PROPOSED REZONING TDC ACQUISITIONS, LLC

4131 CHAIN BRIDGE ROAD CITY OF FAIRFAX, VIRGINIA



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CIVIL ENGINEER BOHLER

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THE HILL, A DAVIES FAMILY LLC C/O DAVIES AND DAVIES

OWNER 5531 LEE HIGHWAY; SUITE 206 ARLINGTON, VA 22207



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PROPOSED REZONING

4131 CHAIN BRIDGE RD

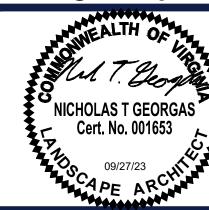
TDC ACQUISITIONS,

LLC



HERNDON, VIRGINIA 20170
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COVER SHEET

C-1.00

PARKING AND LOADING STANDARDS

1 /\	ININO AND LOADING STANDA	AITDO	
	DESCRIPTION	ALLOWED/REQUIRED	PROVIDED
PAR	KING REQUIREMENTS		
	TOTAL	489 TOTAL SPACES ARE REQUIRED	494 PARKING SPACES PROVIDED (ALL PARKING IS PROVIDED WITHIN THE ONSITE BELOW GRADE PARKING STRUCTURE)
	SEE UNIT TYPE SUMMARY AND RESIDENTIAL INFORMATION	PARKING RATIO CALCULATION	BELOW FOR FURTHER DETAILED
LOAE	DING REQUIREMENTS		
	MULTIFAMILY 50+ UNITS	1 LOADING SPACE	-
	RETAIL UNDER 10,000 sf	NONE	-
	TOTAL	1 LOADING SPACE REQUIRED	2 LOADING SPACES PROVIDED

UNIT TYPE SUMMARY - BUILDING A													
								FLOORS					
UNIT TYPE	AVG NSF	SUBTOTAL	%	LEVEL P3	LEVEL P2	LEVEL P1	LEVEL 1	LEVEL 2	LEVEL 3	LEVEL 4	LEVEL 5	LEVEL 6	TOTAL AREA
STUDIO	549.3 SF	41	25.6%	0	0	2	5	7	8	8	6	5	22,523 SF
1BR	707.5 SF	53	33.1%	0	0	2	7	8	11	11	9	5	37,500 SF
1BRD	890.3 SF	10	6.3%	0	0	1	2	1	1	1	3	1	8,903 SF
2BR	1,053.7 SF	39	24.4%	0	0	1	6	7	8	8	8	1	41,094 SF
3BR	1,422.0 SF	17	10.6%	0	0	0	0	2	4	4	4	3	24,174 SF
	4,622.9 SF	160	100.0%	0	0	6	20	25	32	32	30	15	134,194 SF

			UNIT	TYPF	SUM	MAR	Y - BI	III DII	NG B				
	7		01 111		. 0011			FLOORS					
UNIT TYPE	AVG NSF	SUBTOTAL	%	LEVEL P3	LEVEL P2	LEVEL P1	LEVEL 1	LEVEL 2	LEVEL 3	LEVEL 4	LEVEL 5	LEVEL 6	TOTAL AREA
STUDIO	517.4 SF	45	23.1%	0	0	7	9	11	8	10	0	0	23,283 SF
1BR	712.8 SF	75	38.5%	0	3	14	13	17	14	14	0	0	53,459 SF
1BRD	922.3 SF	14	7.2%	0	1	2	5	3	2	1	0	0	12,912 SF
2BR	1,053.4 SF	54	27.7%	0	0	10	12	12	10	10	0	0	56,885 SF
3BR	1,448.4 SF	7	3.6%	0	0	1	2	2	1	1	0	0	10,138 SF
	4,654.3 SF	195	100.0%	0	4	34	41	45	35	36	0	0	156,678 SF

UNIT TYPE SUMMARY - BUILDINGS A & B

								FLOORS					
UNIT TYPE	AVG NSF	SUBTOTAL	%	LEVEL P3	LEVEL P2	LEVEL P1	LEVEL 1	LEVEL 2	LEVEL 3	LEVEL 4	LEVEL 5	LEVEL 6	TOTAL AREA
STUDIO	532.6 SF	86	24.2%	0	0	9	14	18	16	18	6	5	45,806 SF
1BR	710.6 SF	128	36.1%	0	3	16	20	25	25	25	9	5	90,959 SF
1BRD	909.0 SF	24	6.8%	0	1	3	7	4	3	2	3	1	21,815 SF
2BR	1,053.5 SF	93	26.2%	0	0	11	18	19	18	18	8	1	97,979 SF
3BR	1,429.7 SF	24	6.8%	0	0	1	2	4	5	5	4	3	34,313 SF
	4,635.4 SF	355	100.0%	0	4	40	61	70	67	68	30	15	290,872 SF

GROUND FLOOR RETAIL USE

GROUND FLOOR GSF - 70,112 GSF RETAIL GSF- 4,810 SI % RETAIL : GROUND FLOOR AREA = 6.86%

Residential Parking - Ratio Calculation

Total Residential + Retail Parking Spaces Required

	Parking Ratio	% Proposed	Ble	nded Rati	o
	(a)	(b)	(c)	(d)	(e)
Studio	1.25	24.23%	0.30	0.27	0.2
1 Bedroom	1.5	42.82%	0.64	0.58	0.5
2 Bedroom +	2	32.96%	0.66	0.59	0.4
Blended Parking Ratio		100.00%	1.60	1.44	1.3
10% Reduction within CU	Zoning - Allowed in TOD				
Blended Parking Ratio w/ 1	0% Reduction				
Total Unit Count - propose	ed per rezoning applicatio	on			35
Blended Parking Ratio	, 3 , ,				1.3
Residential Parking Spaces	Required				47
(b) Proposed unit mix - su(c) Required Parking Ratio(d) Applying 10% Reduction(e) Applying 1.5 per DU fo	before Reduction on for CU				
Retail Parking - Ratio Calcul	lation				
J					
Total Retail (SF) - propose	ed per rezoning application	n			4,81
-		n			4,81 2
Total Retail (SF) - propose	r Area	n			•
Total Retail (SF) - propose 1 Space per 200 SF of Floo	r Area Zoning	n			2

DIMENSIONAL STANDARDS

DESCRIPTION		ALLOWED/REQUIRED	PROVIDED
110-	3.6.2 - DENSITY (UNITS / ACRE) MAXIMUM	20 DU / ACRE(GENERAL) 24 DU / ACRE (ADU)	DENSITY: 132.07 DU PER ACRE* [PROPOSED DWELLING UNITS: 35 (355 UNITS / 2.688 AC = 132.07)]
110-	3.7.3 (C) (1) (a) LOT AREA, MIN. (SQUARE FEET)	NOT APPLICABLE	117,082 SF
110-	3.7.3 (C) (1) (b) LOT WIDTH, MINIMUM (FEET)	NOT APPLICABLE	211 FEET
110-	3.7.3 (C) (2) HEIGHT, MAXIMUM	48'	65 FEET*
	3.7.3 (C) (3) (a) - BUILD-TO-LINE, MANDATORY RCENT)	50%	A MINIMUM OF 50% OF THE BUILDING FRONTING PUBLIC ROW IS AT OR CLOSER THAN 10 TO THE RIGHT OF WAY LINE.
110-	3.7.3 (C) (3) (b) - REQUIRED YARDS (FEET)		
	FRONT (CHAIN BRIDGE ROAD)	10 FEET MAXIMUM	10 FEET
	FRONT (UNIVERSITY DRIVE)	10 FEET MAXIMUM	10 FEET
	SIDE (SOUTH) NOT ADJACENT TO RESIDENTIAL	0'	0'
	SIDE (NORTH) NOT ADJACENT TO RESIDENTIAL	10'	32'
110-	3.7.3 (C) (4) LOT COVERAGE (MAXIMUM)	90 PERCENT	±96.7%*
110-	3.7.3 (C) (5) BUILDING COVERAGE (MAXIMUM)	80 PERCENT	±62.0%

PROPOSED ZONE: CU (COMMERCIAL URBAN) LOCATED WITHIN THE OLD TOWN FAIRFAX TRANSITION OVERLAY DISTRICT

SURVEYED DESCRIPTION

LANDS OF THE HILL, A DAVIES FAMILY LLC **DEED BOOK 24278 PAGE 1095 DEED BOOK 25936 PAGE 1425** CITY OF FAIRFAX FAIRFAX COUNTY, VIRGINIA

BEGINNING IN THE WESTERLY RIGHT-OF-WAY LIMITS OF UNIVERSITY DRIVE (VARIABLE WIDTH RIGHT-OF-WAY AND SAID POINT OF BEGINNING ALSO BEING A LINE OF DIVISION BETWEEN PARCEL 1 OF FINAL SUBDIVISION PLAT (DEED BOOK 6927 PAGE 11; PID 57 4 02 041) ON THE NORTH, AND THE LANDS OF THE HILL, A DAVIES FAMILY LLC (DEED BOOK 24278 PAGE 1095 AND DEED BOOK 25936 PAGE 1425; PID 57 4 02 040) ON THE SOUTH, THENCE DEPARTING SAID DIVISION LINE AND RUNNING WITH SAID UNIVERSITY DRIVE;

- 1. SOUTH 15° 25' 19" WEST, 211.73 FEET TO THE DIVISION LINE OF SAID THE HILL, A DAVIES FAMILY LLC TO THE NORTH AND INNS OF COURT, CONDOMINIUM -UNIT NO. 1 (DEED BOOK 6416 PAGE 639; PID 57 4 26 001) TO THE SOUTH, THENCE DEPARTING UNIVERSITY DRIVE AND RUNNING WITH SAID LINE OF DIVISION;
- 2. NORTH 66° 28' 41" WEST, 575.99 FEET TO THE EASTERLY RIGHT-OF-WAY LINE OF CHAIN BRIDGE ROAD - VA RTE 123 (VARIABLE WIDTH RIGHT-OF-WAY), THENCE DEPARTING SAID LINE OF DIVISION BETWEEN SAID LANDS OF INNS OF COURT, CONDOMINIUM - UNIT NO. 1 TO THE SOUTH AND THE HILL, A DAVIES FAMILLY LLC TO THE NORTH AND RUNNING WITH SAID EASTERLY RIGHT-OF-WAY LINE OF CHAIN BRIDGE ROAD THE FOLLOWING THREE (3) COURSES AND DISTANCES;

3. NORTH 27° 18' 39" EAST, 71.60 FEET, THENCE;

- 4. CONTINUING, NORTH 21° 19' 01" EAST, 100.55 FEET, THENCE;
- 5. CONTINUING NORTH 27° 14' 54" EAST, 37.78 FEET, TO A POINT IN THE SAID EASTERLY RIGHT-OF-WAY LINE OF CHAIN BRIDGE ROAD AND BEING A LINE OF DIVISION BETWEEN THE SAID LANDS OF PARCEL 1 OF FINAL SUBDIVISION PLAT TO THE NORTH AND THE HILL, A DAVIES FAMILY LLC TO THE SOUTH, THENCE DEPARTING SAID CHAIN BRIDGE ROAD AND RUNNING WITH THE SAID LINE OF
- 6. SOUTH 66° 28' 41" EAST, 542.84 FEET TO THE POINT OF BEGINNING.

CONTAINING 117,082 SQUARE FEET OR 2.688 ACRES

BEING THE SAME PROPERTY AS DESCRIBED IN TITLE COMMITMENT REPORT PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY COMMITMENT NO. DC2103072, WITH A COMMITMENT DATE OF OCTOBER 17, 2021, AND IS SUBJECT TO RESTRICTIONS, COVENANTS AND/OR EASEMENTS, WRITTEN OR IMPLIED.

GENERAL NOTES

- THE PROPERTY THAT IS SUBJECT TO THIS REZONING APPLICATION IS IDENTIFIED IN THE CITY OF FAIRFAX TAX MAP RECORDS AS 57-4-02-040 AND CONTAINS APPROXIMATELY 2.688 ACRES OR 117,082 SF.
- 2. THE PROPERTY IS CURRENTLY ZONED RM (RESIDENTIAL MEDIUM), AND LIES WITHIN THE OLD TOWN TRANSITION OVERLAY DISTRICT. THIS APPLICATION PROPOSES TO REZONE THE PROPERTY TO THE CU DISTRICT (COMMERCIAL URBAN).
- THIS PLAN IS BASED ON A BOUNDARY & TOPOGRAPHICAL/ ALTA SURVEY BY:
 - **BOHLER ENGINEERING** PROJECT#: SS212198
 - DATE: 01/06/22; REVISED 1/17/22 TOPOGRAPHY IS FIELD RUN AND SHOWN AS 1' CONTOURS ON SHEET C-3.00
- NO KNOWN BURIAL GROUNDS EXIST WITHIN THE LIMITS OF THE PROPERTY. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE

PANEL 5 OF 6", COMMUNITY-PANEL NUMBER 515524, WITH A MAP EFFECTIVE DATE OF JUNE 2, 2006.

LOCATION AND WIDTH OF ALL EXISTING UTILITY EASEMENTS AND THE PRELIMINARY LOCATION(S) OF NEW OR RELOCATED UTILITIES ARE SHOWN.

FLOODPLAIN) PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, FAIRFAX COUNTY, VIRGINIA AND INCORPORATED AREAS,

- 7. NO RESOURCE PROTECTION AREA OR FLOOD PLAIN EXISTS T ON THIS PROPERTY.
- THE PROPOSED DEVELOPMENT WILL BE SERVED BY PUBLIC WATER AND SEWER. ANY EXISTING WELLS OR SEPTIC DRAIN FIELDS WILL BE ABANDONED IN CONFORMANCE WITH ALL LOCAL AND STATE REQUIREMENTS AT TIME OF SITE PLAN AND
- 9. SITE LIGHTING WILL CONFORM TO ARTICLE 110 SUBSECTION 4.8 OF THE ZONING ORDINANCE AT TIME OF SITE PLAN.
- 10. ALL PAVEMENT STRIPING AND MARKINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY AND SUBJECT TO THE CITY OF FAIRFAX PUBLIC WORKS DEPARTMENT APPROVAL AT TIME OF SITE PLAN.
- 11. ALL REQUIRED FIRE PROTECTION DEVICES, SIGNAGE, AND STRIPING WILL BE PROVIDED PER THE STATEWIDE BUILDING CODE. CITY OF FAIRFAX PUBLIC FACILITIES MANUAL, AND STATEWIDE FIRE PREVENTION CODE AT TIME OF SITE PLAN.
- 12. PUBLIC ACCESS EASEMENTS WILL BE PROVIDED FOR PRIVATE ALLEYS, THE GREEN WAY, AND SIDEWALKS AT THE PERIPHERY OF THE PROJECT AT TIME SITE PLAN.
- 13. LOCATION AND TYPE OF CURB RAMPS AND CROSSWALKS ARE SUBJECT TO CITY OF FAIRFAX PUBLIC WORKS APPROVAL AT TII
- 14. THERE ARE SEVERAL EXISTING RESIDENTIAL STRUCTURES ON THE PROPERTY THAT WILL BE DEMOLISHED AS PART OF THE SITE IMPROVEMENTS PROPOSED HEREIN.
- 15. SIGNAGE IS SUBJECT TO SECTION 3.7.3.G OF THE ZONING ORDINANCE AND WILL BE SUBMITTED UNDER SEPARATE COVER AT THE TIME OF SITE PLAN AND BUILDING PERMITTING.
- 16. THE REMOVAL OF THE RETAINING WALL TO TIE THE BUILDING'S ENTRANCE TO THE GRADE OF THE EXISTING SIDEWALK WILL NECESSITATE THE RELOCATION OF THE TRAFFIC SIGNAL POLE CURRENTLY INSTALLED BEHIND THE WALL. THE ULTIMATE LOCATION OF THE RELOCATED TRAFFIC SIGNAL WILL BE DETERMINED IN CONJUNCTION WITH REVIEW WITH CITY OF FAIRFAX PUBLIC WORKS. IT IS UNDERSTOOD THAT A FORMAL TRAFFIC SIGNAL MODIFICATION PLAN WOULD THEN NEED TO BE SUBMITTED BY THE PROJECT'S TRANSPORTATION CONSULTANT FOR REVIEW AND APPROVAL BY CITY STAFF PRIOR TO ANY ALTERATIONS TO THE EXISTING SIGNAL.

SPECIAL EXCEPTIONS REQUESTED WITH THIS APPLICATION

- 1. A MODIFICATION OF CHAPTER 110, ARTICLE 3, SUBSECTION 3.5.1 (D) TO PERMIT LESS THAN 75% GROUND FLOOR NONRESIDENTIAL USE IN A MIXED USE BUILDING.
- 2. A MODIFICATION OF CHAPTER 110, ARTICLE 3, SUBSECTION 3.6.2 TO PERMIT A RESIDENTIAL DENSITY GREATER THAN 24 DWELLING UNITS PER ACRE.
- 3. A MODIFICATION OF CHAPTER 110, ARTICLE 3, SUBSECTION 3.7.3 (C) (2) TO ALLOW THE MAXIMUM BUILDING HEIGHT TO EXCEED
- 4. A MODIFICATION OF CHAPTER 110, ARTICLE 3, SUBSECTION 3.7.3 (C) (4) TO ALLOW THE MAXIMUM LOT COVERAGE TO EXCEED
- 90%. 5. A MODIFICATION OF CHAPTER 110, ARTICLE 4, SUBSECTION 4.2.6 (B) (3) TO ALLOW FOR UP TO 30% COMPACT PARKING SPACES
- 6. A WAIVER OF CHAPTER 110, ARTICLE 4, SUBSECTION 4.3.3 (B) TO ELIMINATE THE REQUIREMENT TO PROVIDE VEHICULAR
- ACCESS TO ABUTTING NON-RESIDENTIAL PROPERTIES.
- 7. A MODIFICATION OF CHAPTER 110, ARTICLE 4, SUBSECTION 4.4.4 TO ELIMINATE THE REQUIREMENT FOR A SIDEWALK ON THE NORTHERN SIDE OF THE PROPOSED SERVICE DRIVE WHILE PROVIDING IT ON THE SOUTHERN SIDE.
- 8. A WAIVER OF CHAPTER 110, ARTICLE 4, SUBSECTION 4.5.5 (C) (1) TO ELIMINATE THE REQUIREMENT FOR A TRANSITIONAL YARD 2 BETWEEN THE EXISTING CL ZONED PROPERTY TO THE NORTH OF THE SUBJECT PROPERTY.

PUBLIC FACILITIES MANUAL MODIFICATIONS / WAIVERS REQUESTED WITH THIS APPLICATION

- 1. A WAIVER OF PFM SECTION 401.01 TO PERMIT A STREET WIDTH OF LESS THAN 30'. THE APPLICATION PROPOSES A 22' WIDE SERVICE DRIVE.
- 2. A MODIFICATION OF PFM SECTION 404.06 TO REDUCE THE CORNER CLEARANCE REQUIREMENT BELOW 50' BETWEEN ENTRANCES. THE PROPOSED SERVICE DRIVE WILL FUNCTION AS A SHARED TRAVEL WAY IN THE FUTURE AND THE NON-CONFORMING CLEARANCES WILL BE ADJUSTED IN FUTURE REDEVELOPMENT OF THE NORTHERN ADJACENT PROPERTY.
- 3. A MODIFICATION OF PFM CHAPTER 2 TABLE 2.01 TO ELIMINATE THE SIDEWALK REQUIREMENT FOR BOTH SIDES OF THE PROPOSED SERVICE DRIVE. THE APPLICANT PROPOSES A SIDEWALK ON THE SOUTH SIDE OF THE SERVICE DRIVE AND ANTICIPATES FUTURE REDEVELOPMENT WILL CONSTRUCT THE MISSING SIDEWALK IN FUTURE REDEVELOPMENT.



LOCATION MAP SCALE: 1"=1000'

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PROJECT: PROPOSED REZONING

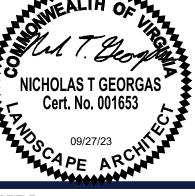
4131 CHAIN BRIDGE RD

TDC ACQUISITIONS,

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12825 WORLDGATE DR. SUITE 700 HERNDON, VIRGINIA 20170 Phone: (703) 709-9500 Fax: (703) 709-9501

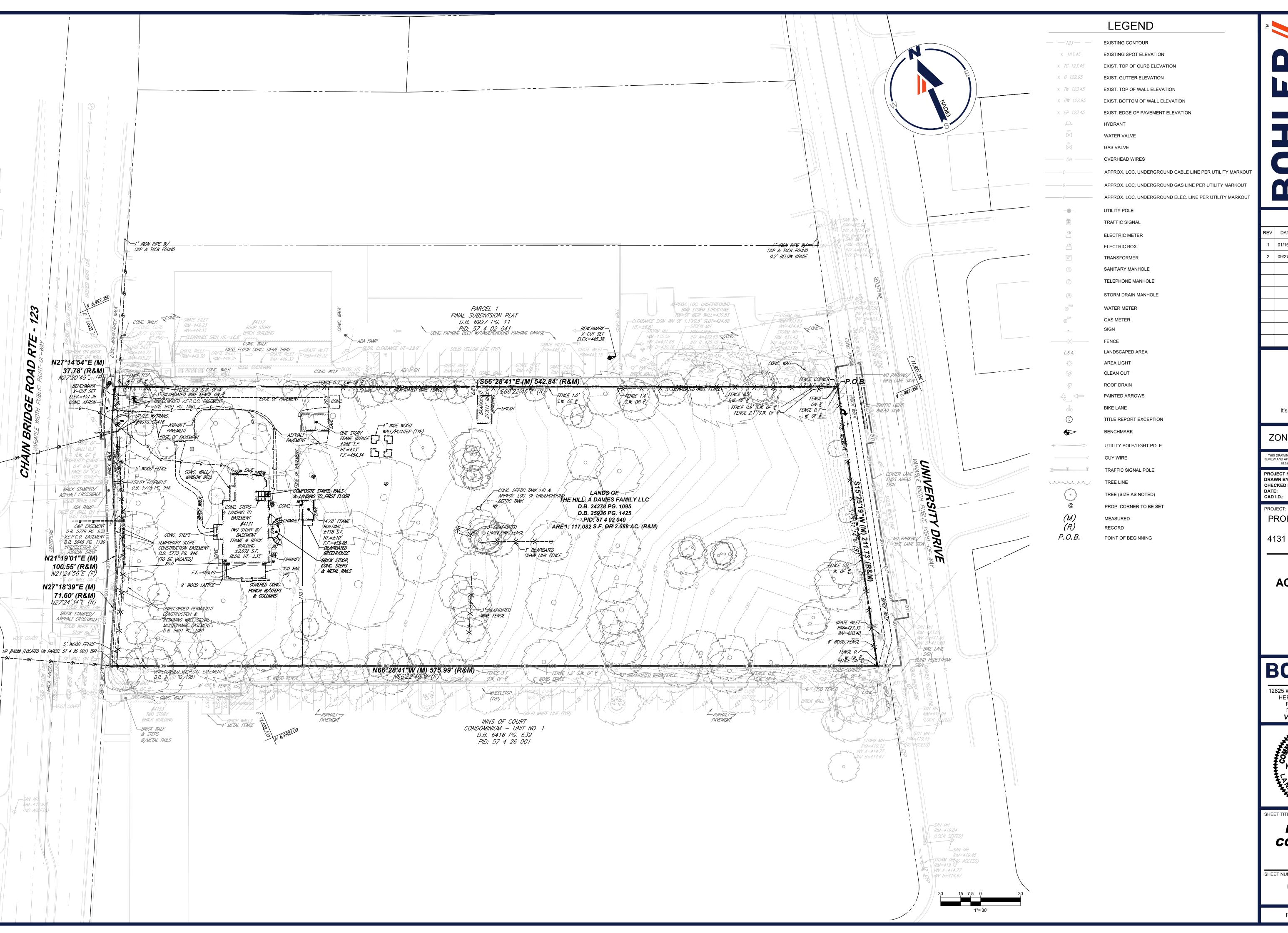
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SHEET TITLE:

DEVELOPMENT **TABULATIONS AND NOTES**

C-2.00





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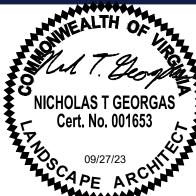
PROPOSED REZONING

4131 CHAIN BRIDGE RD

ACQUISITIONS, LLC



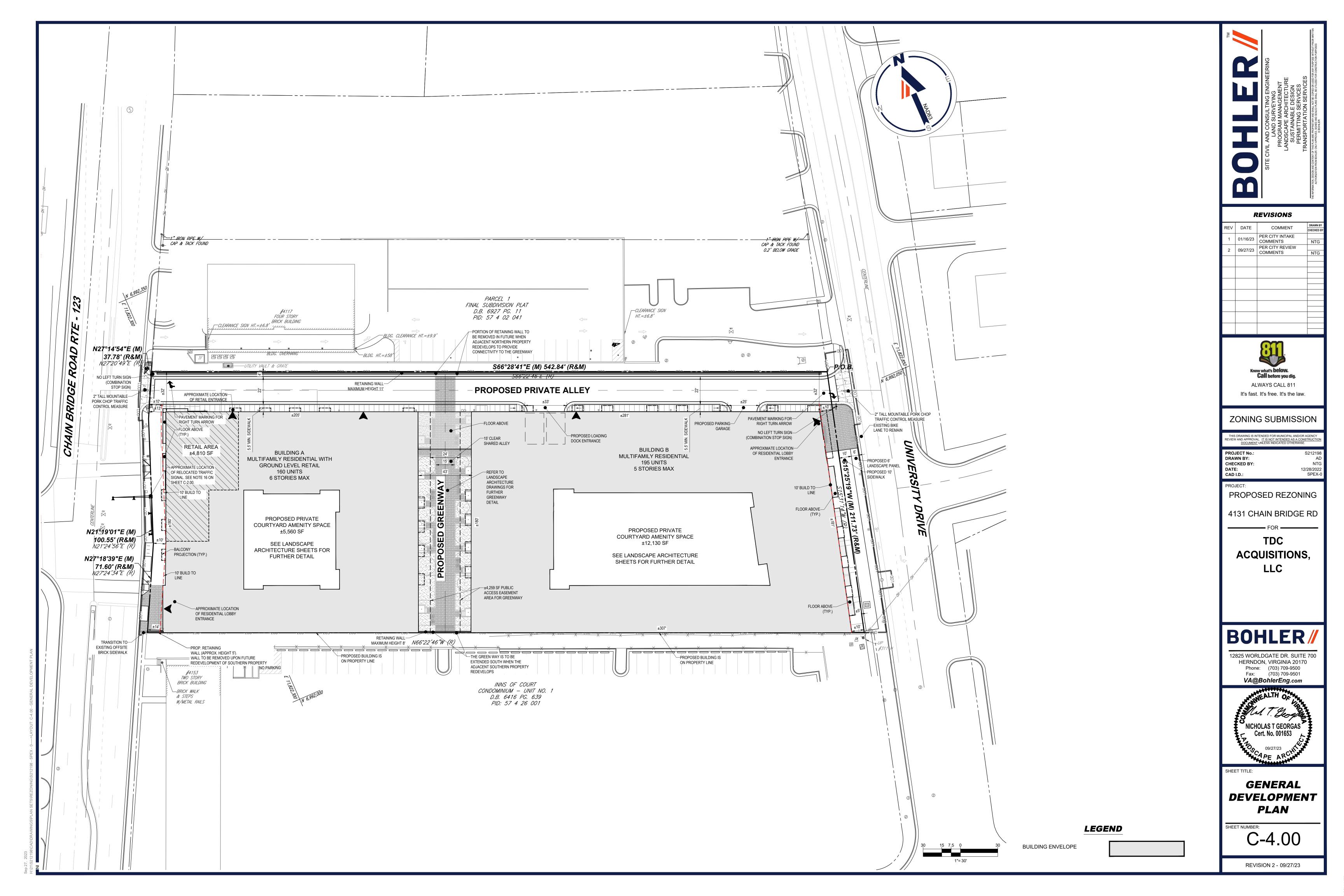
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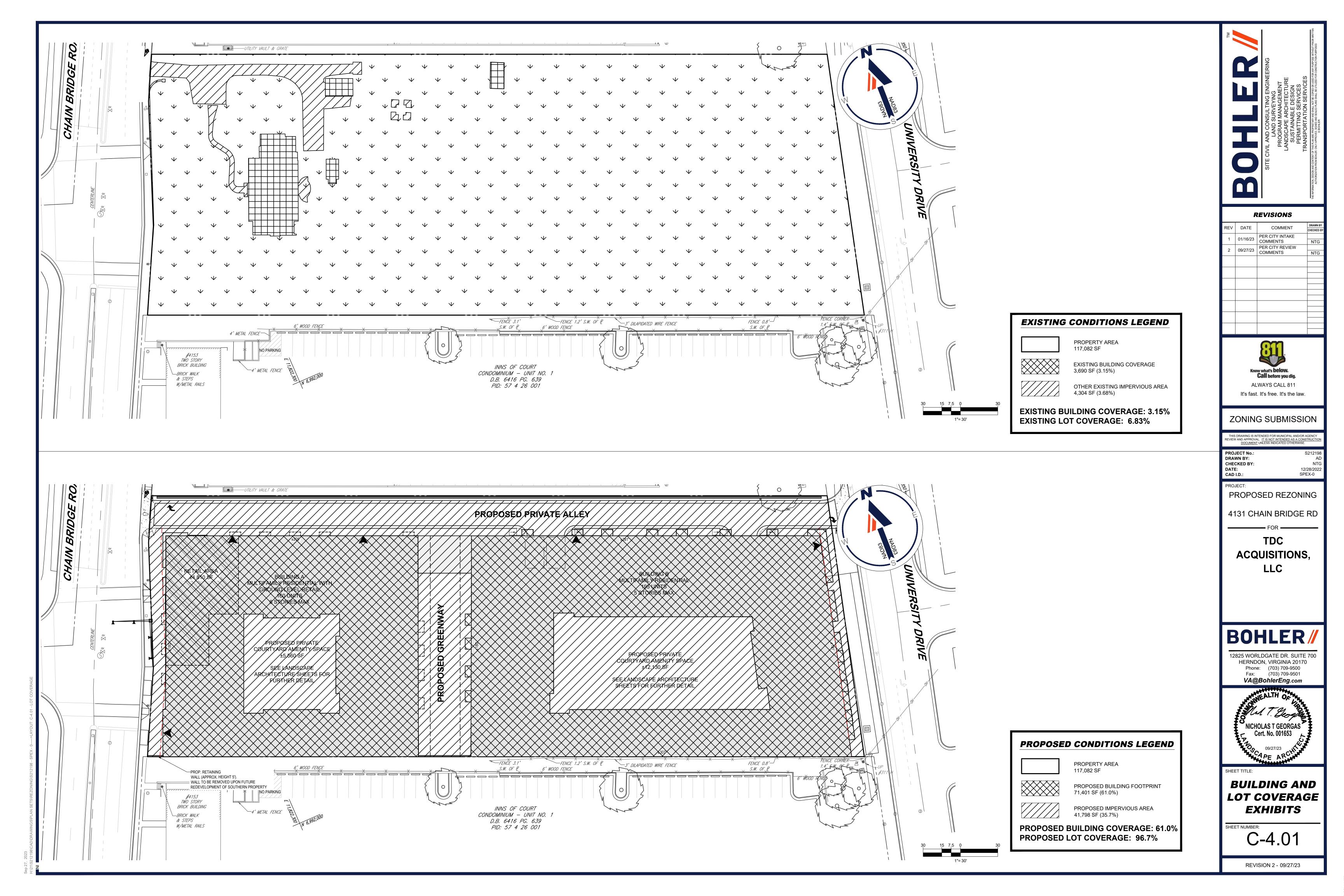


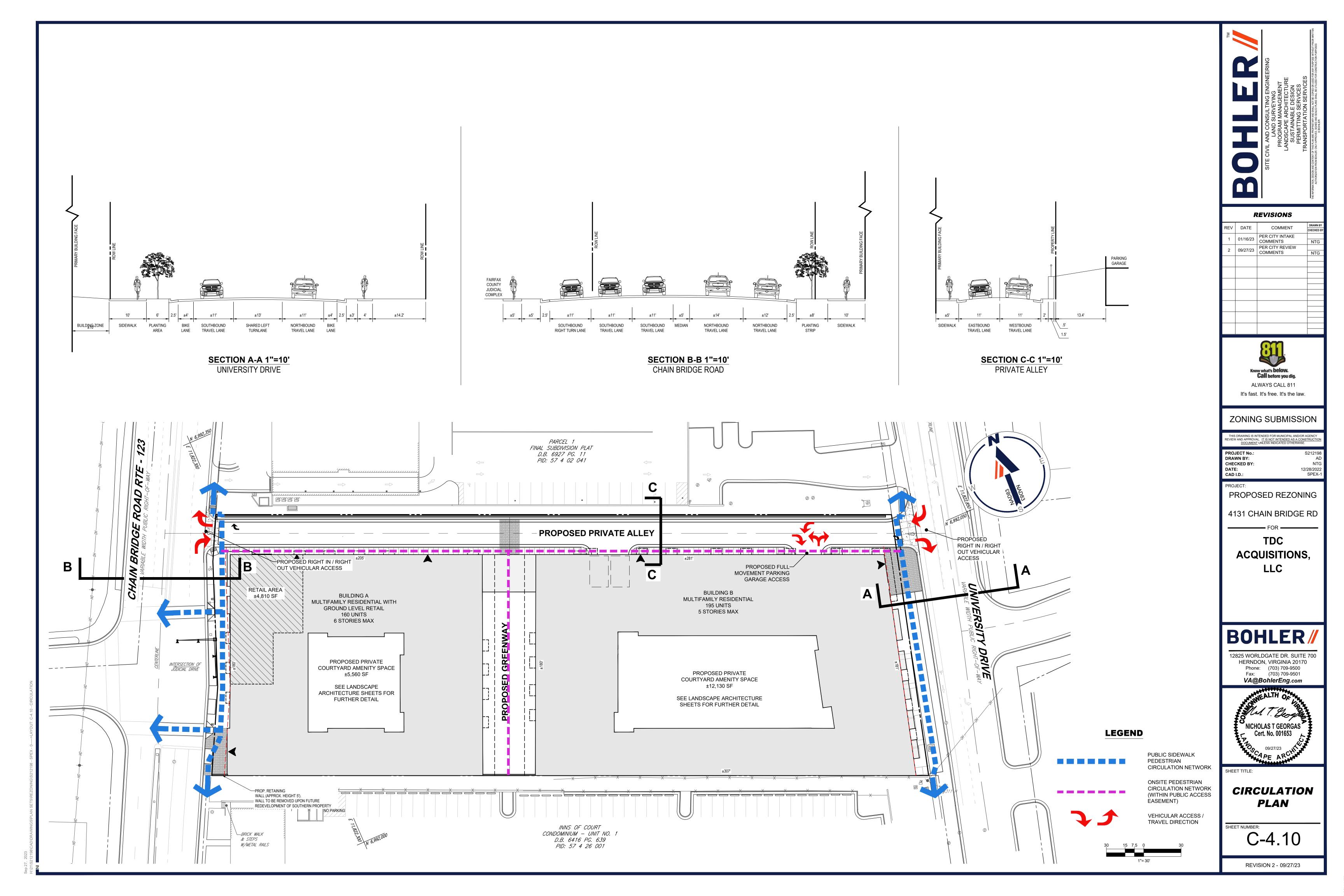
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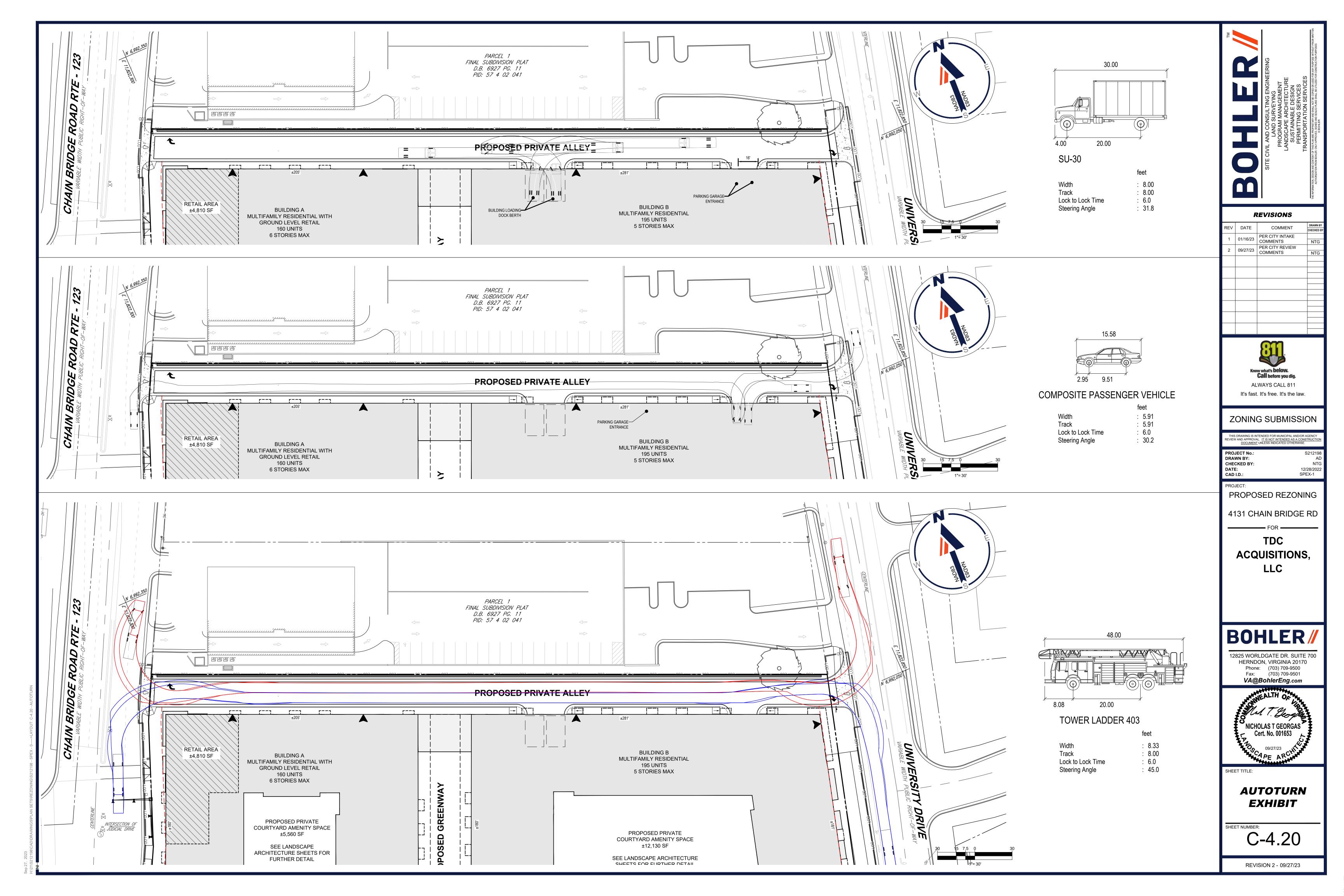
EXISTING CONDITIONS PLAN

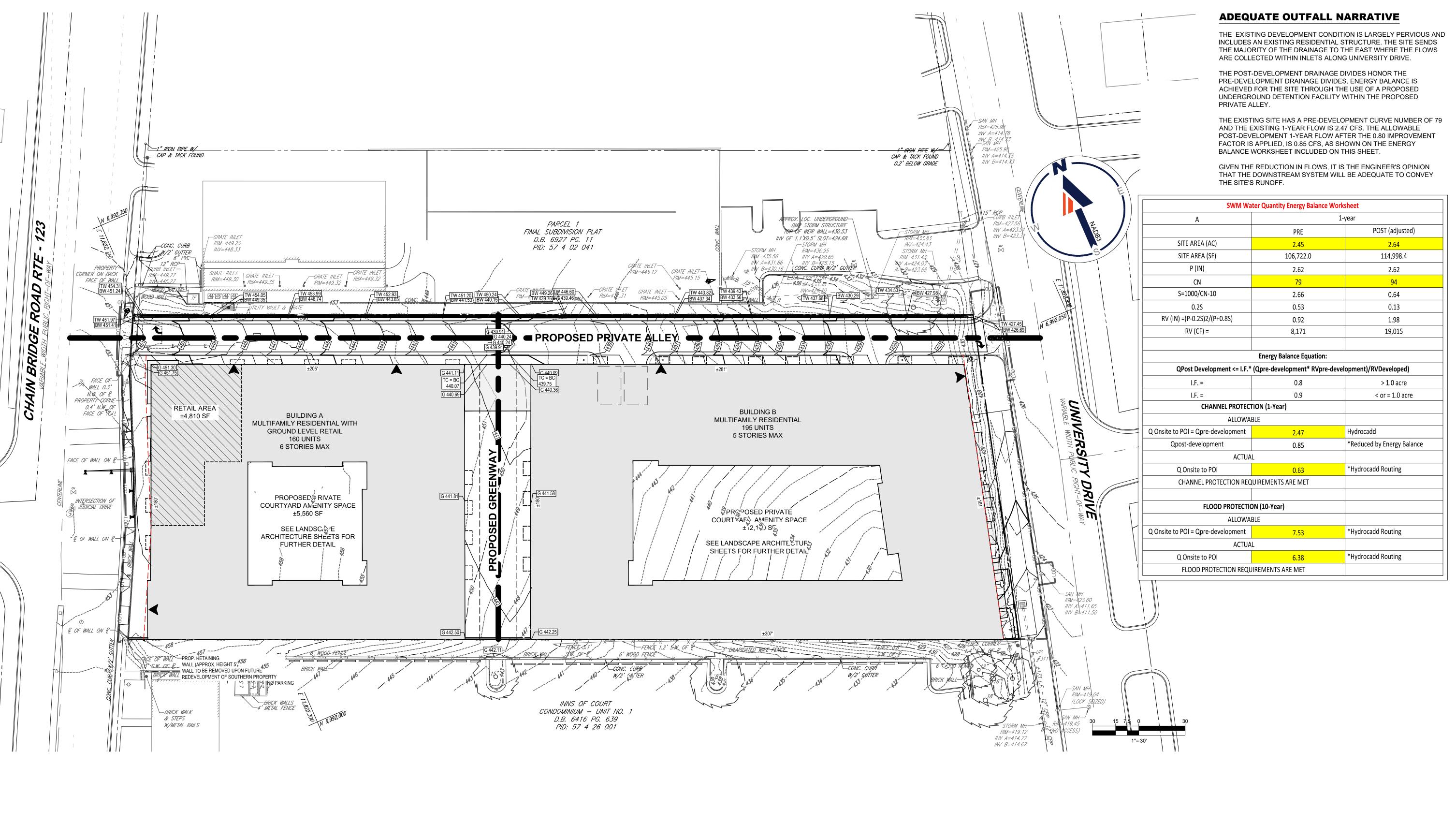
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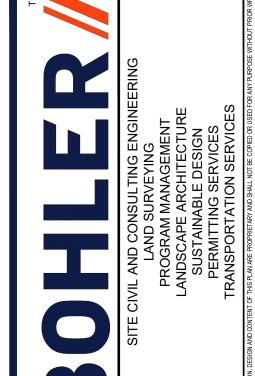


AVERAGE GRADE ELEVATION TABLE

PERIMETER	ELEVATION 1	ELEVATION 2	DISTANCE	TOTAL
KEY	Α	В	С	(A + B)/2 X C
Α	453.26	453.17	43.90	19,896.14
В	453.17	453.15	2.00	906.32
С	453.15	451.24	139.60	63,126.42
D	451.24	441.00	209.00	93,239.08
E	441.00	439.98	43.00	18,941.07
F	439.98	426.69	285.10	123,543.81
G	426.69	425.68	92.30	39,336.88
Н	425.68	425.73	92.30	39,292.57
<u> </u>	425.73	424.17	6.00	2,549.70
J	424.17	446.33	305.10	132,794.78
K	446.33	449.88	43.00	19,268.52
L	449.88	458.04	205.00	93,061.80
М	458.04	453.26	6.00	2,733.90
TOTAL		IA	1,472.30	648,690.98

AVERAGE GRADE ELEVATION 440.60

648,690.98 ÷ 1,472.30



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PROPOSED REZONING

4131 CHAIN BRIDGE RD

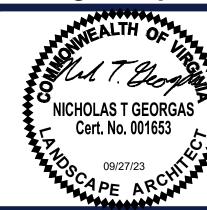
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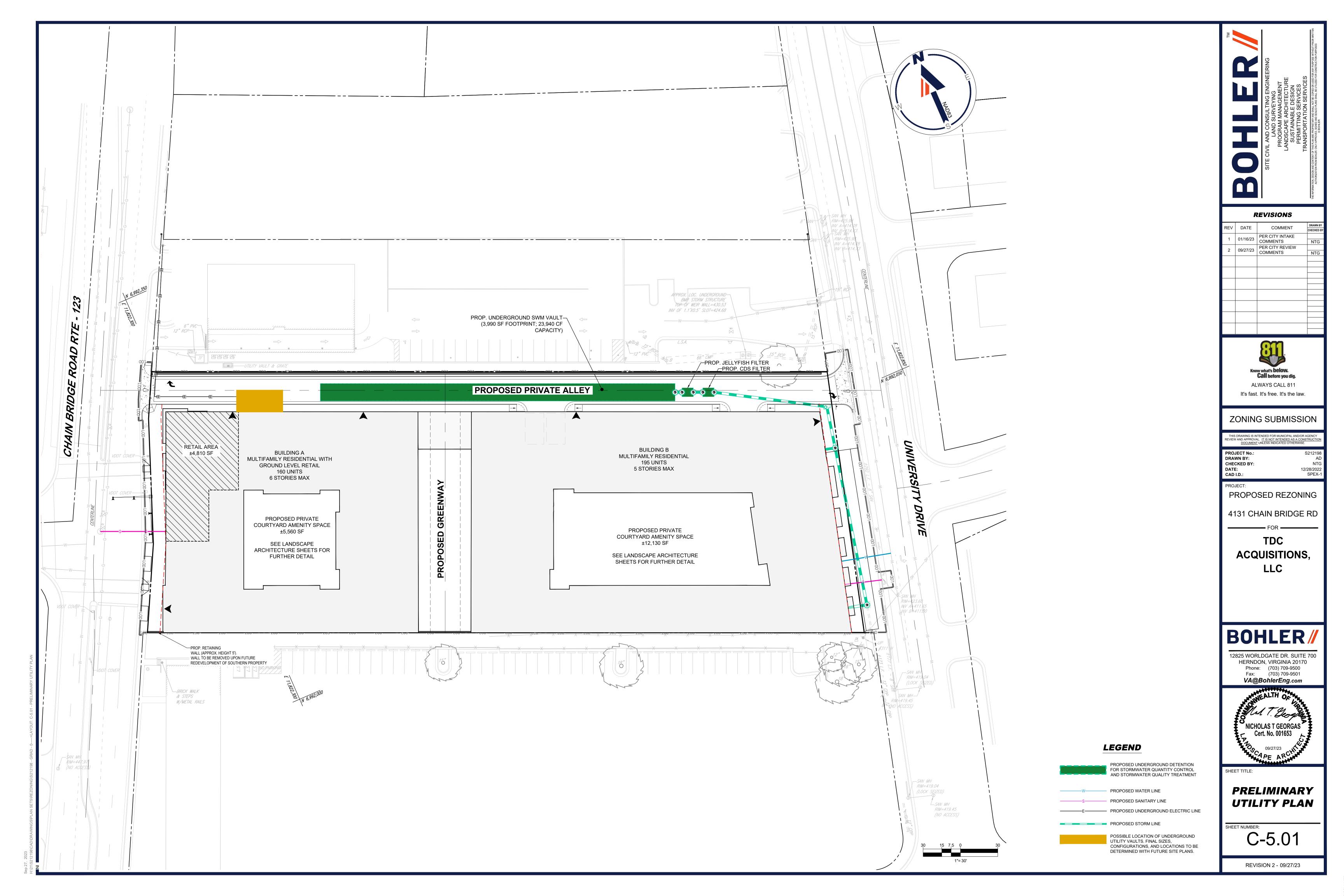


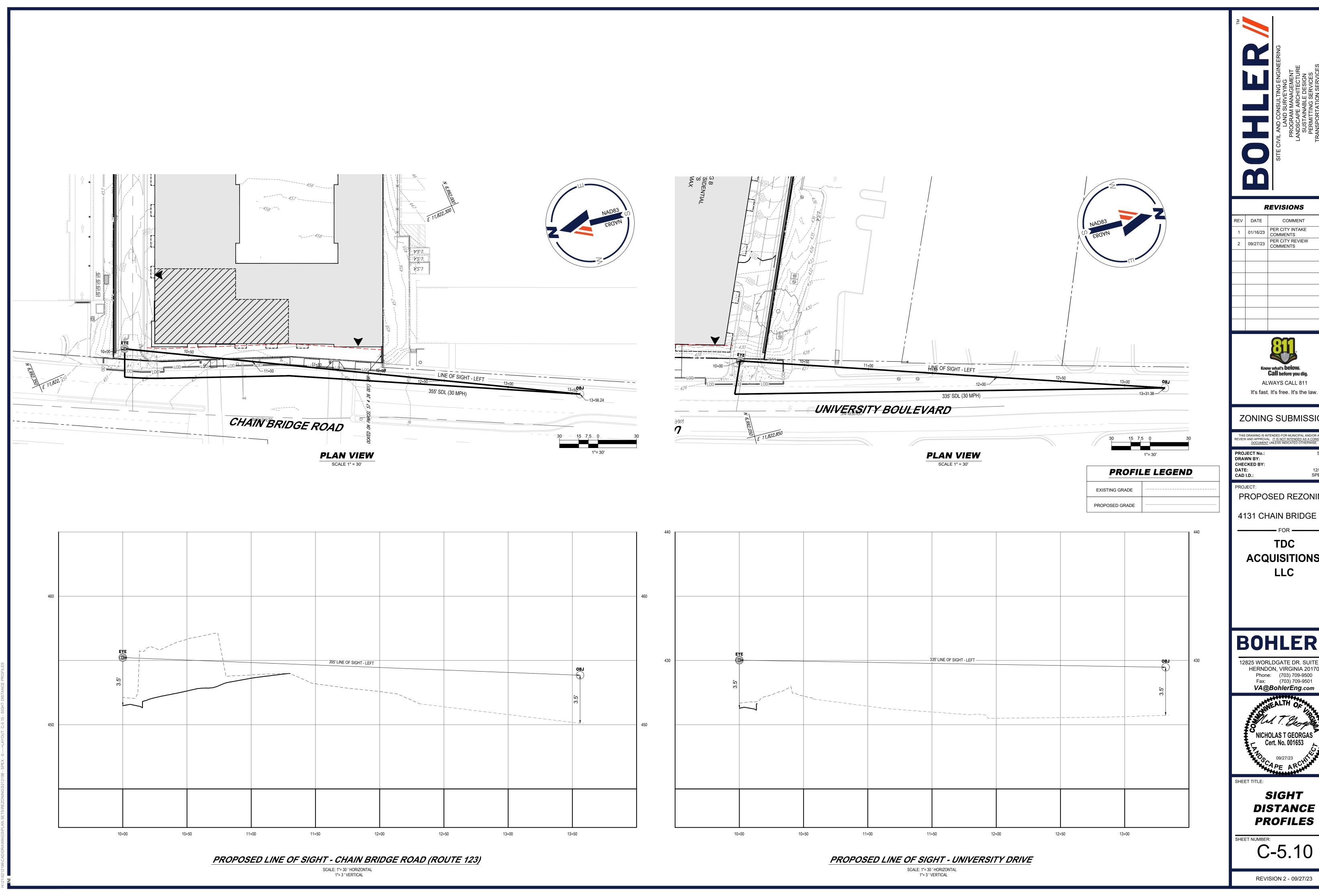
SHEET TITLE:

PRELIMINARY GRADING PLAN

T NUMBER:

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	03/21/23	COMMENTS	NTG



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THIS DRAWING IS INTENDED FOR M REVIEW AND APPROVAL. IT IS NOT IN <u>DOCUMENT</u> UNLESS INDIC	TENDED AS A CONSTRUCTION
PROJECT No.: DRAWN BY:	S212198 AD
CHECKED BY:	NTG
DATE:	12/28/2022

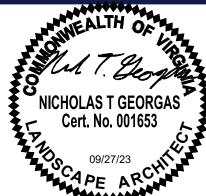
PROPOSED REZONING

4131 CHAIN BRIDGE RD

TDC ACQUISITIONS,



12825 WORLDGATE DR. SUITE 700 HERNDON, VIRGINIA 20170
Phone: (703) 709-9500
Fax: (703) 709-9501 **VA@BohlerEng.com**



SIGHT **DISTANCE PROFILES**





REVISIONS

ΞV	DATE	TE COMMENT	
_ •	<i>D,</i> (12	JOHN METERS	CHECKED BY
1	01/16/23	PER CITY INTAKE	
1	01/10/23	COMMENTS	NTG
2	09/27/23	PER CITY REVIEW	
	09/21/23	COMMENTS	NTG
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It's fast. It's free. It's the law.

ZONING SUBMISSION

DATE: CAD I.D.:

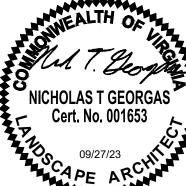
PROPOSED REZONING

4131 CHAIN BRIDGE RD

ACQUISITIONS, LLC

BOHLER//

12825 WORLDGATE DR. SUITE 700 HERNDON, VIRGINIA 20170 Phone: (703) 709-9500 Fax: (703) 709-9501 **VA@BohlerEng.com**



TREE INVENTORY PLAN

C-7.00

		Tron Conditi	an Anabaia D		us Tree In		-l A-l	C4 A 40	04/0000		
		Tree Condition		erformed by Nichol				61A on 10/	21/2022		
#	COMMON NAME	BOTANICAL NAME	CONDITION RATING	CIRCUMFERENCE	(DBH)	(DBH)	ZONE (CRZ) FEET	REMOVE	NATIVE	ONSITE/ OFFSITE	COMMENTS
72	Japanese Zelkova	Zelkova Serata	80%	37.05"	11.80"	0.98'	12'	Х	X	Onsite	
73	Japanese Zelkova	Zelkova Serata	80%	48.36"	15.40"	1.28'	16'	Х	X	Onsite	
74	Japanese Zelkova	Zelkova Serata	80%	50.24"	16.00"	1.33'	16'	X	X	Onsite	
75	Japanese Zelkova	Zelkova Serata	80%	59.66"	19.00"	1.58'	19'	X	X	Onsite	Landar Dansard
588 589	Southern Red Oak Eastern Red Cedar	Quercus Falcata Juniperus Virginiana	65% 40%	41.13" 76.93"	13.10" 24.50"	1.09' 2.04'	14' 25'	X	X	Onsite Onsite	Leader Removed
590	Eastern Red Cedar	Juniperus Virginiana	40%	48.70"	15.51"	1.29'	16'	X	X	Onsite	Multi-stem
592	Willow Oak	Quercus Phellos	75%	56.21"	17.90"	1.49'	18'	X	X	Onsite	maia otom
593	Eastern Red Cedar	Juniperus Virginiana	60%	39.88"	12.70"	1.06'	13'	Х	X	Onsite	Vine
594	American Holly	llex Opaca	20%	28.26"	9.00"	0.75'	9'	X	X	Onsite	Vine, Dying
595	American Holly	llex Opaca	80%	28.26"	9.00"	0.75'	9'	X	X	Onsite	16
596 599	Pin Oak Black Walnut	Quercus Palustris Juglans Nigra	75% 50%	51.50" 37.37"	16.40" 11.90"	1.37' 0.99'	17' 12'	X	X	Onsite Onsite	Vine Vine, Dying
642	American Holly	llex Opaca	55%	30.14"	9.60"	0.80'	10'	X	X	Onsite	Virie, Dyirig
668	Arborvitae	Thuja Occidentalis	70%	18.84"	6.00"	0.50'	6'	X		Onsite	Multi-stem
669	Dead	X	X	Х	Х	Х	X	X		Onsite	Dead
670	American Holly	llex Opaca	75%	29.83"	9.50"	0.79'	10'	Х	X	Onsite	
671	American Holly	llex Opaca	70%	0.00"	0.00"	0.00'	0'	X	X	Onsite	Undersized
674	Black Walnut	Juglans Nigra	70%	54.32"	17.30"	1.44'	18'	X	X	Onsite	Duine
699 700	Mulberry Dead	Moras Rubra X	20% X	22.29" X	7.10" X	0.59' X	8' X	X	X	Onsite Offsite	Dying Dead
704	Dead	X	X	X	X	X	x	X		Offsite	Dead
705	Dead	X	X	X	X	X	X	X		Offsite	Dead
706	American Elm	Ulmus Americana	70%	73.48"	23.40"	1.95'	24'	Х	Χ	Onsite	
779	Hickory	Carya Ovata	15%	42.08"	13.40"	1.12'	14'	X	X	Onsite	Dying
780	Black Walnut	Juglans Nigra	30%	32.03"	10.20"	0.85'	11'	X	X	Offsite	Dying Co Deminent Leader
781 782	Eastern Red Cedar Black Walnut	Juniperus Virginiana	80% 75%	29.83" 86.98"	9.50" 27.70"	0.79' 2.31'	10' 28'	X	X	Onsite Onsite	Co-Dominant Leader
783	Norway Maple	Juglans Nigra Acer Platanoides	50%	37.10"	11.82"	0.98'	12'	X	^	Onsite	Multi-stem
784	Box Elder Maple	Acer Negundo	40%	22.92"	7.30"	0.61'	8'	X	X	Onsite	
785	Eastern Red Cedar	Juniperus Virginiana	60%	38.94"	12.40"	1.03'	13'	Х	X	Onsite	Vine
786	Black Walnut	Juglans Nigra	60%	52.12"	16.60"	1.38'	17'	Х	Х	Onsite	
787	American Elm	Ulmus Americana	60%	36.11"	11.50"	0.96'	12'	X	X	Onsite	
788	Mulberry Footown Bod Coder	Moras Rubra	40%	74.10"	23.60"	1.97'	24'	X	X	Onsite	Trunk Scarring, Decay
791 792	Eastern Red Cedar Eastern Red Cedar	Juniperus Virginiana Juniperus Virginiana	60% 60%	68.45" 50.24"	21.80" 16.00"	1.82' 1.33'	22' 16'	X	X	Onsite	Co-Dominant Leader, Vine Vine, Dieback
793	Mulberry	Moras Rubra	0%	25.12"	8.00"	0.67'	8'	X	X	Onsite	Dead
797	Black Walnut	Juglans Nigra	70%	57.15"	18.20"	1.52'	19'	Х	X	Onsite	785 O 78899
798	Mulberry	Moras Rubra	45%	38.31"	12.20"	1.02'	13'	Х	X	Onsite	Co-Dominant Leader, Trunk Wound
799 800	Mulberry American Elm	Moras Rubra Ulmus Americana	50% 30%	56.21" 30.77"	17.90" 9.80"	1.49' 0.82'	18' 10'	X	X	Onsite Onsite	Co-Dominant Leader, Leaning
854	Black Cherry	Prunus Serotina	55%	50.24"	16.00"	1.33'	16'	X	X	Onsite	Dying
855	Mulberry	Moras Rubra	45%	57.46"	18.30"	1.53'	19'	X	X	Onsite	Co-Dominant Leader, Vine
856	Eastern Red Cedar	Juniperus Virginiana	75%	49.93"	15.90"	1.33'	16'	X	X	Onsite	Co-Dominant Leader, Vine
857	Black Walnut	Juglans Nigra	60%	72.22"	23.00"	1.92'	23'	X	X	Onsite	Co-Dominant Leader
858 865	Eastern Red Cedar Eastern Red Cedar	Juniperus Virginiana Juniperus Virginiana	45% 45%	78.19" 48.36"	24.90" 15.40"	2.08' 1.28'	25' 16'	X	X	Onsite Onsite	Co-Dominant Leader, Dieback
866	Eastern Red Cedar	Juniperus Virginiana	70%	58.72"	18.70"	1.56'	19'	X	X	Onsite	Dieback, Vine
867	Black Cherry	Prunus Serotina	60%	20.72"	6.60"	0.55'	7'	X	X	Onsite	Multi-Leader
868	Black Cherry	Prunus Serotina	65%	35.17"	11.20"	0.93'	12'	Х	Х	Onsite	Multi-Leader, Vine
869	Eastern Red Cedar	Juniperus Virginiana	55%	41.13"	13.10"	1.09'	14'	Х	X	Onsite	
870	Eastern Red Cedar	Juniperus Virginiana	50%	41.76"	13.30"	1.11'	14'	Х	X	Onsite	
871	Eastern Red Cedar	Juniperus Virginiana	50%	43.65"	13.90"	1.16'	14'	X	X	Onsite	0.5
872 873	Eastern Red Cedar Eastern Red Cedar	Juniperus Virginiana Juniperus Virginiana	50% 70%	60.32" 50.24"	19.21" 16.00"	1.60' 1.33'	20' 16'	X	X	Onsite Onsite	Co-Dominant Leader
874	Eastern Red Cedar	Juniperus Virginiana	65%	56.73"	18.07"	1.51'	19'	X	X	Onsite	Co-Dominant Leader
875	Eastern Red Cedar	Juniperus Virginiana	70%	95.77"	30.50"	2.54'	31'	X	X	Onsite	
876	Eastern Red Cedar	Juniperus Virginiana	65%	52.75"	16.80"	1.40'	17'	Х	Χ	Onsite	
877	Eastern Red Cedar	Juniperus Virginiana	65%	54.64"	17.40"	1.45'	18'	Х	Х	Onsite	
878	Mulberry	Moras Rubra	40%	52.75"	16.80"	1.40'	17'	X	X	Onsite	
879 880	Thornless Honeylocust Black Walnut	Gleditsia Troavanthos Juglans Nigra	50% 55%	66.25" 36.42"	21.10" 11.60"	1.76' 0.97'	22' 12'	X	X	Onsite Onsite	Curved, Vine
882	Black Walnut	Juglans Nigra Juglans Nigra	80%	58.40"	18.60"	1.55'	19'	X	X	Onsite	ourveu, ville
884	Black Walnut	Juglans Nigra	60%	48.04"	15.30"	1.28'	16'	X	X	Onsite	
885	Eastern Red Cedar	Juniperus Virginiana	70%	48.67"	15.50"	1.29'	16'	X	X	Onsite	
886	American Elm	Ulmus Americana	75%	74.73"	23.80"	1.98'	24'	X	X	Onsite	Major Vine
887	Eastern Red Cedar	Juniperus Virginiana	60%	87.29"	27.80"	2.32'	28'	X	X	Onsite	Co-Dominant Leader, Vine
888	Eastern Red Cedar Black Walnut	Juniperus Virginiana	50% 60%	56.21" 48.36"	17.90" 15.40"	1.49' 1.28'	18' 16'	X	X	Onsite Onsite	Vine
889 891	Dead Dead	Juglans Nigra X	60% X	48.36" X	15.40°	1.28°	16°	X	^	Onsite	Dead
892	Black Walnut	Juglans Nigra	20%	94.20"	30.00"	2.50'	30'	X	Х	Offsite	Dieback, Heavy Vine, Decay, Trunk Scar
893	Black Walnut	Juglans Nigra	40%	93.29"	29.71"	2.48'	30'	х	Х	Onsite	Co-Dominant Leader, Heavy Vine
894	Black Walnut	Juglans Nigra	50%	49.30"	15.70"	1.31'	16'	х	Х	Offsite	Co-Dominant Leader, Heavy Vine
895 896	Black Walnut Mulberry	Juglans Nigra Moras Rubra	60% 30%	32.66" 32.66"	10.40" 10.40"	0.87' 0.87'	11' 11'	X	X	Offsite Offsite	Co-Dominant Leader, Heavy Vine Trunk Scar, Leaning
1057	Black Locust	Robinia Pseuodacacia	40%	54.42"	17.33"	1.44'	18'	X	X	Offsite	Co-Dominant Leader, Heavy Vine
1058 1059	Black Locust American Linden	Robinia Pseuodacacia Tilia Americana	50% 70%	37.05" 140.67"	11.80" 44.80"	0.98' 3.73'	12' 45'	X	X	Offsite Onsite	Dieback, Vine Co-Dominant Leader, Lichen
	Dead	X	X	X	X	X	X	X	1518	Onsite	Dead
1060		Acer Rubrum	45%	125.29"	39.90"	3.33'	40'	Х	Χ	Onsite	Heavy Vine, Broken Leader
1076	Red Maple								2727		
1076 1080	Pin Oak	Quercus Palustris	80%	56.52"	18.00"	1.50'	18'	X	X	Onsite	
1076				56.52" 32.34" 44.59"	18.00" 10.30" 14.20"	1.50' 0.86' 1.18'	18' 11' 15'	X X X	X X X	Onsite Onsite Offsite	Major Dieback Curved Trunk

		Tree Conditi	on Analysis P	erformed by Nicho	u <mark>s Tree In</mark> las Georgas	THE RESERVE OF THE PARTY OF THE	61A on 10	21/2022		1	
#	COMMON NAME	BOTANICAL NAME	CONDITION RATING	CIRCUMFERENCE	(DBH)	(DBH)	CRITICAL ROOT ZONE (CRZ)	REMOVE	NATIVE	ONSITE/ OFFSITE	COMMENTS
1185	Black Locust	Robinia Pseuodacacia	% 70%	70.02"	22.30"	1.86'	FEET 23'	X	X	Offsite	Major Vine
1297	Flowering Dogwood	Cornus Florida	40%	20.11"	6.40"	0.53'	7'	X	X	Onsite	Multi-stem
1299	Black Cherry	Prunus Serotina	40%	48.67"	15.50"	1.29'	16'	X	X	Onsite	Trunk Scar, Decay
1399 1875	Flowering Dogwood Black Locust	Cornus Florida Robinia Pseuodacacia	65% 50%	36.74" 77.19"	11.70" 24.58"	0.98' 2.05'	12' 25'	X	X	Onsite Offsite	Co-Dominant Leader, Vine
1876	Black Locust	Robinia Pseuodacacia	45%	88.55"	28.20"	2.35'	29'	X	X	Onsite	Vine
1877	Black Locust	Robinia Pseuodacacia	65%	39.25"	12.50"	1.04'	13'	X	X	Onsite	
1878 1879	Black Locust Canadian Hemlock	Robinia Pseuodacacia Tsuga Canadensis	15% 70%	94.20" 25.43"	30.00" 8.10"	2.50' 0.68'	30' 9'	X	Х	Onsite Onsite	Broken Canopy
1880	Black Locust	Robinia Pseuodacacia	45%	109.90"	35.00"	2.92'	35'	X	Х	Onsite	Vine
1881	Norway Maple	Acer Platanoides	45%	45.02"	14.34"	1.19'	15'	Х		Onsite	Multi-Stem
1882	Black Locust	Robinia Pseuodacacia	40%	94.20"	30.00"	2.50'	30'	X	X	Offsite	Vine
1883 1884	Dead Mulberry	X Moras Rubra	60%	X 352.90"	X 112.39"	9.37'	113'	X	Х	Offsite Offsite	Dead Co-Dominant Leader
2401	Eastern Red Cedar	Juniperus Virginiana	75%	29.52"	9.40"	0.78'	10'	X	X	Offsite	Minor Vine
2402	Japanese Zelkova	Zelkova Serata	50%	46.47"	14.80"	1.23'	15'	Х	Х	Onsite	
2403	Crape Myrtle American Elm	Lagerstroemia Indica Ulmus Americana	80% 60%	32.66" 93.57"	10.40" 29.80"	0.87' 2.48'	11' 30'	X	Х	Onsite Onsite	Vine
2404	American Holly	llex Opaca	70%	31.71"	10.10"	0.84'	11'	X	X	Onsite	Minor Vine
2406	Eastern Red Cedar	Juniperus Virginiana	65%	25.43"	8.10"	0.68'	9'	Х	X	Onsite	Dieback, Fence
2407	Black Walnut	Juglans Nigra	60%	63.11"	20.10"	1.68'	21'	X	X	Onsite	Dieback, Fence
2408	Eastern Red Cedar Norway Maple	Juniperus Virginiana Acer Platanoides	75% 55%	27.00" 35.48"	8.60" 11.30"	0.72' 0.94'	9' 12'	X	Х	Onsite Offsite	Fence Heavy Vine, Fence
2410	Norway Maple	Acer Platanoides	30%	48.67"	15.50"	1.29'	16'	X		Offsite	Broken Canopy
2411	Black Walnut	Juglans Nigra	15%	48.04"	15.30"	1.28'	16'	Х	Х	Onsite	Heavy Vine, Heavy Dieback
2412	Black Cherry Black Cherry	Prunus Serotina Prunus Serotina	50% 35%	36.42" 82.90"	11.60" 26.40"	0.97' 2.20'	12' 27'	X	X	Onsite Onsite	Heavy Vine, Crooked Major Vine, Major Dieback
2414	Black Cherry Black Cherry	Prunus Serotina Prunus Serotina	40%	34.54"	11.00"	0.92'	11'	X	X	Onsite	Dieback
2415	Mulberry	Moras Rubra	20%	36.42"	11.60"	0.97'	12'	X	X	Onsite	Crooked, Dying
2416	Red Maple	Acer Rubrum	65%	139.42"	44.40"	3.70'	45'	х	Х	Offsite	Co-Dominant Leader, Heavy
2417	Black Walnut	Juglans Nigra	55%	105.50"	33.60"	2.80'	34'	х	Х	Offsite	Vine Co-Dominant Leader, Heavy Vine, Fence
2418	American Elm	Ulmus Americana	70%	82.27"	26.20"	2.18'	27'	х	Х	Offsite	Heavy Vine, Minor Dieback, Fence
2419	Pin Oak	Quercus Palustris	45%	44.65"	14.22"	1.19'	15'	X	X	Offsite	Major Dieback, Co-Dominant
2420	American Elm	Ulmus Americana	55%	29.52"	9.40"	0.78'	10'	X	Х	Onsite	Leader, Minor Vine, Fence Dieback
2421	Pin Oak	Quercus Palustris	10%	44.93"	14.31"	1.19'	15'	х	Х	Onsite	Broken Canopy, Co-Dominant
2422	Black Walnut	Juglans Nigra	70%	53.07"	16.90"	1.41'	17'	X	X	Offsite	Leader, Major Dieback, Fence Dieback
193 - 95			*********	1000 000 000 000 000 000 000 000 000 00	The control of the control of	122222222	JEMES CO.	111000	50-71 90-01	2000 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	Co-Dominant Leader, Major
2423	Red Maple	Acer Rubrum	20%	95.14"	30.30"	2.53'	31'	X	Х	Offsite	Trunk Scar, Decay
2424	Willow Oak Willow Oak	Quercus Phellos Quercus Phellos	90%	15.39" 16.01"	4.90" 5.10"	0.41' 0.43'	5' 6'	X	X	Onsite Onsite	
2425	Black Walnut	Juglans Nigra	70%	36.74"	11.70"	0.43	12'	X	X	Onsite	Dieback
2427	Dead	Х	X	X	Х	X	X	Х	0,15	Onsite	31 - 7 Sever M 5 O Stellar 1 E (0.1)
2428	Norway Maple	Acer Platanoides	55%	86.98"	27.70"	2.31'	28'	X		Offsite	Major Vine, Co-Dominant
2429	Eastern Red Cedar	Juniperus Virginiana	45%	57.46"	18.30"	1.53'	19'	Х	X	Onsite	Leader, Lean Major Vine, Major Dieback
2430	Eastern Red Cedar	Juniperus Virginiana	70%	86.66"	27.60"	2.30'	28'	Х	Х	Onsite	Vine
2433	Dead	X	X	X	Х	X	X	X		Onsite	Dead
2434	Eastern Red Cedar	Juniperus Virginiana	50%	81.95"	26.10"	2.18'	27'	X	X	Onsite	Major Vine, Co-Dominant Leader, Dieback
2435 2436	Eastern Red Cedar Black Cherry	Juniperus Virginiana Prunus Serotina	60% 60%	59.35" 65.00"	18.90" 20.70"	1.58' 1.73'	19' 21'	X	X	Onsite Onsite	Vine, Dieback Co-Dominant Leader,
									-		Crooked, Dieback Co-Dominant Leader, Broken
2437	Eastern Red Cedar	Juniperus Virginiana	65%	76.62"	24.40"	2.03'	25'	X	X	Onsite	Leader
2438	Eastern Red Cedar	Juniperus Virginiana	70%	47.10"	15.00"	1.25'	15'	X	X	Onsite	Vine, Dieback
2439 2440	Eastern Red Cedar Black Walnut	Juniperus Virginiana Juglans Nigra	75% 70%	86.04" 37.68"	27.40" 12.00"	2.28' 1.00'	28' 12'	X	X	Onsite Onsite	Vine, Minor Dieback Lean, Minor Dieback
2441	Hackberry	Celtis Occidentalis	70%	31.71"	10.10"	0.84'	11'	Х	X	Onsite	Vine
2442	Hackberry	Celtis Occidentalis	60%	45.84"	14.60"	1.22'	15'	X	X	Onsite	Vine
2443 2444	Hackberry Black Walnut	Celtis Occidentalis Juglans Nigra	70% 60%	29.20" 45.22"	9.30" 14.40"	0.78' 1.20'	10' 15'	X	X	Onsite Onsite	Vine Multi-Leader
2444	Dead	Jugians Nigra X	X	45.22 X	X	X X	X	X	^	Onsite	Dead
2446	Eastern Red Cedar	Juniperus Virginiana	60%	29.20"	9.30"	0.78'	10'	Х	X	Onsite	Co-Dominant Leader, Vine
2447	Hackberry	Celtis Occidentalis	70%	38.31"	12.20"	1.02'	13'	X	X	Onsite	
2448 2450	Pin Oak American Holly	Quercus Palustris llex Opaca	80% 70%	36.74" 34.54"	11.70" 11.00"	0.98' 0.92'	12' 11'	X	X	Onsite Onsite	
2450	Black Cherry	Prunus Serotina	60%	36.11"	11.50"	0.92	12'	X	X	Offsite	Minor Vine, Lean
2452	Black Cherry	Prunus Serotina	70%	35.48"	11.30"	0.94'	12'	X	Х	Onsite	Co-Dominant Leader, Minor Dieback, Vine
2453	Black Cherry	Prunus Serotina	50%	66.25"	21.10"	1.76'	22'	X	X	Offsite	Co-Dominant Leader, Major Dieback, Vine
2454 2522	Black Locust Red Maple	Robinia Pseuodacacia Acer Rubrum	50% 80%	83.21" 46.16"	26.50" 14.70"	2.21' 1.23'	27' 15'	X	X	Onsite Offsite	Trunk Scar, Decay, Vine Codominant leader, Weak
2523	Red Maple	Acer Rubrum	80%	55.58"	17.70"	1.48'	18'		X	Offsite	branching angle Codominant leader, Weak
2524	Red Maple	Acer Rubrum	65%	36.74"	11.70"	0.98'	12'		X	Offsite	branching angle, Minor dieback Crown dieback, Codominant
2525	Red Maple	Acer Rubrum	75%	48.98"	15.60"	1.30'	16'		X	Offsite	leader, Limbed up Codominant leader, Minor
2526	Red Maple	Acer Rubrum	70%	86.04"	27.40"	2.28'	28'	х	Х	Onsite	dieback Codominant leader, Vine growth, Minor dieback
2527	White Pine	Pinus strobus	40%	37.68"	12.00"	1.00'	12'			Offsite	Major dieback, Trunk scar, Vine
2528	White Pine	Pinus strobus	60%	55.58"	17.70"	1.48'	18'	х		Offsite	Major dieback, Minor vine growth
ATTENDED TO THE			A LANGUAGE MODEL		11/2000			. —		1 Sec. (1992) (1997)	THE PERSON OF TH
2529	White Pine	Pinus strobus	65%	51.50"	16.40"	1.37'	17'			Offsite	Vine growth, Major dieback Codominant leader, Minor



REVISIONS					
REV	DATE	COMMENT	DRAWN B		
1	01/16/23	PER CITY INTAKE COMMENTS	NTG		
2	09/27/23	PER CITY REVIEW COMMENTS	NTG		



ZONING SUBMISSION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: DRAWN BY: CHECKED BY: DATE: CAD I.D.: 12/28/2022 EVEG-1

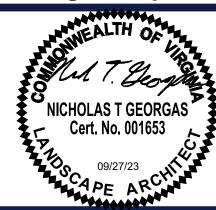
PROPOSED REZONING

4131 CHAIN BRIDGE RD

TDC ACQUISITIONS, LLC



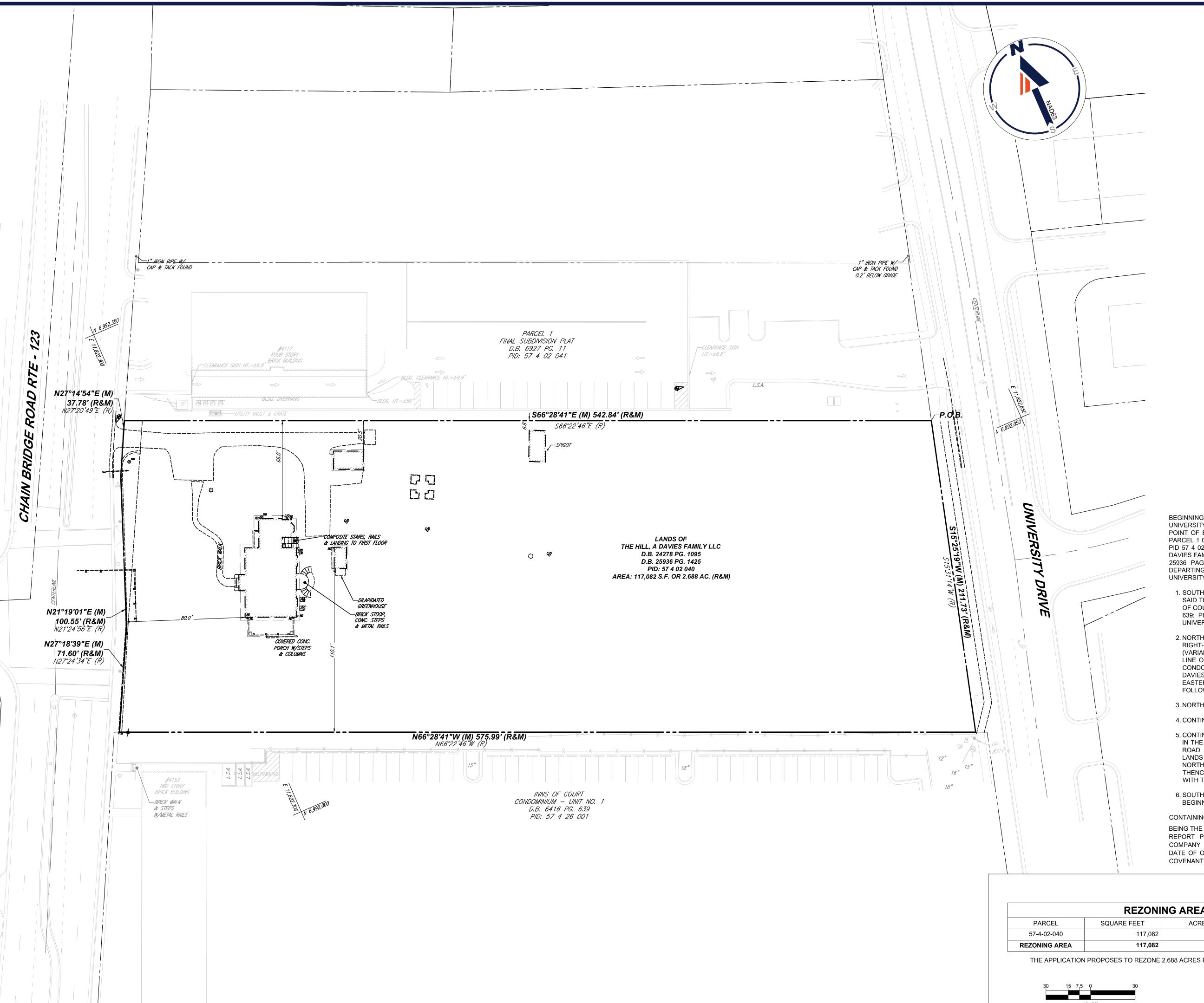
12825 WORLDGATE DR. SUITE 700 HERNDON, VIRGINIA 20170 Phone: (703) 709-9500 Fax: (703) 709-9501 VA@BohlerEng.com



SHEET TITLE:

TREE INVENTORY SCHEDULE

C-7.10





LANDS OF THE HILL, A DAVIES FAMILY LLC DEED BOOK 24278 PAGE 1095 DEED BOOK 25936 PAGE 1425 CITY OF FAIRFAX FAIRFAX COUNTY, VIRGINIA

BEGINNING IN THE WESTERLY RIGHT-OF-WAY LIMITS OF UNIVERSITY DRIVE (VARIABLE WIDTH RIGHT-OF-WAY AND SAID POINT OF BEGINNING ALSO BEING A LINE OF DIVISION BETWEEN PARCEL 1 OF FINAL SUBDIVISION PLAT (DEED BOOK 6927 PAGE 11; PID 57 4 02 041) ON THE NORTH, AND THE LANDS OF THE HILL, A DAVIES FAMILY LLC (DEED BOOK 24278 PAGE 1095 AND DEED BOOK 25936 PAGE 1425; PID 57 4 02 040) ON THE SOUTH, THENCE DEPARTING SAID DIVISION LINE AND RUNNING WITH SAID UNIVERSITY DRIVE;

1. SOUTH 15° 25' 19" WEST, 211.73 FEET TO THE DIVISION LINE OF SAID THE HILL, A DAVIES FAMILY LLC TO THE NORTH AND INNS OF COURT, CONDOMINIUM - UNIT NO. 1 (DEED BOOK 6416 PAGE 639; PID 57 4 26 001) TO THE SOUTH, THENCE DEPARTING UNIVERSITY DRIVE AND RUNNING WITH SAID LINE OF DIVISION;

2. NORTH 66° 28' 41" WEST, 575.99 FEET TO THE EASTERLY RIGHT-OF-WAY LINE OF CHAIN BRIDGE ROAD - VA RTE 123 (VARIABLE WIDTH RIGHT-OF-WAY), THENCE DEPARTING SAID LINE OF DIVISION BETWEEN SAID LANDS OF INNS OF COURT, CONDOMINIUM - UNIT NO. 1 TO THE SOUTH AND THE HILL, A DAVIES FAMILLY LLC TO THE NORTH AND RUNNING WITH SAID EASTERLY RIGHT-OF-WAY LINE OF CHAIN BRIDGE ROAD THE FOLLOWING THREE (3) COURSES AND DISTANCES;

3. NORTH 27° 18' 39" EAST, 71.60 FEET, THENCE;

4. CONTINUING, NORTH 21° 19' 01" EAST, 100.55 FEET, THENCE;

5. CONTINUING NORTH 27° 14' 54" EAST, 37.78 FEET, TO A POINT IN THE SAID EASTERLY RIGHT-OF-WAY LINE OF CHAIN BRIDGE ROAD AND BEING A LINE OF DIVISION BETWEEN THE SAID LANDS OF PARCEL 1 OF FINAL SUBDIVISION PLAT TO THE NORTH AND THE HILL, A DAVIES FAMILY LLC TO THE SOUTH, THENCE DEPARTING SAID CHAIN BRIDGE ROAD AND RUNNING WITH THE SAID LINE OF DIVISION;

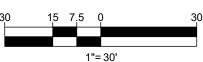
6. SOUTH 66° 28' 41" EAST, 542.84 FEET TO THE POINT OF BEGINNING.

CONTAINING 117,082 SQUARE FEET OR 2.688 ACRES

BEING THE SAME PROPERTY AS DESCRIBED IN TITLE COMMITMENT REPORT PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY COMMITMENT NO. DC2103072, WITH A COMMITMENT DATE OF OCTOBER 17, 2021, AND IS SUBJECT TO RESTRICTIONS, COVENANTS AND/OR EASEMENTS, WRITTEN OR IMPLIED.

REZONING AREA TABULATION							
SQUARE FEET	ACRES	EXISTING ZONE	PROPOSED ZONE				
117,082	2.688	RM	CU				

THE APPLICATION PROPOSES TO REZONE 2.688 ACRES FROM THE RM DISTRICT TO THE CU DISTRCIT





	R	REVISIONS	
ΞV	DATE	COMMENT	DRAWN BY CHECKED BY
1	01/16/23	PER CITY INTAKE COMMENTS	NTG
2	09/27/23	PER CITY REVIEW COMMENTS	NTG



It's fast. It's free. It's the law.

ZONING SUBMISSION

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PROJECT No.: DRAWN BY: DATE: CAD I.D.: 12/28/2022 SPEX-1

PROJECT:

PROPOSED REZONING

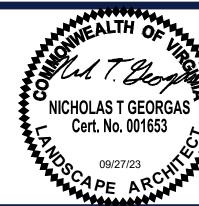
4131 CHAIN BRIDGE RD

TDC ACQUISITIONS,

BOHLER//

12825 WORLDGATE DR. SUITE 700 HERNDON, VIRGINIA 20170 Phone: (703) 709-9500

Fax: (703) 709-9501 VA@BohlerEng.com



SHEET TITLE:

REZONING PLAT

EX-1







A-100B



WDG ARCHITECTURE, PLLC 1025 CONNECTICUT AVENUE NW WASHINGTON DC 20036 TEL 202 857 8300 www.wdgarch.com

STRUCTURAL ENGINEER ELLINWOOD + MACHADO 3000 WILSON BLVD SUITE 350 ARLINGTON, VA 22205

TEL -

MEP ENGINEER HENRY ADAMS, LLC 600 BALTIMORE AVENUE SUITE 400 BALTIMORE, MD 21204

RD CHAIN BRIDGE

 \mathcal{C}

TDC ACQUISTIONS, LLC 1850 M STREET, NW SUITE 820 WASHINGTON, DC 20036

ZONING SUBMISSION 12.28.2022

REZONING RESUBM 09.27.2023

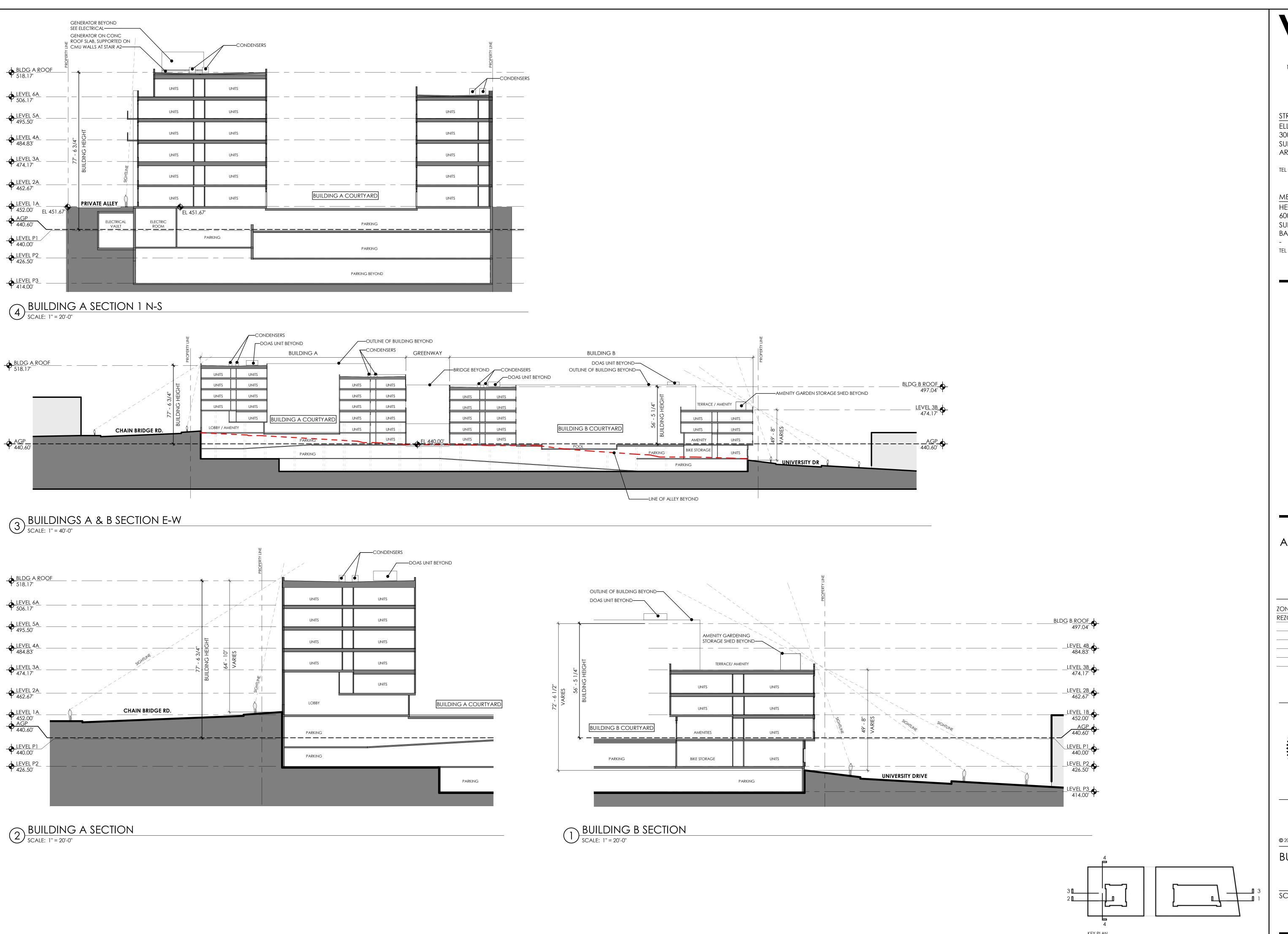
PROFESSIONAL SEAL

WDG PROJECT NO:

ELEVATIONS

SCALE: As indicated

A-101



WDG

WDG ARCHITECTURE, PLLC 1025 CONNECTICUT AVENUE NW SUITE 300 WASHINGTON DC 20036 TEL 202 857 8300 www.wdgarch.com

STRUCTURAL ENGINEER
ELLINWOOD + MACHADO
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ARLINGTON, VA 22205

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MEP ENGINEER
HENRY ADAMS, LLC
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SUITE 400
BALTIMORE, MD 21204

TEL -

. | 5

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4131 CHAIN BRIDGE

TDC
ACQUISTIONS, LLC
1850 M STREET, NW
SUITE 820
WASHINGTON, DC 20036

ZONING SUBMISSION 12.28.2022 REZONING RESUBM 09.27.2023

EZOINING RESUBIM 09.27.2023

C SEAN MICHAEL STADLER 5
Lic. No. 0401-014087

PROFESSIONAL SEAL

WDG PROJECT NO:

BUILDING SECTIONS

SCALE: As indicated

A-102

REZONING RESUBM 09.27.2023

PROFESSIONAL SEAL

WDG PROJECT NO: WA22001

PERSPECTIVE VIEWS

SCALE: 12" = 1'-0"

KEY PLAN

A-103

STRUCTURAL ENGINEER ELLINWOOD + MACHADO 3000 WILSON BLVD SUITE 350 ARLINGTON, VA 22205

> MEP ENGINEER HENRY ADAMS, LLC SUITE 400 BALTIMORE, MD 21204



2 UNIVERSITY DR VIEW LOOKING NORTHWEST





4 UNIVERSITY DR VIEW LOOKING SOUTHWEST

3 CHAIN BRIDGE RD VIEW LOOKING SOUTHEAST

1 UNIVERSITY DR VIEW LOOKING SOUTHWEST

ALL DRAWINGS ARE PROVIDED FOR ILLUSTRATIVE PURPOSES ONLY AND ARE SUBJECT TO CHANGE PER FINAL ARCHITECTURAL, CIVIL AND SITE DESIGN

WDG ARCHITECTURE, PLLC 1025 CONNECTICUT AVENUE NW SUITE 300 WASHINGTON DC 20036 TEL 202 857 8300 www.wdgarch.com

STRUCTURAL ENGINEER
ELLINWOOD + MACHADO

3000 WILSON BLVD SUITE 350 ARLINGTON, VA 22205

TEL -

MEP ENGINEER

HENRY ADAMS, LLC
600 BALTIMORE AVENUE
SUITE 400
BALTIMORE, MD 21204

-TEL -

31 CHAIN BRIDGE

TDC
ACQUISTIONS, LLC
1850 M STREET, NW
SUITE 820
WASHINGTON, DC 20036

ZONING SUBMISSION 12.28.2022 REZONING RESUBM 09 27 2023

REZONING RESUBM 09.27.2023

O SEAN MICHAEL STADLER Lic. No. 0401-014087

professional seal

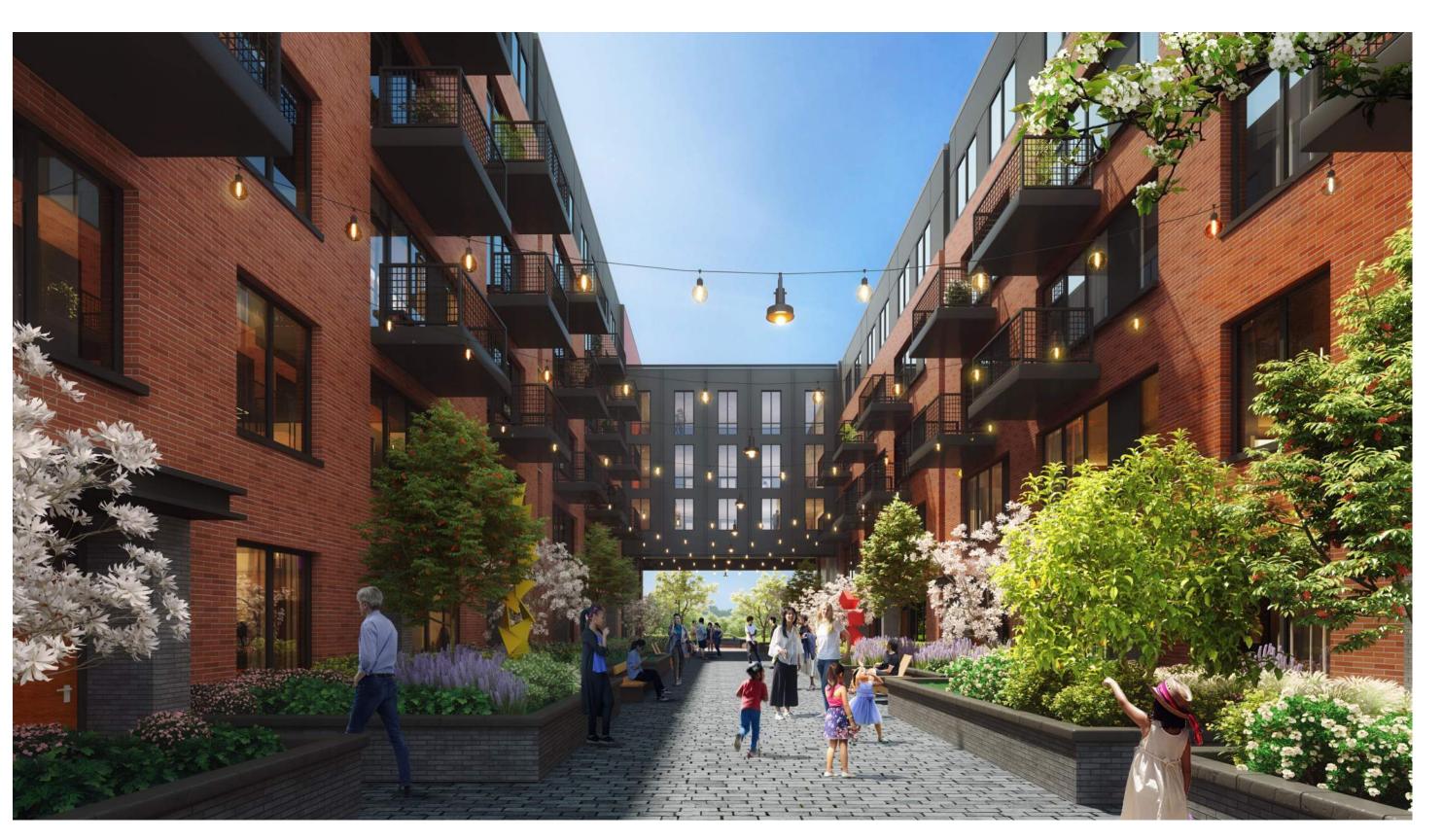
WDG PROJECT NO:

© 2023 WA22001
PERSPECTIVE VIEWS

SCALE:

A-104

KEY PLAN



(1) GREENWAY VIEW LOOKING NORTH

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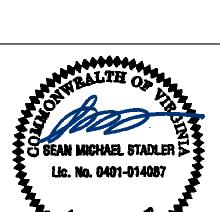
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CHAIN BRIDGE

ACQUISTIONS, LLC 1850 M STREET, NW SUITE 820 WASHINGTON, DC 20036

31

REZONING RESUBM 09.27.2023

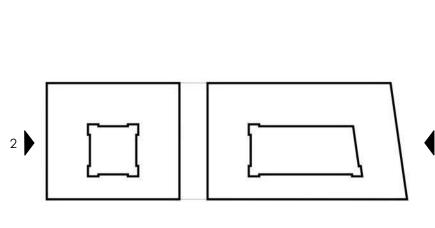


PROFESSIONAL SEAL

WDG PROJECT NO: WA22001

PERSPECTIVE ELEVATIONS

SCALE: A-105



KEY PLAN









2 ENLARGED ELEVATION PERSPECTIVE_CHAIN BRIDGE RD SCALE: 3/16" = 1'-0"

4131 CHAIN BRIDGE ROAD

City of Fairfax Fairfax County, Virginia

LANDSCAPE ARCHITECT

ParkerRodriguez

101 North Union Street, Suite 320 Alexandria VA 22314 703.548.5010

OWNER

TDC Acquisitions, LLC 1800 M St NW, Suite 820 Washington, DC 20036

ARCHITECT
WDG Architecture
1025 Connecticut Ave NW, Suite 300
Washington, DC 20036
202-857-8300

CIVIL ENGINEER

Bohler
12825 Worldgate Drive, Suite 700

Herndon, VA 20170

Herndon, VA 20170 703-709-9500 LIGHITNG DESIGNER

Name Street, Suite City, State, Zip

MEP ENGINEER
Henry Adams, LLC
0 Baltimore Ave, Suite 400

600 Baltimore Ave, Suite 400 Baltimore, MD 21204 410-296-6500

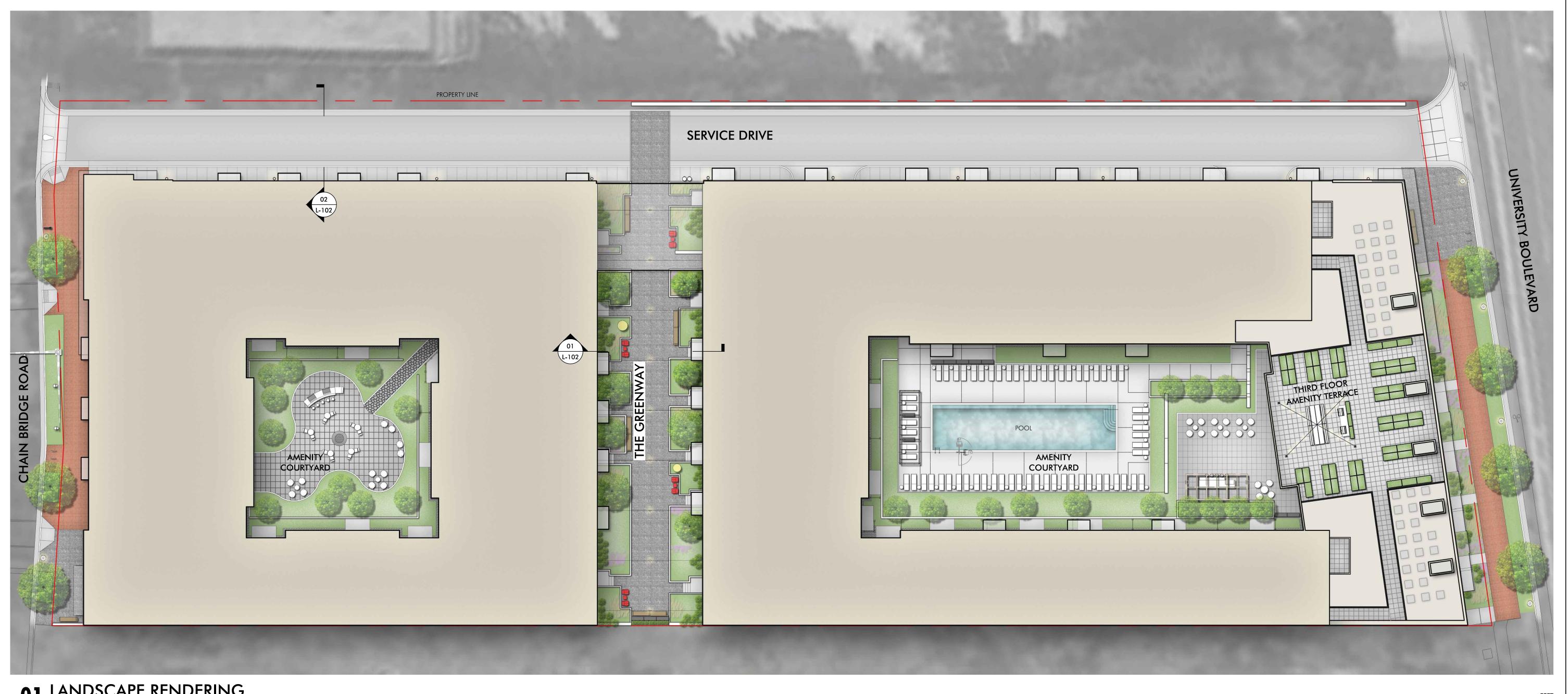
STRUCTURAL ENGINEER
Ellinwood + Machado Structural Engineers
3000 Wilson Blvd, Suite 350
Arlington, VA 22205
703-835-9989

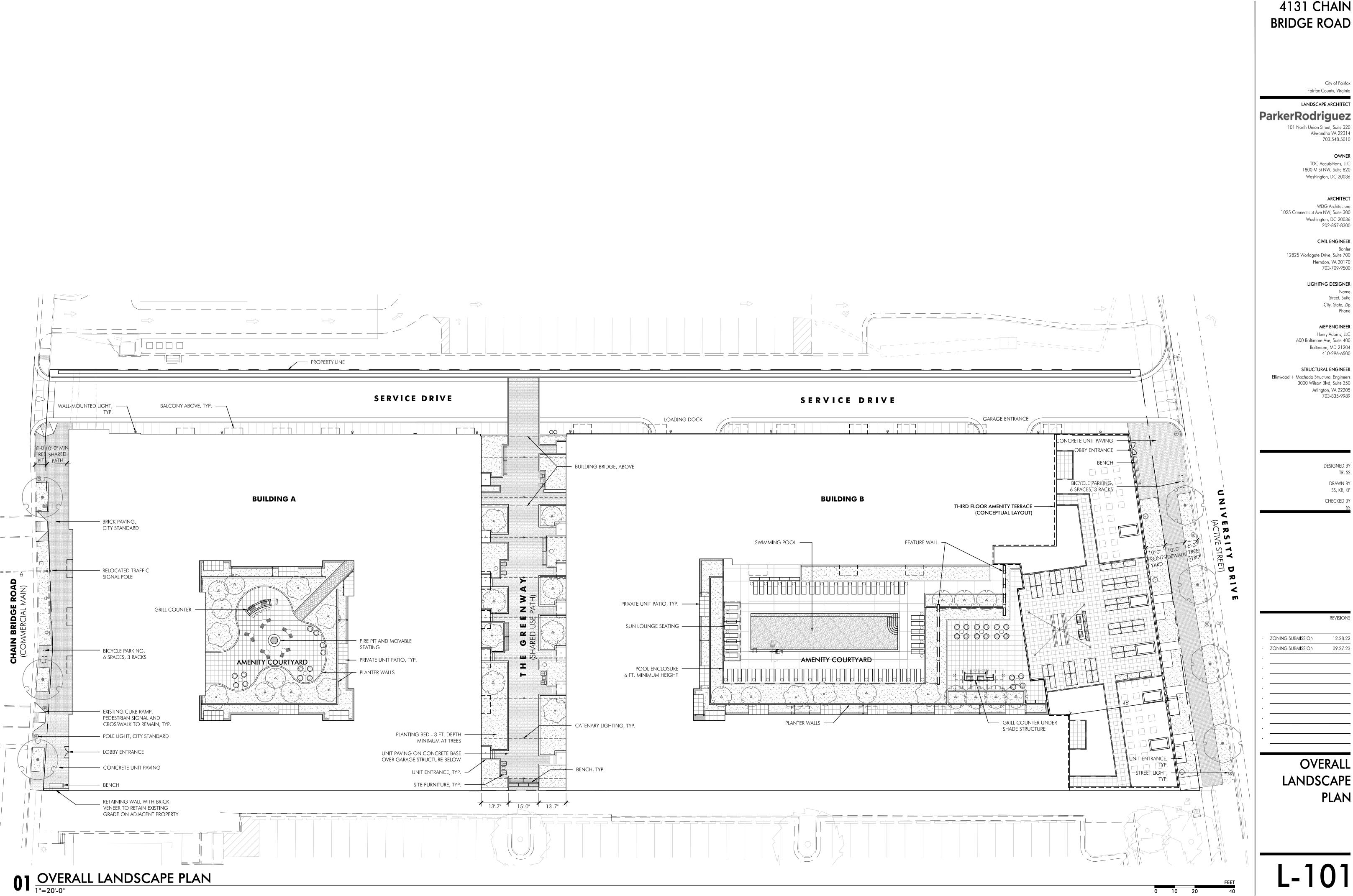
DESIGNED BY TR, SS DRAWN BY SS, KR, KF CHECKED BY

ZONING SUBMISSION 12.28.22
ZONING SUBMISSION 09.27.23

ILLUSTRATIVE SITE PLAN

L-100





4131 CHAIN | BRIDGE ROAD

City of Fairfax

LANDSCAPE ARCHITECT

101 North Union Street, Suite 320 Alexandria VA 22314

OWNER

TDC Acquisitions, LLC 1800 M St NW, Suite 820

Washington, DC 20036 ARCHITECT

WDG Architecture 1025 Connecticut Ave NW, Suite 300 Washington, DC 20036 202-857-8300

CIVIL ENGINEER 12825 Worldgate Drive, Suite 700 Herndon, VA 20170

703-709-9500

LIGHITNG DESIGNER Street, Suite

MEP ENGINEER Henry Adams, LLC 600 Ba**l**timore Ave, Suite 400

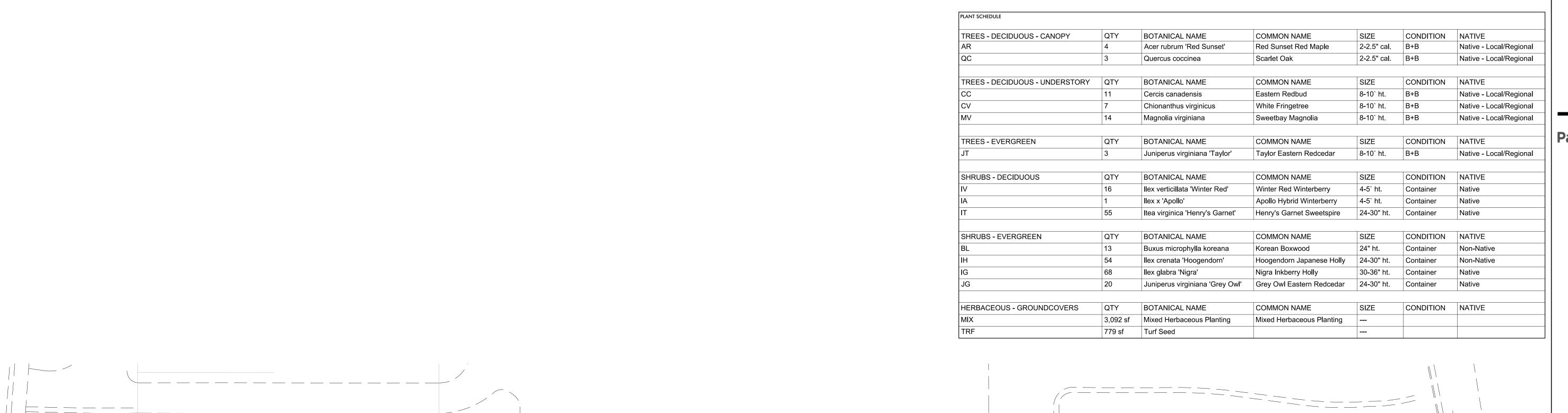
410-296-6500 STRUCTURAL ENGINEER Ellinwood + Machado Structural Engineers

3000 Wilson Blvd, Suite 350 Arlington, VA 22205 703-835-9989

> DESIGNED BY DRAWN BY SS, KR, KF CHECKED BY

12.28.22

OVERALL LANDSCAPE **PLAN**





Fairfax County, Virginia

City of Fairfax

ParkerRodriguez

101 North Union Street, Suite 320 Alexandria VA 22314 703.548.5010

OWNER
TDC Acquisitions, LLC

TDC Acquisitions, LLC 1800 M St NW, Suite 820 Washington, DC 20036

washington, DC 20030

ARCHITECT
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202-857-8300

CIVIL ENGINEER

Bohler

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LIGHITNG DESIGNER

City, State, Zip Phone

410-296-6500

703-835-9989

Street, Suite

MEP ENGINEER
Henry Adams, LLC
600 Baltimore Ave, Suite 400
Baltimore, MD 21204

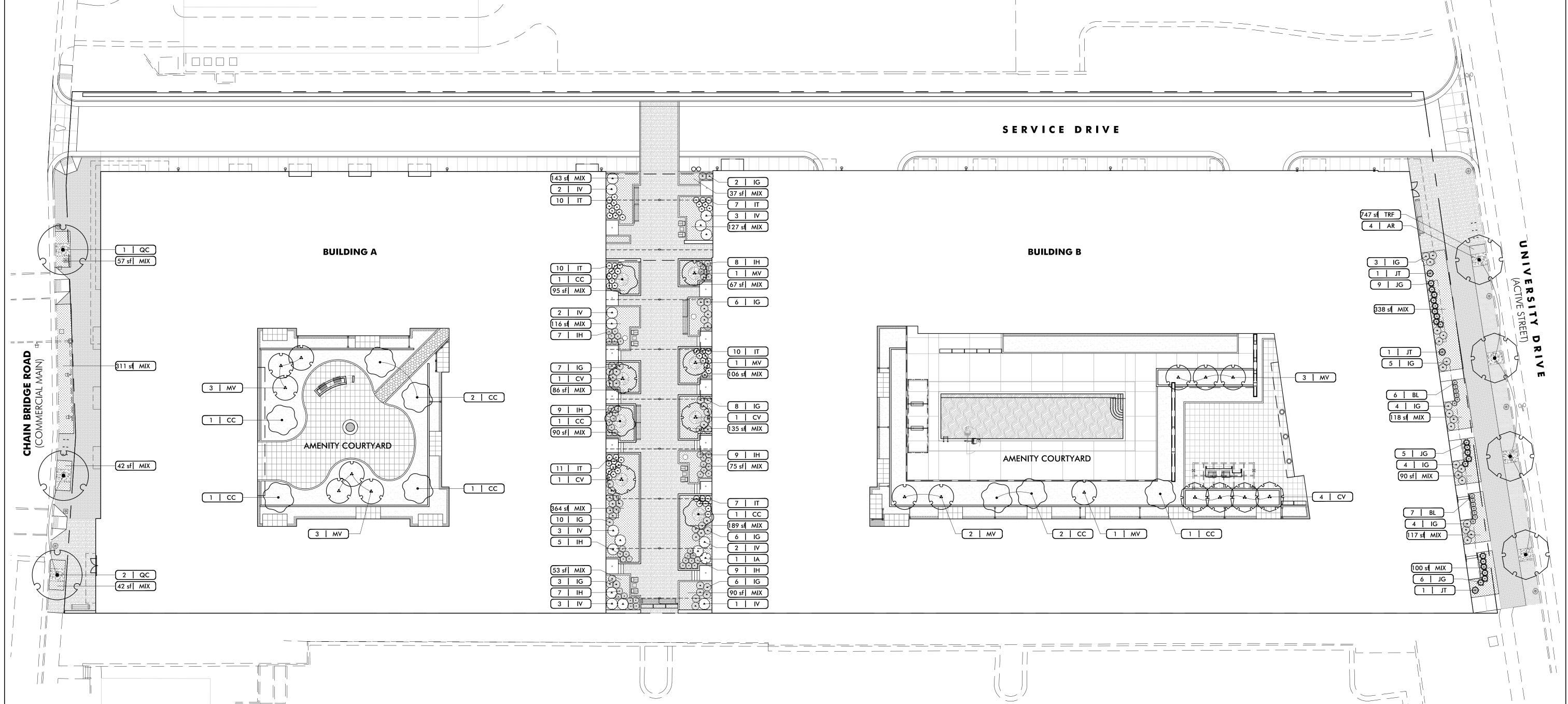
STRUCTURAL ENGINEER
Ellinwood + Machado Structural Engineers
3000 Wilson Blvd, Suite 350
Arlington, VA 22205

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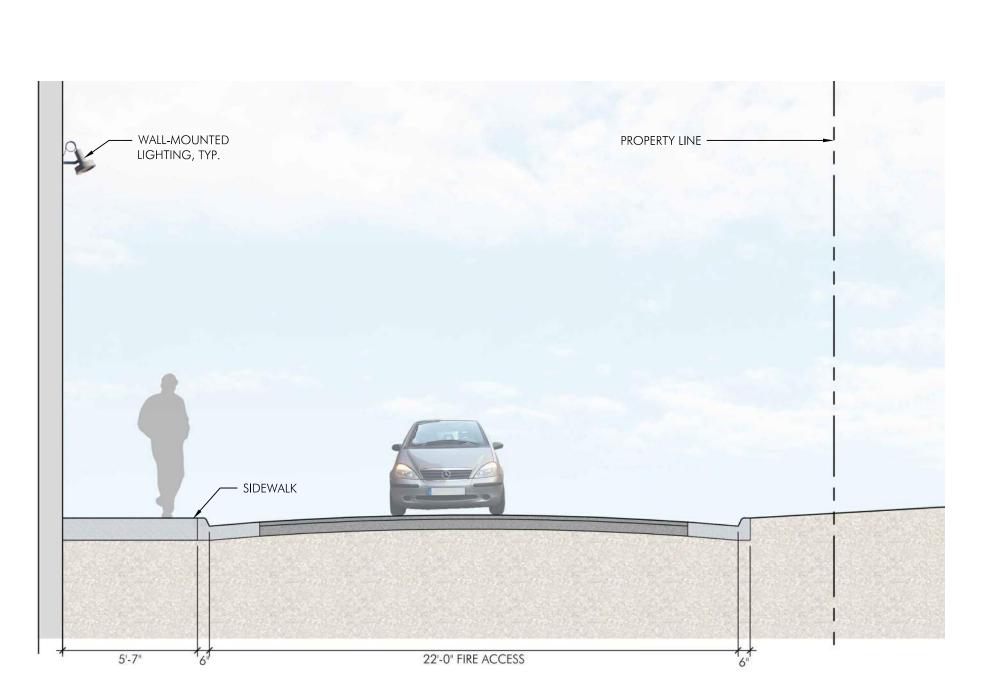
GROUND FLOOR PLANTING PLAN

L-102



01 PRELIMINARY GROUND FLOOR PLANTING PLAN

CATENARY BOHTING, TYP. SITE FURNITURE, TYP. BENCE, TVP. 10-0° 23-0° 4-7° 5-0°



4131 CHAIN BRIDGE ROAD

> City of Fairfax Fairfax County, Virginia

LANDSCAPE ARCHITECT

ParkerRodriguez

101 North Union Street, Suite 320 Alexandria VA 22314 703.548.5010

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202-857-8300

CIVIL ENGINEERBohler

Bohler 12825 Worldgate Drive, Suite 700 Herndon, VA 20170 703-709-9500

LIGHITNG DESIGNERName

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Baltimore, MD 21204

410-296-6500

STRUCTURAL ENGINEER
od + Machado Structural Engineers

Ellinwood + Machado Structural Engineers 3000 Wilson Blvd, Suite 350 Arlington, VA 22205 703-835-9989

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LANDSCAPE SECTIONS

L-200

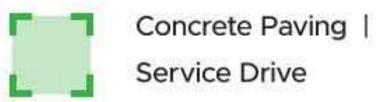
 $01_{\frac{1}{4''=1'-0''}}$

02 SERVICE ALLEY SECTION

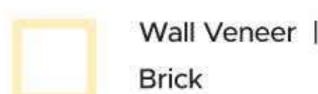
1/4"=1'-0"



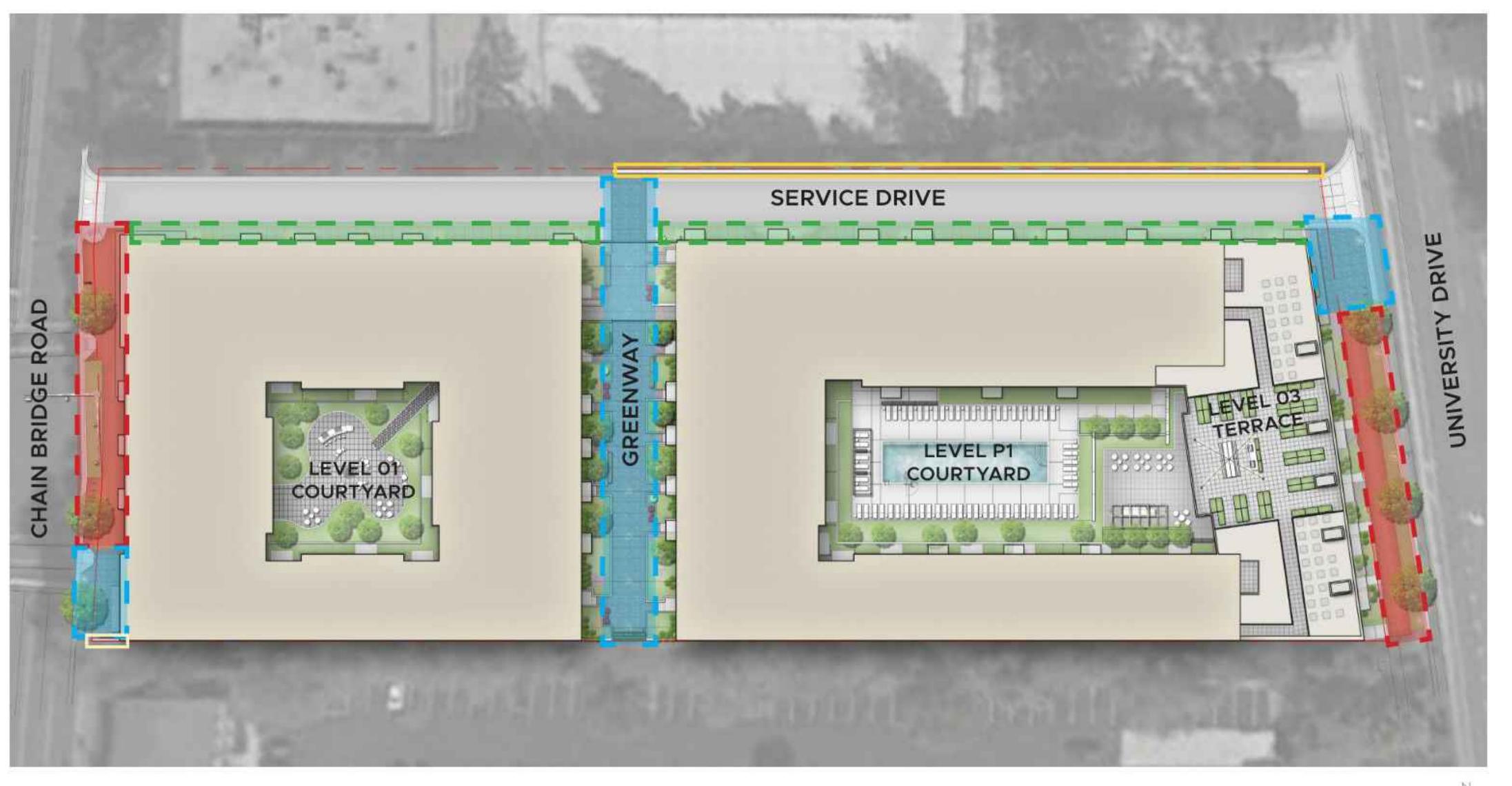


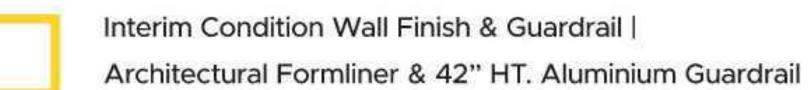


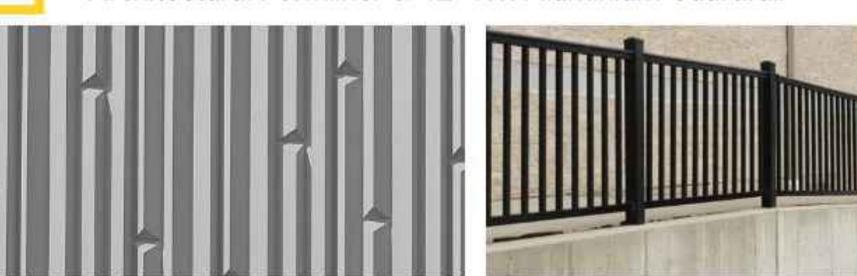












4131 CHAIN BRIDGE ROAD

> City of Fairfax Fairfax County, Virginia

LANDSCAPE ARCHITECT

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LIGHITNG DESIGNER

Name Street, Suite City, State, Zip Phone

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Henry Adams, LLC
600 Baltimore Ave, Suite 400
Baltimore, MD 21204

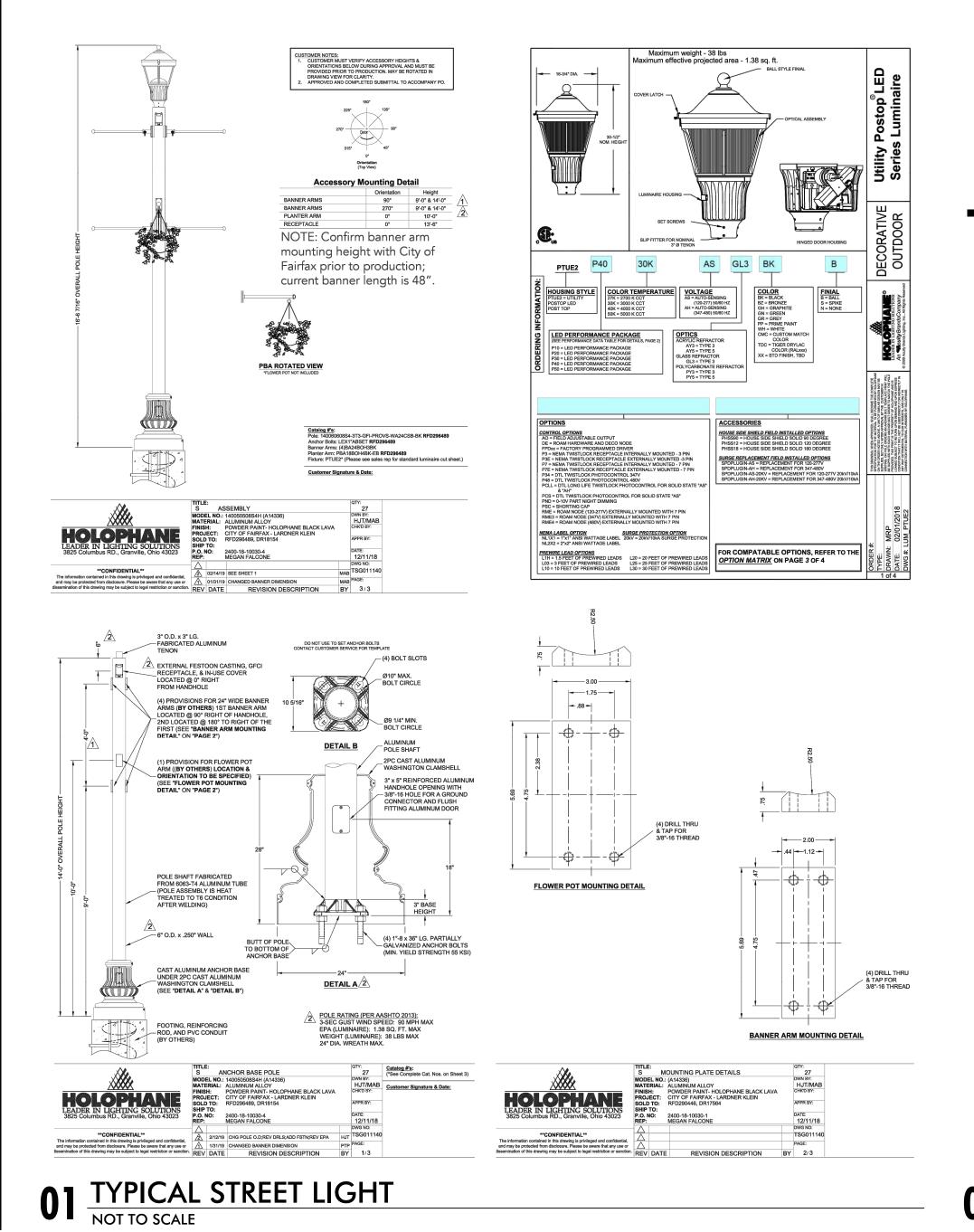
STRUCTURAL ENGINEER
Ellinwood + Machado Structural Engineers
3000 Wilson Blvd, Suite 350
Arlington, VA 22205
703-835-9989

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LANDSCAPE MATERIALS

L-300



Arne Spec Sheet | ARxP



Arne Spec Sheet | ARxP

landscapeforms

Housing & Materials

Cast aluminum construction with tempered glass diffuser lens and a threaded weatherproof cord grip. Housing features polymer sealing

Electrical 120V through 277V 50/60 Hz integrated electronic driver. 0-10V dimming. -40°C start temperature. Available with optional ANSI C136.41 twist lock receptacle. Arne ships prewired and fully assembled.

gasket as well as stainless steel and black zinc-plated steel screws.

Light Engine High powered LEDs mounted to a RoHS compliant circuit board with PMMA optics affixed to each LED on the board. Available in 3000K

and 4000K. >80 CRI across all available color temperatures.

Warranty Urbidermis guarantees the composition and performance features of all material that shape the product for a period of three years. Electrical components including LED boards and electronic drivers are guaranteed for a period of five years. Certification

UL Listed for Wet Location, CE, RoHS Compliant

ERTIFIED CE ROHS

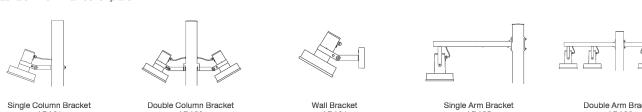
Designed by Urbidermis

Weight: 14 lbs (luminaire only)

Protection Class: IP66

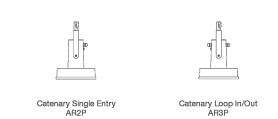
Mounting

The Arne luminaire has a variety of accessories to adapt it to different configurations. For pole mounted applications, a cast aluminum single or double column or arm mounting bracket will attach to a 5" diameter section of pole via a through-bolt. Arne will attach to mounting brackets via stainless steel clamp and/or hanging bracket. For catenary applications, the Arne will feature a cast aluminum support cable bracket attached to a stainless-steel hanging mounting bracket. For wall mounted applications, Arne will attach to a cast aluminum bracket via a stainless-steel clamp. Arne wall mount will also include a cast aluminum wall cover plate.



Catenary

For catenary applications, there will be two options: Single entry (AR2P) for single or end-of-line applications; and Loop in/out (AR3P) for multiple fixtures on the same line applications. (Example: A line span has (3) Arne catenary fixtures on it. The first (2) Arne fixtures will be the AR3P loop in/out option, while the third (end of line) fixture will be an AR2P). Please note that the support cable and electrical cable are not included. Electrical cable size range: 7.5-11.3mm, Support cable size range: 6-8mm



Shade Accessory Shade is constructed of thermoformed PMMA and attaches to the luminaire with stainless steel springs in three locations.



Revised May 19, 2023 | Landscape Forms Inc. | 800.521.2546 | F 269.381.3455 | 7800 E. Michigan Ave., Kalamazoo, MI 49048

4131 CHAIN BRIDGE ROAD

City of Fairfax

703.548.5010

TDC Acquisitions, LLC 1800 M St NW, Suite 820 Washington, DC 20036

Washington, DC 20036 202-857-8300

CIVIL ENGINEER

Herndon, VA 20170 703-709-9500

LIGHITNG DESIGNER

Street, Suite City, State, Zip

MEP ENGINEER Henry Adams, LLC

410-296-6500

600 Baltimore Ave, Suite 400 Baltimore, MD 21204

STRUCTURAL ENGINEER

3000 Wilson Blvd, Suite 350

Arlington, VA 22205 703-835-9989

DESIGNED BY TR, SS

> DRAWN BY SS, KR, KF

CHECKED BY

REVISIONS

12.28.22

ZONING SUBMISSION

ZONING SUBMISSION

LANDSCAPE

LIGHTING

Ellinwood + Machado Structural Engineers

OWNER

ARCHITECT WDG Architecture

Fairfax County, Virginia

LANDSCAPE ARCHITECT

101 North Union Street, Suite 320 Alexandria VA 22314

1025 Connecticut Ave NW, Suite 300

12825 Worldgate Drive, Suite 700

ParkerRodriguez

Arne's formal simplicity has international appeal and complements

both traditional and contemporary architecture. Inspired by the work of renowned Danish architect and designer Arne Jacobsen, Arne offers multiple functions and styles for a range of applications. This versatile luminaire can be wall mounted, suspended from a cable for catenary applications, or fixed to a pole or column. Arne provides full 360° rotation and tilt capabilities to efficiently light all aspects of the environment, from walkways and architectural structures to monuments and landscapes.

LED Configurations

EPA: 0.58 ft²

TM21 L70(10k): 50,000hrs

Revised May 19, 2023 | Landscape Forms Inc. | 800.521.2546 | F 269.381.3455 | 7800 E. Michigan Ave., Kalamazoo, MI 49048

02 TYPICAL CATENARY AND WALL LIGHT