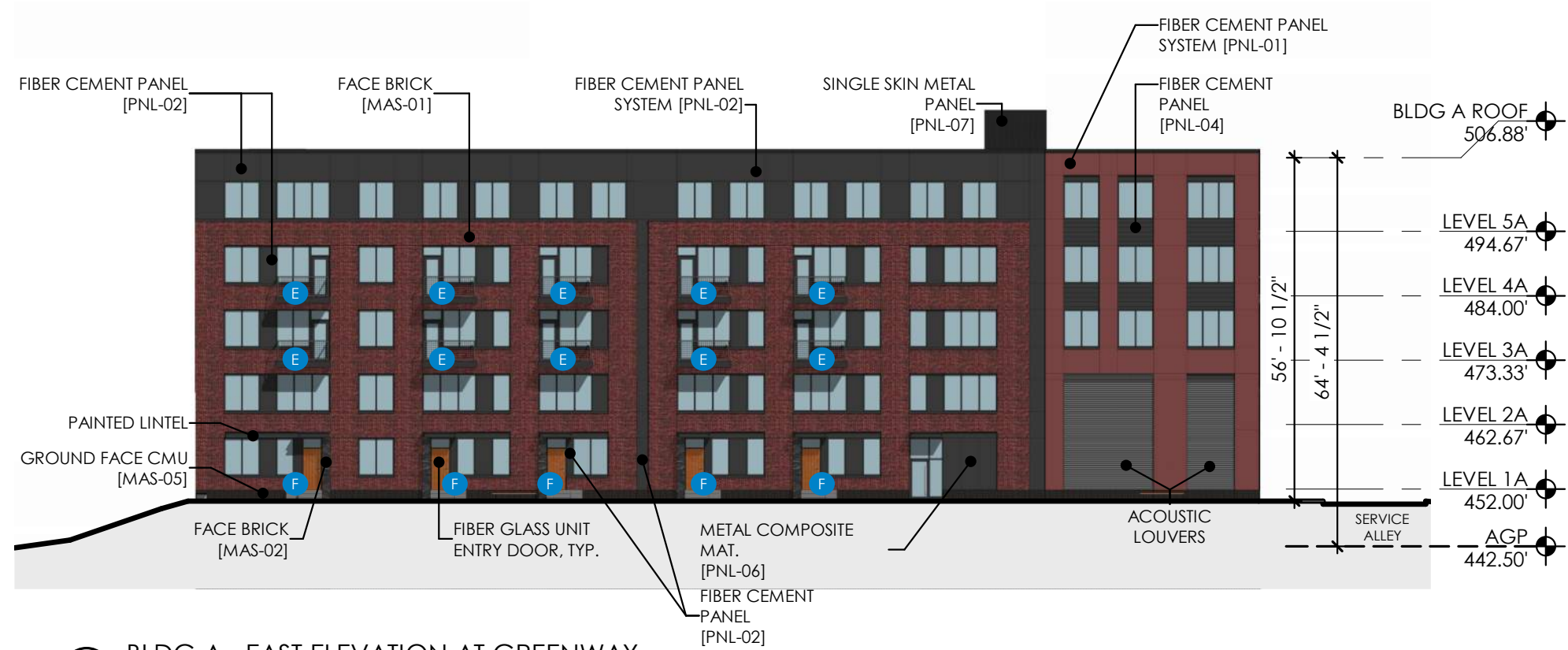
1 BLDG A - CHAIN BRIDGE RD. ELEVATION
SCALE: 1" = 25'-0"

UNIT BALCONY & STOOP LEGEND

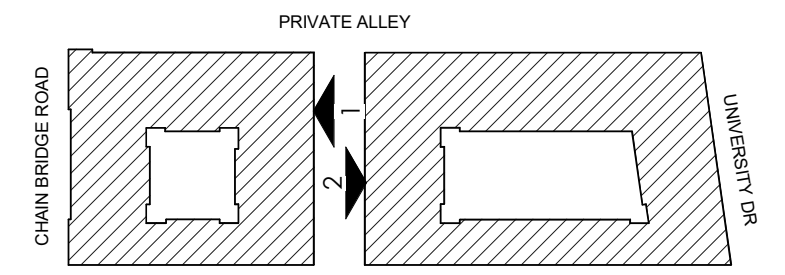
	UNIT ENTRY STOOP (UNIVERSITY DR.) 8' - 4" X 4' - 7"
	SEMI-RECESSED BALCONY 9' - 0" X 5' - 0" (EXTENDS 5" BEYOND BLDG FACE)
	RECESSED BALCONY 8' - 0" X 5' - 0"
	SEMI-RECESSED BALCONY 9' - 0" X 5' - 0" (EXTENDS 3' BEYOND BLDG FACE)
	PROJECTING BALCONY 9' - 0" X 5' - 0"
	UNIT ENTRY STOOP (GREENWAY) 7' - 8" X 5' - 0"



2 BLDG B - WEST ELEVATION AT GREENWAY
SCALE: 1" = 25'-0"



1 BLDG A - EAST ELEVATION AT GREENWAY
SCALE: 1" = 25'-0"

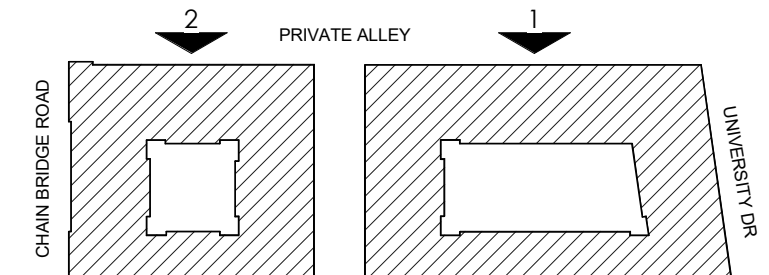
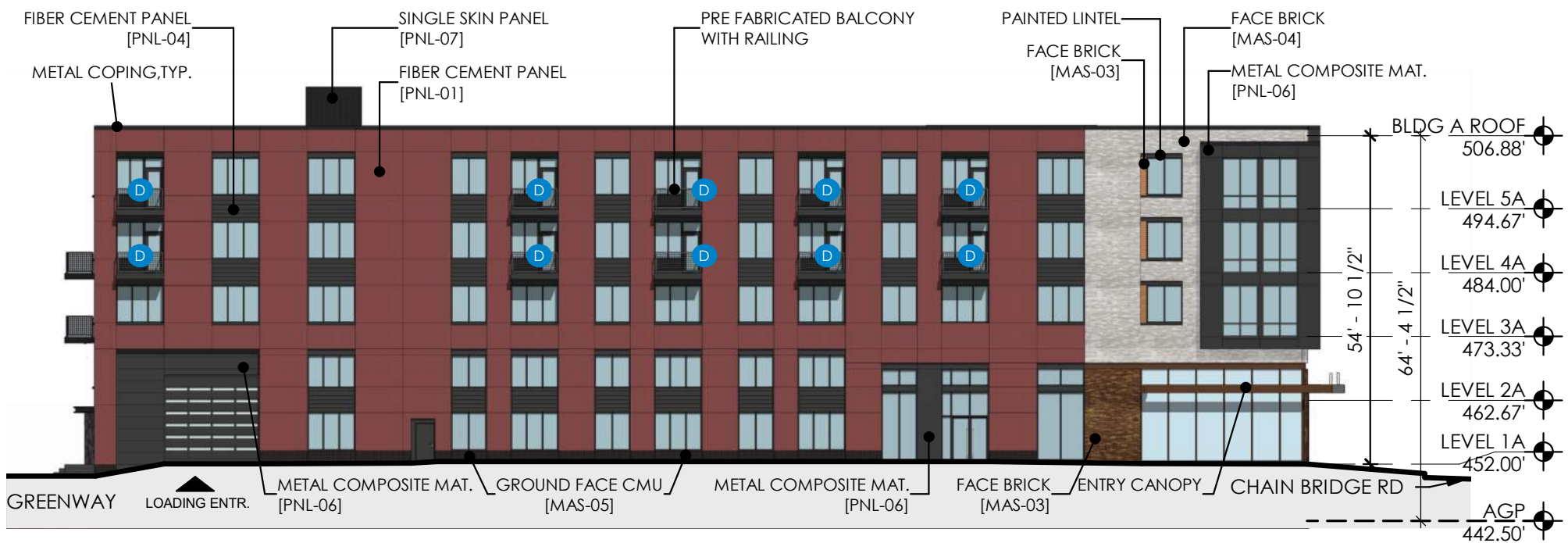


EXTERIOR MATERIAL LEGEND
SEE SHEET #35 FOR DETAILED MATERIAL INFORMATION

MAS-01	MAS-04	PNL-02	PNL-07
MAS-02	MAS-05	PNL-03	ST-01
MAS-03	PNL-01	PNL-06	

UNIT BALCONY & STOOP LEGEND

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E	PROJECTING BALCONY 9' - 0" X 5' - 0"
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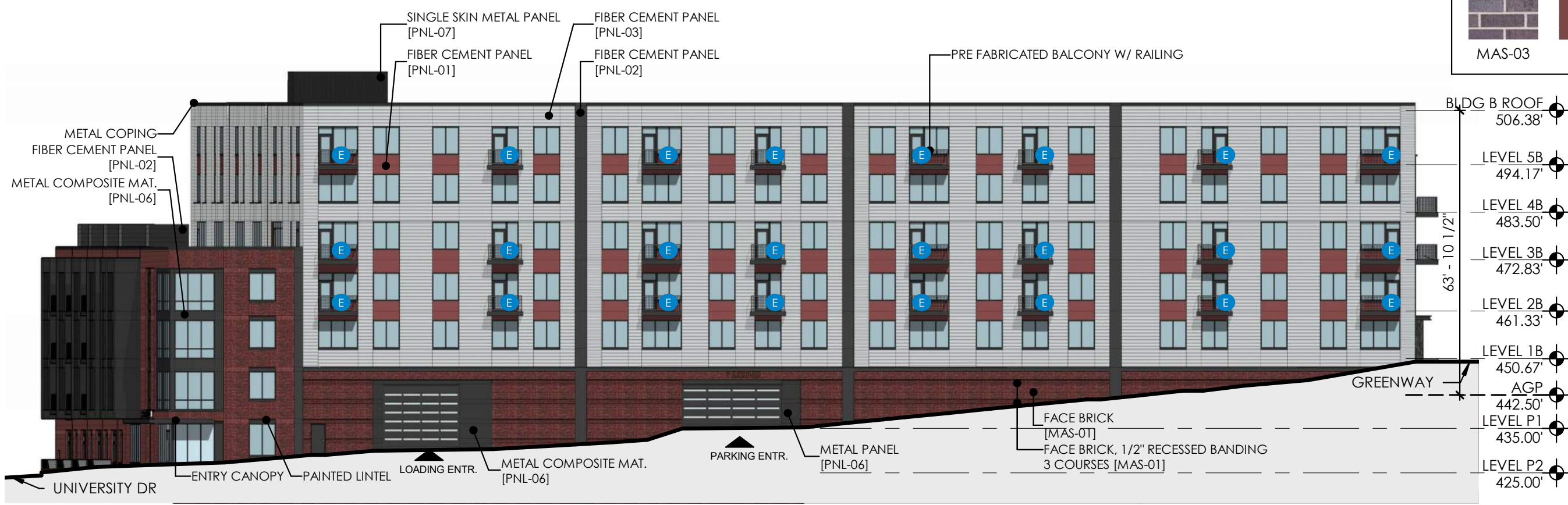


BLDG A **BLDG B**

EXTERIOR MATERIAL LEGEND
SEE SHEET #35 FOR DETAILED MATERIAL INFORMATION

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MAS-02	MAS-05	PNL-03	ST-01
MAS-03	PNL-01	PNL-06	

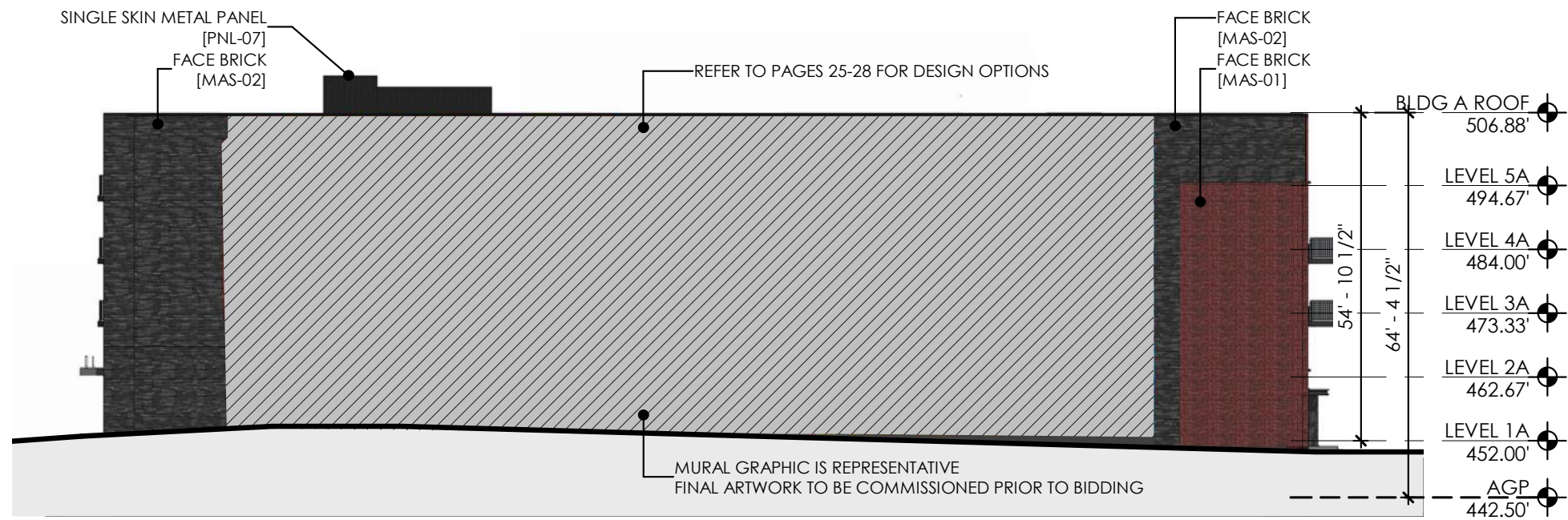
2 BLDG A - NORTH ELEVATION
SCALE: 1" = 25'-0"



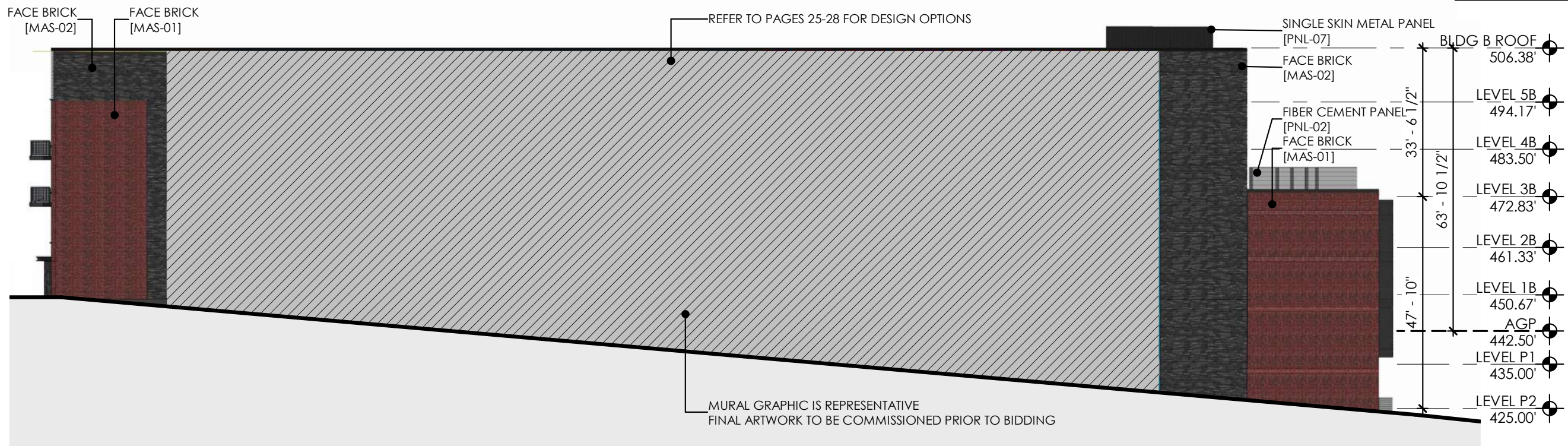
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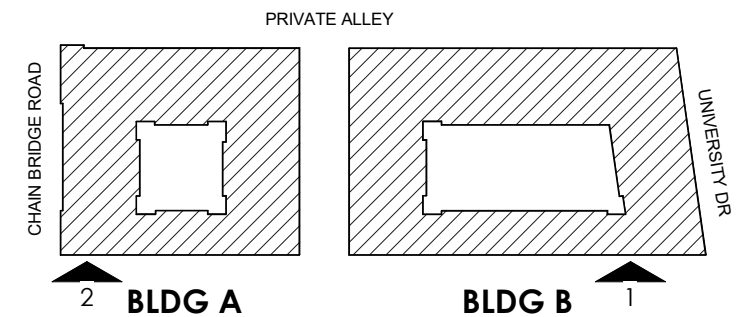
1 BLDG B - NORTH ELEVATION
SCALE: 1" = 25'-0"



2 BLDG A - SOUTH ELEVATION
SCALE: 1" = 25'-0"



1 BLDG B - SOUTH ELEVATION
SCALE: 1" = 25'-0"

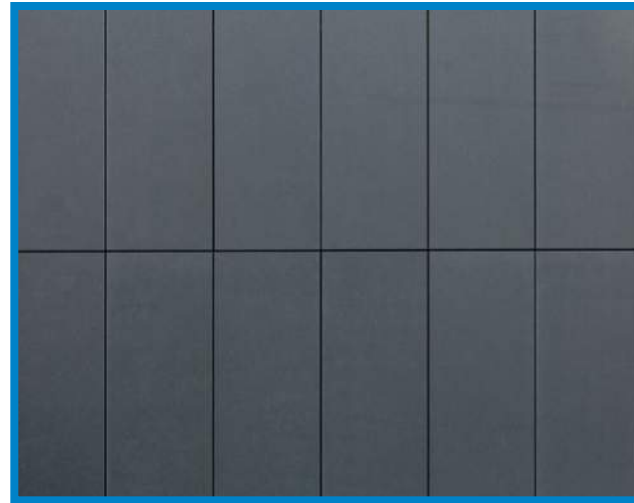


EXTERIOR MATERIAL LEGEND			
SEE SHEET #35 FOR DETAILED MATERIAL INFORMATION			
MAS-01	MAS-04	PNL-02	PNL-07
MAS-02	MAS-05	PNL-03	ST-01
MAS-03	PNL-01	PNL-06	

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6 TYPICAL STOREFRONT SYSTEM



5 METAL OR FIBER CEMENT PANEL SYSTEM



4 PAINTED ARCHITECTURAL LINTEL / HEADER



3 TYPICAL WINDOW SYSTEM, DARK GRAY OR BLACK FINISH



2 TYPICAL RAILING SYSTEM



1 PAINTED ARCHITECTURAL CANOPY



[MAS - 03] DEEP BRONZE BROWN BLEND



[MAS - 04] LIGHT GRAY BLEND



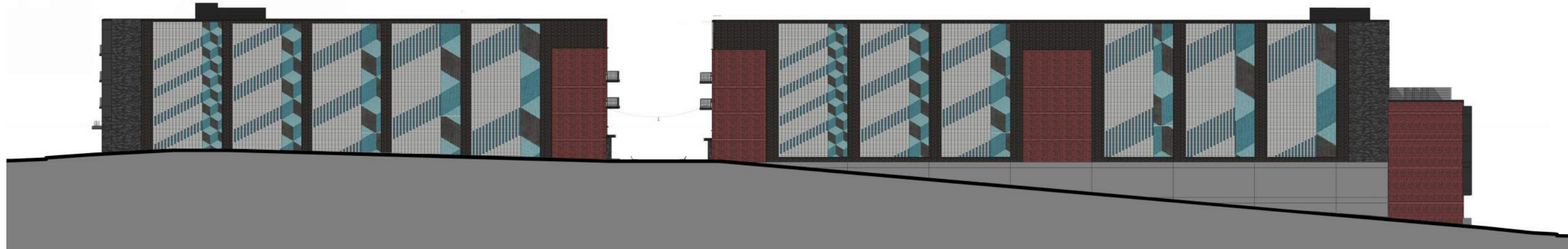
[MAS - 03] DEEP BRONZE BROWN BLEND



SOUTH ELEVATION



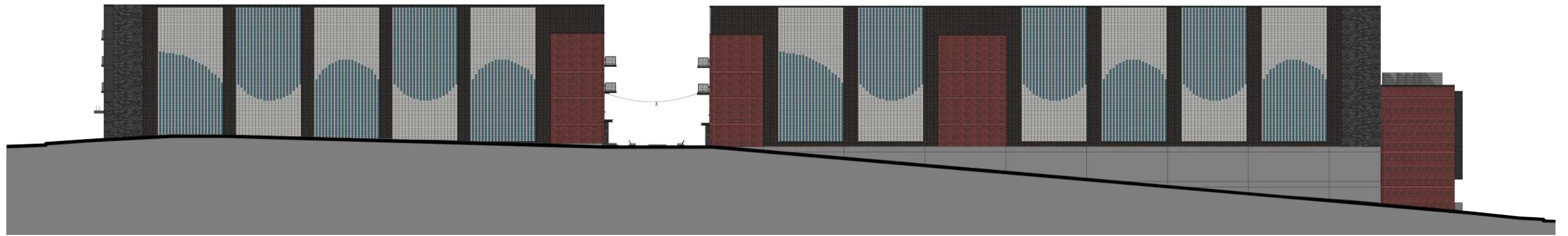
NOTE: THE WALL DESIGN/MURAL DESIGN IS ILLUSTRATIVE. FINAL DESIGN TO BE COORDINATED WITH CITY OF FAIRFAX COMMISSION ON THE ARTS AND PUBLIC ART COMMITTEE REQUIREMENTS.



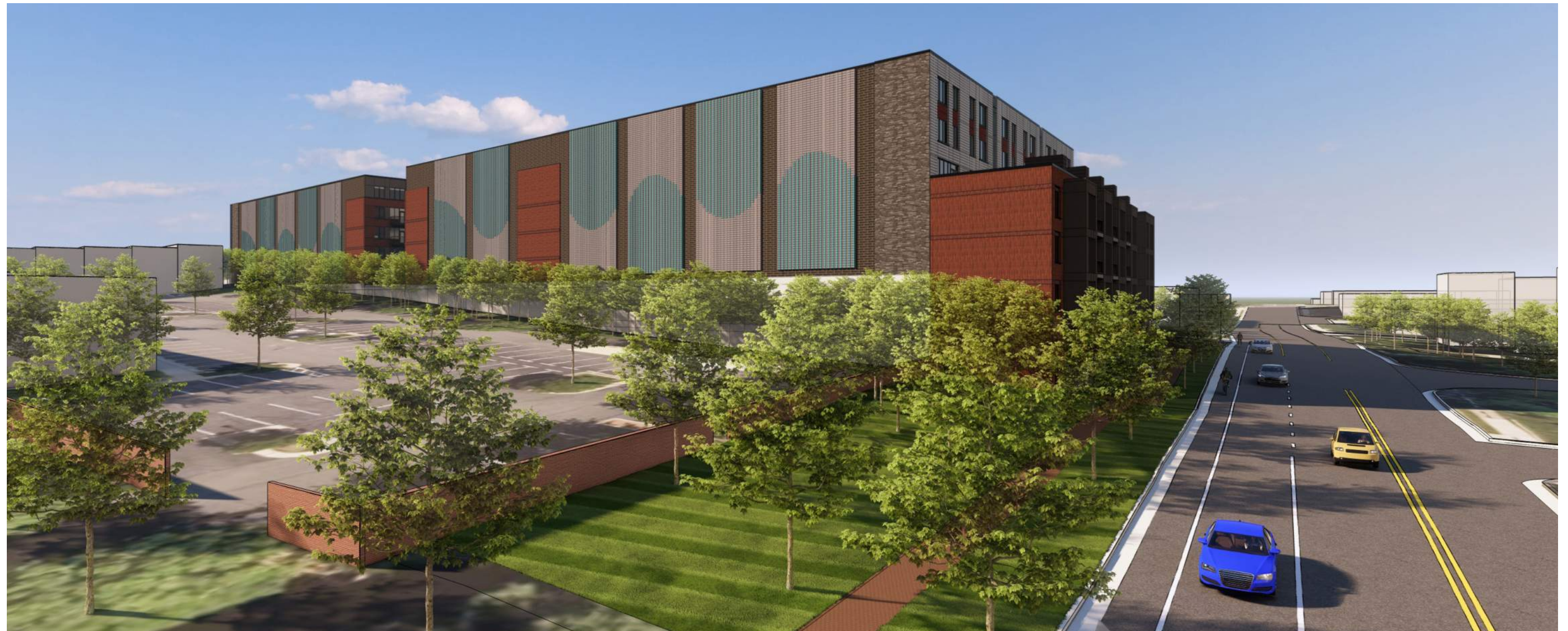
SOUTH ELEVATION



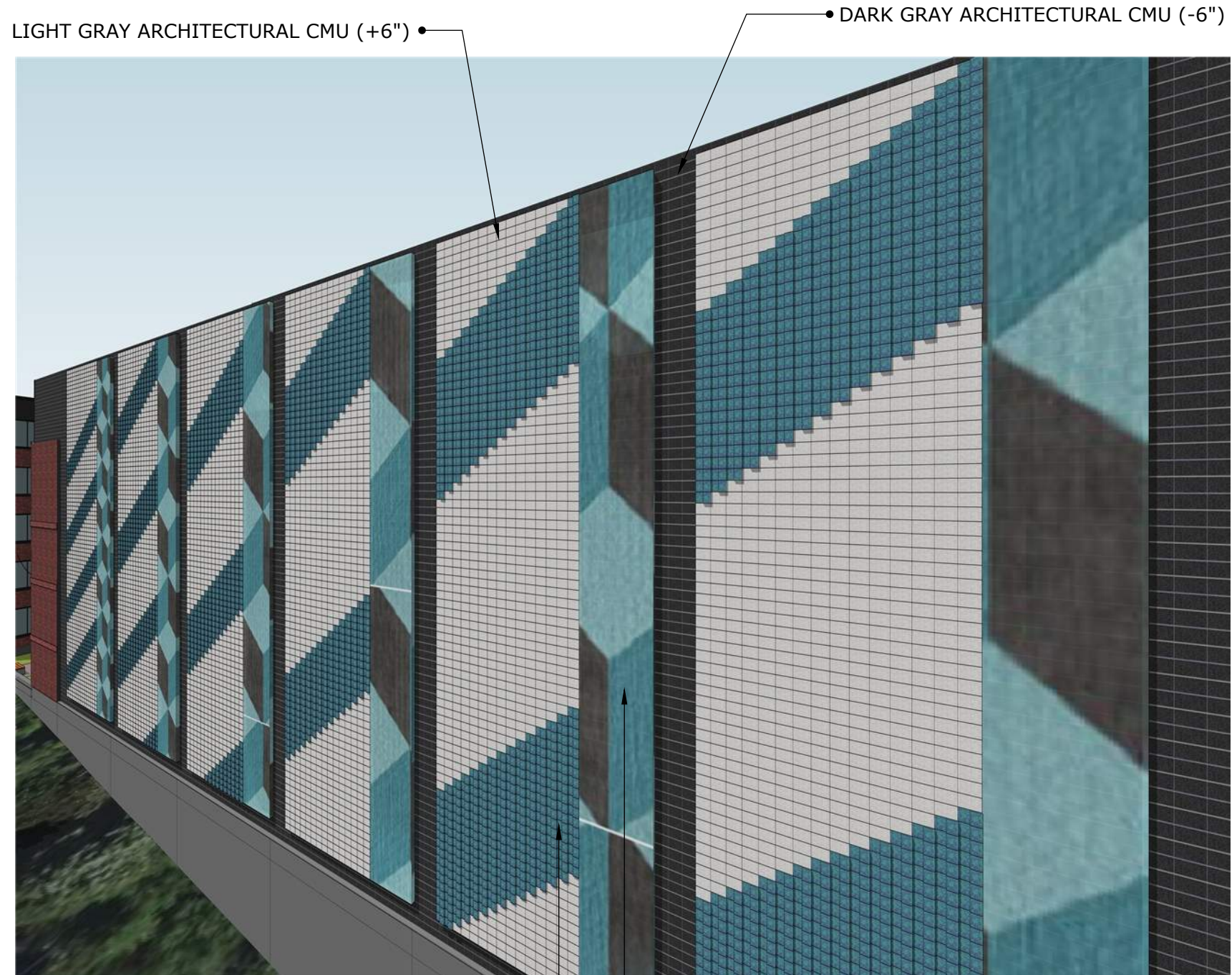
NOTE: THE WALL/MURAL DESIGN IS ILLUSTRATIVE. FINAL DESIGN TO BE COORDINATED WITH BOARD OF ARCHITECTURAL REVIEW



SOUTH ELEVATION



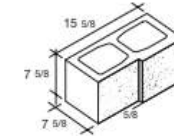
NOTE: THE WALL/MURAL DESIGN IS ILLUSTRATIVE. FINAL DESIGN TO BE COORDINATED WITH BOARD OF ARCHITECTURAL REVIEW



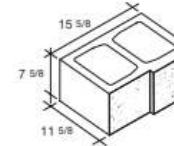
NOTE: THE WALL/MURAL DESIGN IS ILLUSTRATIVE.
FINAL DESIGN TO BE COORDINATED WITH BOARD OF ARCHITECTURAL REVIEW

Angelus
BLOCK CO., INC.
Since 1944
CONCRETE MASONRY UNITS

Projected Block Shotblast



**8x8x16
Projected Block**



**12x8x16
Projected Block**
May be limited in plant location.

Features

Half the unit face projects outward 5/8-inch, creating popouts that enliven walls with contrasts of highlights and shadow. Use them as individual units for accent, or as fields in random or organized patterns.

Availability

Special order only. Configurations such as open ends and open end bond beams may be available. Units may be made in any of our integral color options.

Standards

Concrete masonry units manufactured by Angelus Block Co., Inc. meet ASTM C90 Standard Specification for Loadbearing Concrete Masonry Units.

Fire Rating

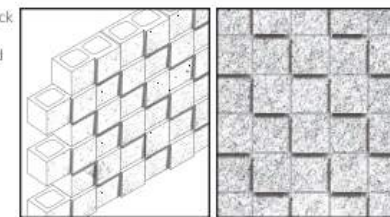
Solid grouted walls 8-in wide and greater are rated at 4 hours, per CBC Table 721.1(2). For partially grouted walls, depending on the specified weight classification, 8-inch wide units are 1 hour to 2 hours, and 12-inch wide units are 2 hours to 3 hours.

Sustainable Features

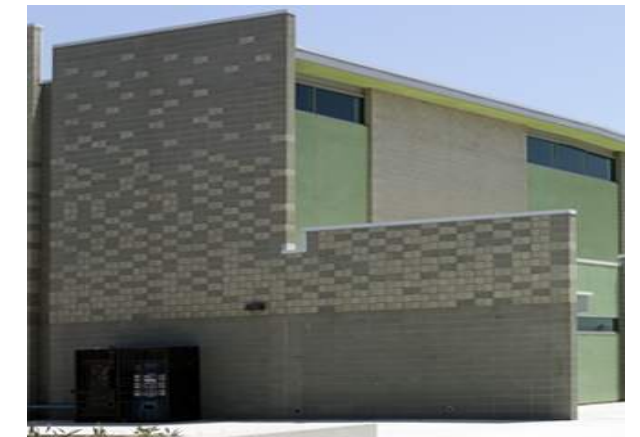
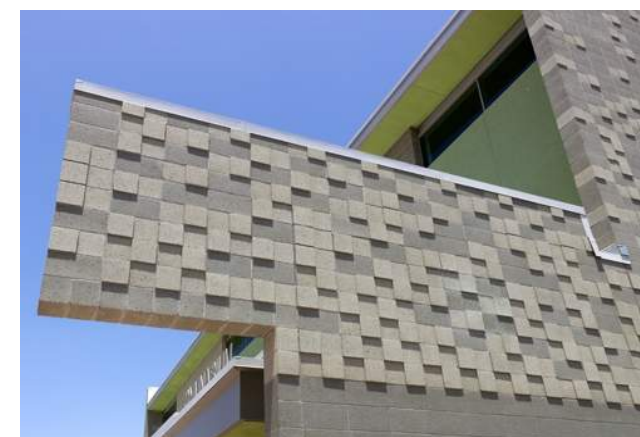
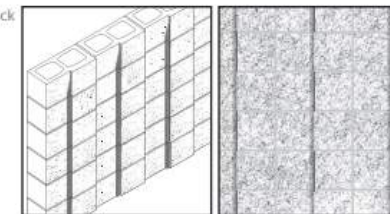
- This product is included in Type III Environmental Product Declarations for Angelus Block Concrete Masonry Units, specific to location and mix designs, and in one of six Health Product Declarations, as applicable for its weight classification.
- Contributes to green rating systems calculations, including Regional Materials, EPDs, and Material Ingredient Reporting.
- Angelus Block CMU help facilitate and support many more strategies and credits, including Optimize Energy Performance, Construction Waste Management, and several within Indoor Environmental Quality. Angelus Block CMU contain no VOCs.

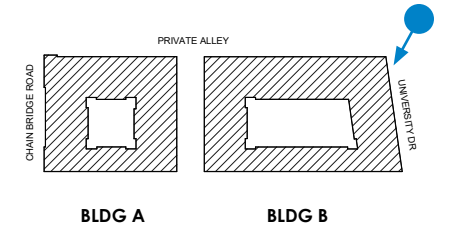
See *Sustainable & Resilient Design: Angelus Block Products' Application to Rating Systems and Code* for detailed information. A copy is available from your representative, or as a download at www.AngelusBlock.com.

Projected Block
Burnished
Running Bond

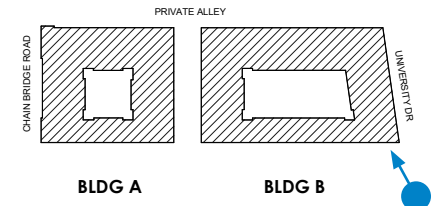


Projected Block
Burnished
Stack Bond

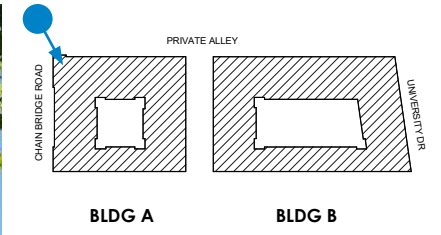




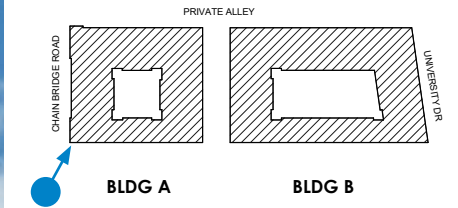
NOTE: PLANTING STRIP SHOWN IN THE NEW SERVICE DRIVE HAS BEEN REMOVED PER THE REQUEST FROM THE FIRE MARSHALL & PUBLIC WORKS/TRANSPORTATION DIVISION
 - SEE SHEET 36 FOR UPDATED LAYOUT

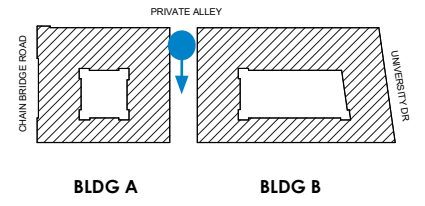


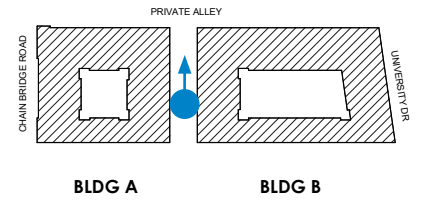
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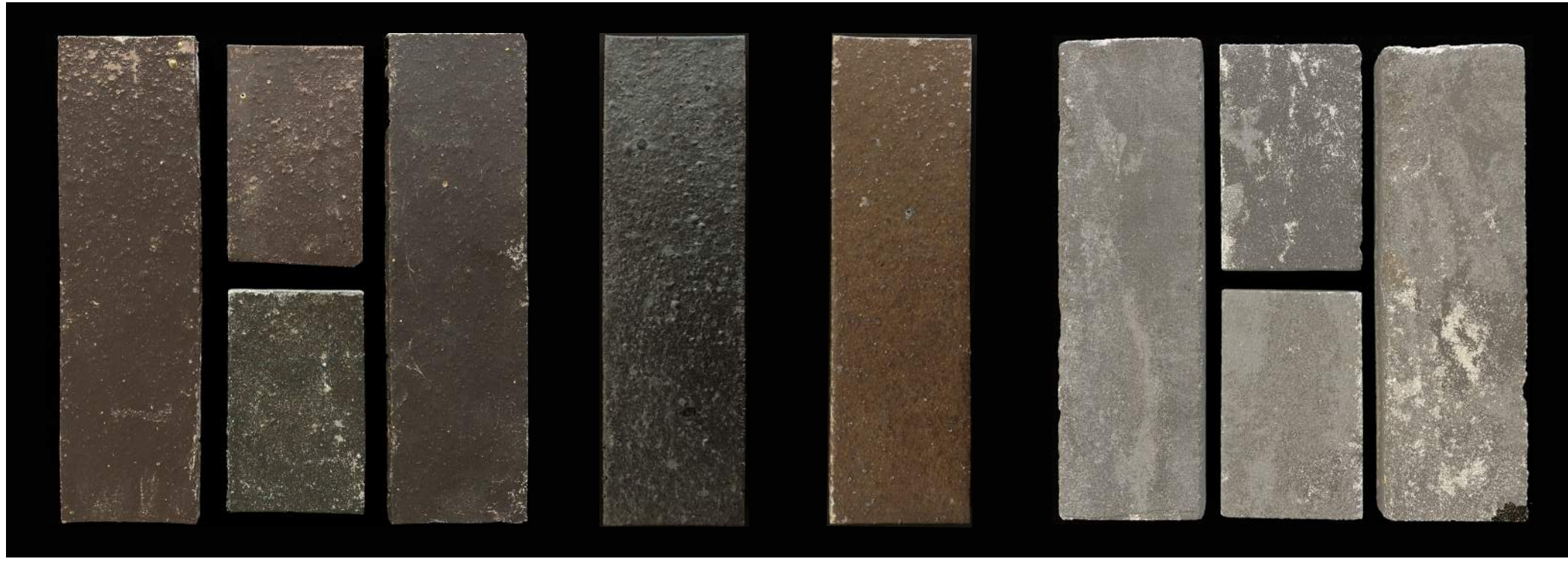




4131 CHAIN BRIDGE RD

WDG

1



1. **MAS-01** : Face Brick, Deep Red/Burgundy/Gray Blend

2. **MAS-02** : Face Brick, Dark Charcoal Gray

3. **MAS-03** : Face Brick, Deep Bronze/Brown Blend

4. **MAS-04** : Face Brick, Light Gray Blend

5. **MAS-05** : Architectural Ground-Face CMU, Dark Charcoal Gray

6. **ST-01** : Stone/Cast Stone Base, Color: Dark Gray

7. **PNL-01** : Fiber-Cement Smooth Siding/Panel System, Paint color similar to SW 7594

8. **PNL-02** : Fiber-Cement Smooth Siding/Panel System, Paint color similar to SW 7615

9. **PNL-03** : Fiber-Cement Smooth Siding/Panel System, Paint color similar to SW 7072

10. **PNL-06** : Metal Panel System, Finish color similar to SW 6992

11. **PNL-07** : Metal Panel System, Finish color similar to SW 6083

5

6



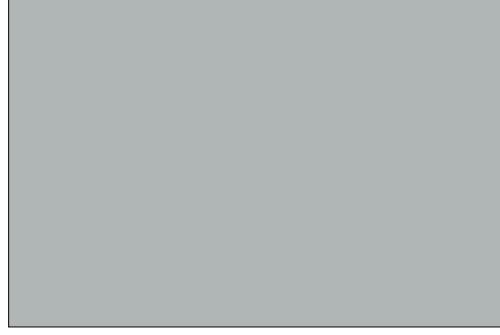
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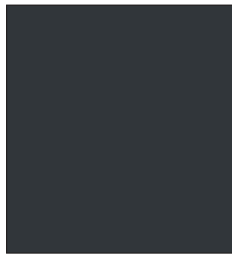
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