

# PROPOSED REZONING TDC ACQUISITIONS, LLC

4131 CHAIN BRIDGE ROAD  
CITY OF FAIRFAX, VIRGINIA



SHEET INDEX	
CIVIL ENGINEERING	
SHEET TITLE	SHEET NUMBER
COVER SHEET	C-1.00
DEVELOPMENT TABULATIONS AND NOTES	C-2.00
EXISTING CONDITIONS PLAN	C-3.00
GENERAL DEVELOPMENT PLAN	C-4.00
LOT COVERAGE EXHIBIT	C-4.01
CIRCULATION PLAN	C-4.10
AUTOTURN ANALYSIS PLAN	C-4.20
PRELIMINARY GRADING PLAN	C-5.00
PRELIMINARY UTILITY PLAN	C-5.01
SIGHT DISTANCE PLAN	C-5.10
TREE INVENTORY PLAN	C-7.00
TREE INVENTORY SCHEDULE	C-7.10
CERTIFIED PLAT	EX-1
ARCHITECTURE	
SHEET TITLE	SHEET NUMBER
ELEVATIONS	A-100
ELEVATIONS	A-100A
ELEVATIONS - NORTH AND SOUTH ALTERNATE OPTIONS	A-100B
ELEVATIONS	A-101
BUILDING SECTIONS	A-102
PERSPECTIVE VIEWS	A-103
PERSPECTIVE VIEWS	A-104
PERSPECTIVE ELEVATIONS	A-105
LANDSCAPE ARCHITECTURE	
SHEET TITLE	SHEET NUMBER
ILLUSTRATIVE SITE PLAN	L-100
OVERALL LANDSCAPE PLAN	L-101
GROUND FLOOR PLANTING PLAN	L-102
LANDSCAPE SECTIONS	L-200
LANDSCAPE MATERIALS	L-300
LANDSCAPE LIGHTING	L-301

**BOHLER**™  
SITE CIVIL AND CONSULTING ENGINEERING  
PROGRAM MANAGEMENT  
LANDSCAPE ARCHITECTURE  
SUSTAINABLE DESIGN  
PERMITTING SERVICES  
TRANSPORTATION SERVICES

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
1	01/18/23	PER CITY INTAKE COMMENTS		NTG
2	09/27/23	PER CITY REVIEW COMMENTS		NTG

**811**  
Know what's below.  
Call before you dig.  
ALWAYS CALL 811  
It's fast. It's free. It's the law.

**ZONING SUBMISSION**

PROJECT No.: S212198  
DRAWN BY: AD  
DATE: 12/28/2022  
CAD ID: CND5-0

PROJECT:  
**PROPOSED REZONING**  
4131 CHAIN BRIDGE RD  
FOR  
**TDC ACQUISITIONS, LLC**

**BOHLER** //  
12825 WORLDGATE DR. SUITE 700  
HERNDON, VIRGINIA 20170  
Phone: (703) 709-9500  
Fax: (703) 709-9501  
VA@BohlerEng.com

COMMONWEALTH OF VIRGINIA  
NICHOLAS T. GEORGAS  
Cert. No. 001653  
09/27/23  
LANDSCAPE ARCHITECT

SHEET TITLE:  
**COVER SHEET**

SHEET NUMBER:  
**C-1.00**

REVISION 2 - 09/27/23

**CIVIL ENGINEER**  
**BOHLER**  
12825 WORLDGATE DRIVE; SUITE 700  
HERNDON, VA 20170  
CONTACT: NICHOLAS T. GEORGAS, PLA  
703-709-9500

**LANDSCAPE ARCHITECT**  
**PARKER RODRIGUEZ**  
101 NORTH UNION STREET; SUITE 320  
ALEXANDRIA, VA 22314  
CONTACT: STEVEN SATTLER, PLA  
703-548-5010

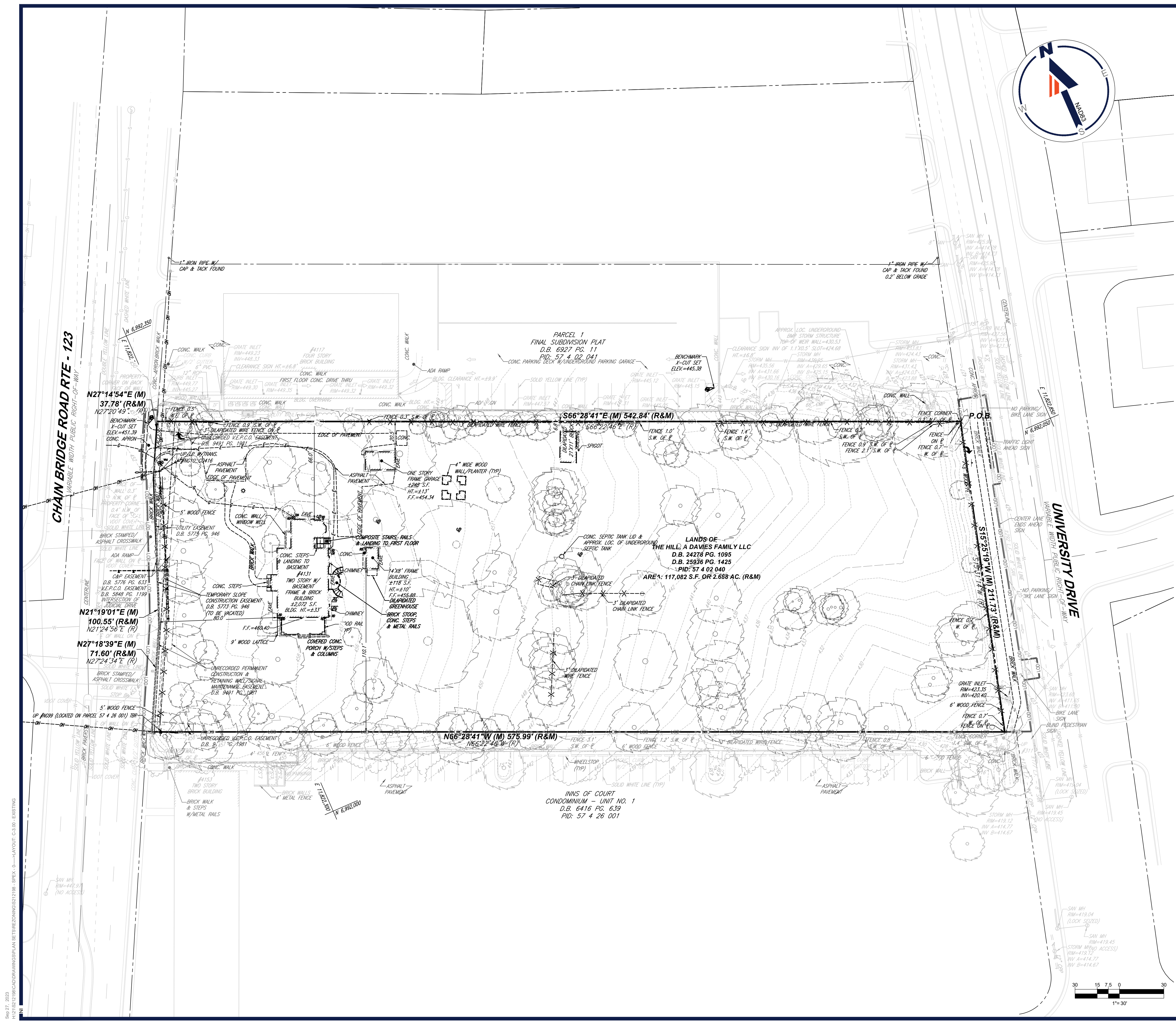
**ARCHITECT**  
**WDG ARCHITECTURE**  
1025 CONNECTICUT AVENUE; SUITE 300  
WASHINGTON, DC 20036  
CONTACT: SEAN STADLER, FAIA  
202-530-1387

**LAND USE ATTORNEY**  
**COZEN O'CONNOR**  
1200 19TH STREET NW  
WASHINGTON, DC 20036  
CONTACT: EVAN PRITCHARD  
202-280-6482

**APPLICANT**  
**TDC ACQUISITIONS, LLC**  
1850 M STREET NW; SUITE 820  
WASHINGTON, DC 20036  
CONTACT: NIHAR K. SHAH - PARTNER  
202-617-2145

**OWNER**  
**THE HILL, A DAVIES FAMILY LLC**  
C/O DAVIES AND DAVIES  
5531 LEE HIGHWAY; SUITE 206  
ARLINGTON, VA 22207





LEGEND	
	EXISTING CONTOUR
	EXISTING SPOT ELEVATION
	EXIST. TOP OF CURB ELEVATION
	EXIST. GUTTER ELEVATION
	EXIST. TOP OF WALL ELEVATION
	EXIST. BOTTOM OF WALL ELEVATION
	EXIST. EDGE OF PAVEMENT ELEVATION
	HYDRANT
	WATER VALVE
	GAS VALVE
	OVERHEAD WIRES
	APPROX. LOC. UNDERGROUND CABLE LINE PER UTILITY MARKOUT
	APPROX. LOC. UNDERGROUND GAS LINE PER UTILITY MARKOUT
	APPROX. LOC. UNDERGROUND ELEC. LINE PER UTILITY MARKOUT
	UTILITY POLE
	TRAFFIC SIGNAL
	ELECTRIC METER
	ELECTRIC BOX
	TRANSFORMER
	SANITARY MANHOLE
	TELEPHONE MANHOLE
	STORM DRAIN MANHOLE
	WATER METER
	GAS METER
	SIGN
	FENCE
	LANDSCAPED AREA
	AREA LIGHT
	CLEAN OUT
	ROOF DRAIN
	PAINTED ARROWS
	BIKE LANE
	TITLE REPORT EXCEPTION
	BENCHMARK
	UTILITY POLE/LIGHT POLE
	GUY WIRE
	TRAFFIC SIGNAL POLE
	TREE LINE
	TREE (SIZE AS NOTED)
	PROP. CORNER TO BE SET
	MEASURED
	RECORD
	POINT OF BEGINNING

REVISIONS			
REV	DATE	COMMENT	DRAWN BY
1	01/16/23	PER CITY INTAKE COMMENTS	NTG
2	09/27/23	PER CITY REVIEW COMMENTS	NTG

**BOHLER**  
 SITE CIVIL AND CONSULTING ENGINEERING  
 PROGRAM MANAGEMENT  
 LANDSCAPE ARCHITECTURE  
 SUSTAINABLE DESIGN  
 PERMITTING SERVICES  
 TRANSPORTATION SERVICES

REV	DATE	COMMENT	DRAWN BY
1	01/16/23	PER CITY INTAKE COMMENTS	NTG
2	09/27/23	PER CITY REVIEW COMMENTS	NTG

**811**  
 Know what's Below.  
 Call before you dig.  
 ALWAYS CALL 811  
 It's fast. It's free. It's the law.

**ZONING SUBMISSION**

PROJECT No.: S212198  
 DRAWN BY: AD  
 CHECKED BY: NTG  
 DATE: 12/28/2022  
 CAD ID: SPEC-1

PROJECT:  
**PROPOSED REZONING**  
 4131 CHAIN BRIDGE RD  
 FOR  
**TDC ACQUISITIONS, LLC**

**BOHLER**  
 12825 WORLDGATE DR. SUITE 700  
 HERNDON, VIRGINIA 20170  
 Phone: (703) 709-9500  
 Fax: (703) 709-9501  
 VA@BohlerEng.com

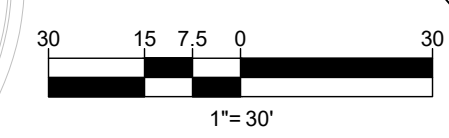
**NICHOLAS T. GEORGAS**  
 Cert. No. 001653  
 LANDSCAPE ARCHITECT

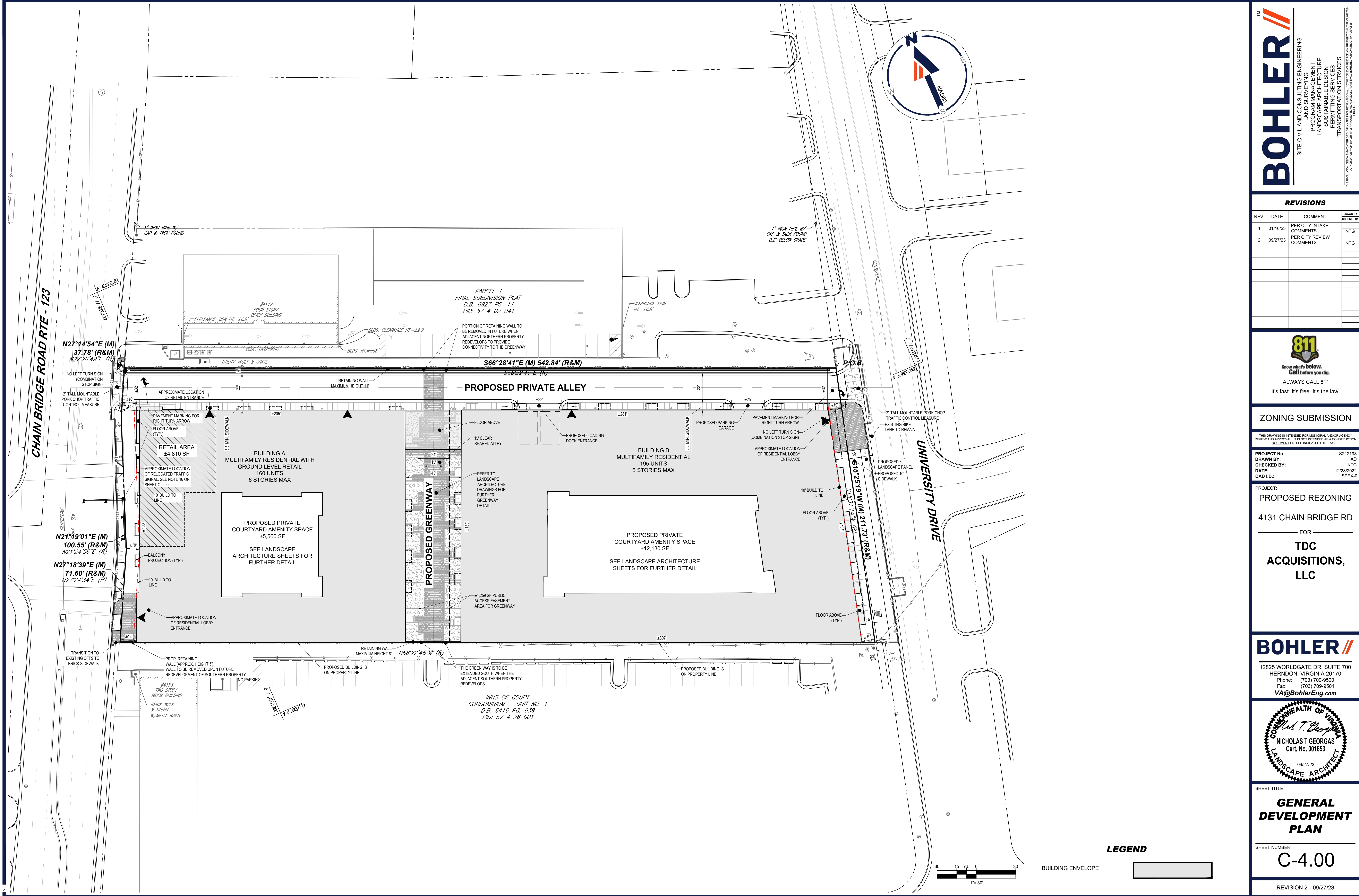
SHEET TITLE:  
**EXISTING CONDITIONS PLAN**

SHEET NUMBER:  
**C-3.00**

REVISION 2 - 09/27/23

8/6/27, 2023  
 H:\115112198\CAD\DRAWINGS\PLAN SET\REV\DRAWINGS\821198\_SPEX\_0 - LAYOUT\_C-3.00 - EXISTING





**BOHLER**  
SITE CIVIL AND CONSULTING ENGINEERING  
PROGRAM MANAGEMENT  
LANDSCAPE ARCHITECTURE  
SUSTAINABLE DESIGN  
PERMITTING SERVICES  
TRANSPORTATION SERVICES

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
1	01/16/23	PER CITY INTAKE COMMENTS	NTG	NTG
2	09/27/23	PER CITY REVIEW COMMENTS	NTG	NTG

**811**  
Know what's below.  
Call before you dig.  
ALWAYS CALL 811  
It's fast. It's free. It's the law.

**ZONING SUBMISSION**

PROJECT No.: S212198  
DRAWN BY: AD  
CHECKED BY: NTG  
DATE: 12/28/2022  
CAD ID: SFX-0

**PROPOSED REZONING**  
4131 CHAIN BRIDGE RD  
FOR  
**TDC ACQUISITIONS, LLC**

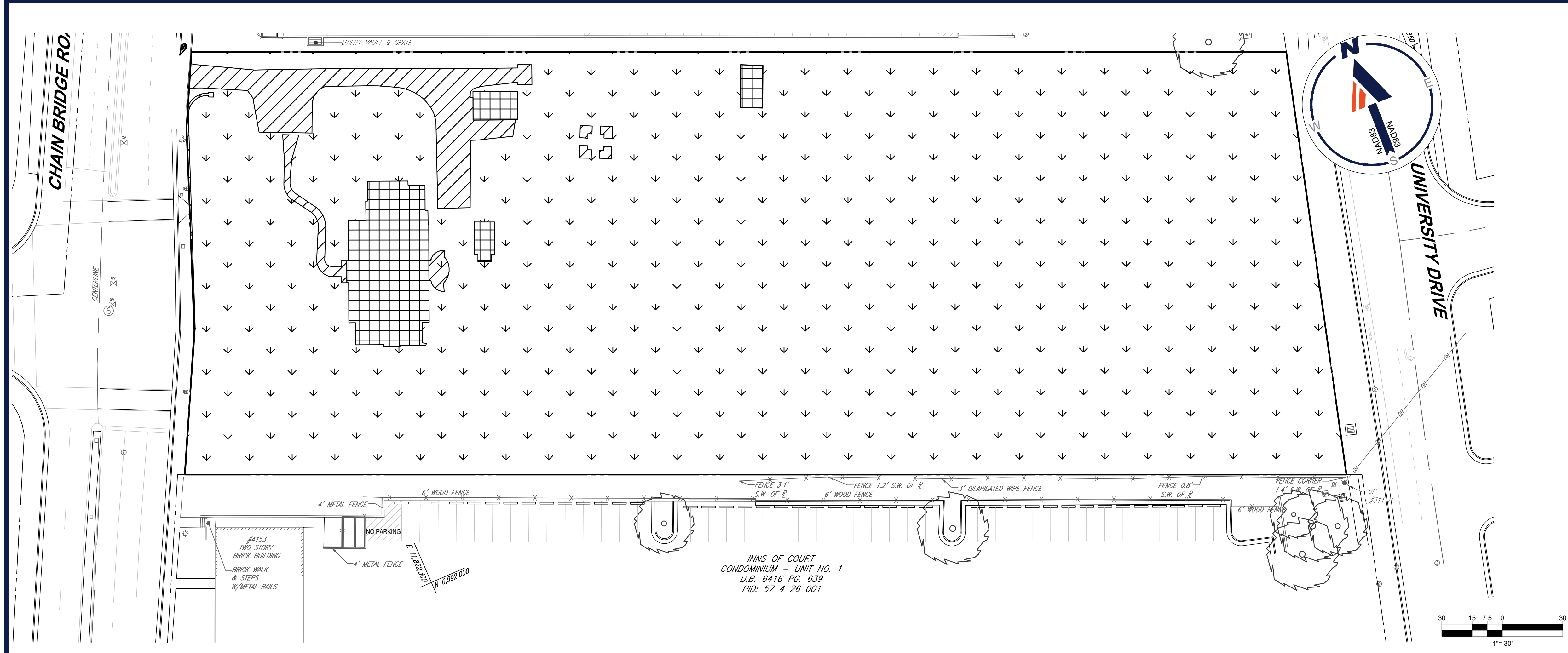
**BOHLER**  
12825 WORLDGATE DR. SUITE 700  
HERNDON, VIRGINIA 20170  
Phone: (703) 709-9500  
Fax: (703) 709-9501  
VA@BohlerEng.com

**COMMONWEALTH OF VIRGINIA**  
NICHOLAS T. GEORGAS  
Cert. No. 001653  
LANDSCAPE ARCHITECT

**GENERAL DEVELOPMENT PLAN**

SHEET NUMBER:  
**C-4.00**

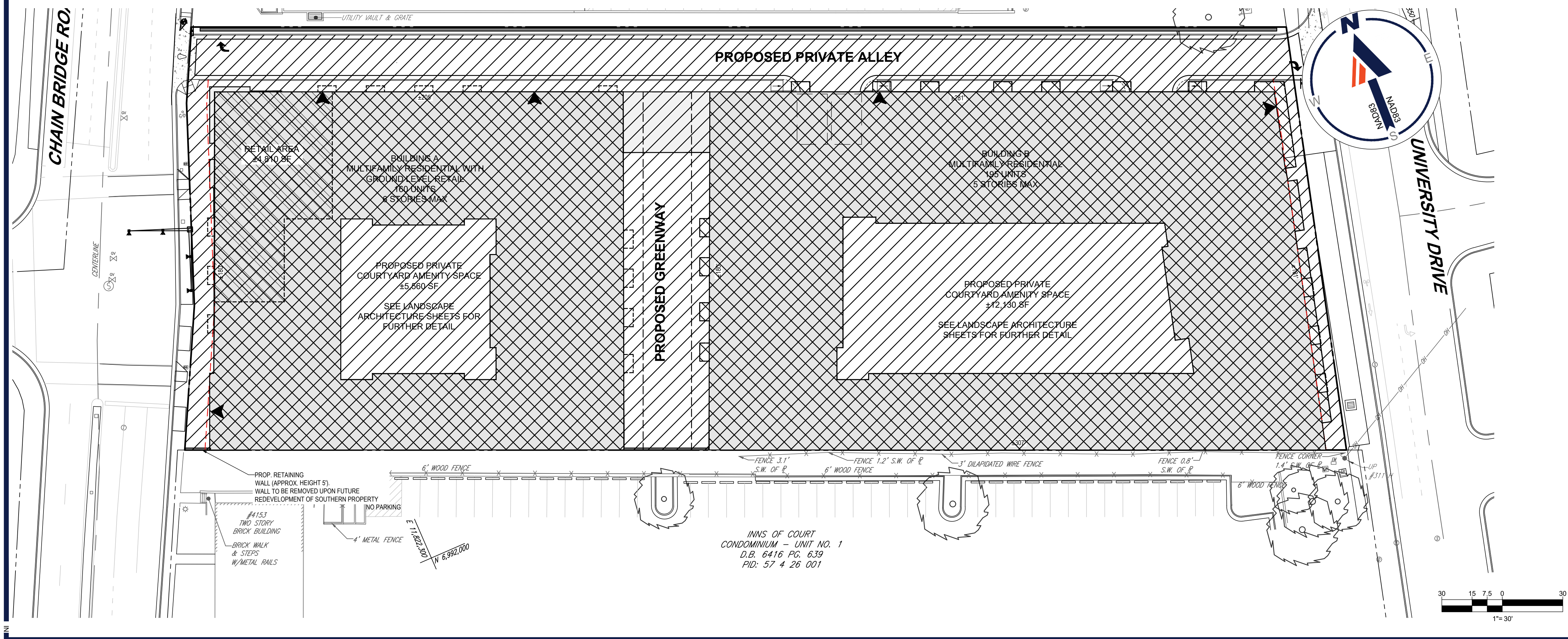
8/27/2023 11:51:12 AM C:\DRAWINGS\PLAN SETS\REZONING\21198 - SFX-0 - LAYOUT - C-4.00 - GENERAL DEVELOPMENT PLAN



**EXISTING CONDITIONS LEGEND**

- PROPERTY AREA  
117,082 SF
- EXISTING BUILDING COVERAGE  
3,690 SF (3.15%)
- OTHER EXISTING IMPERVIOUS AREA  
4,304 SF (3.68%)

**EXISTING BUILDING COVERAGE: 3.15%**  
**EXISTING LOT COVERAGE: 6.83%**



**PROPOSED CONDITIONS LEGEND**

- PROPERTY AREA  
117,082 SF
- PROPOSED BUILDING FOOTPRINT  
71,401 SF (61.0%)
- PROPOSED IMPERVIOUS AREA  
41,798 SF (35.7%)

**PROPOSED BUILDING COVERAGE: 61.0%**  
**PROPOSED LOT COVERAGE: 96.7%**

**BOHLER**  
SITE CIVIL AND CONSULTING ENGINEERING  
PROGRAM MANAGEMENT  
LANDSCAPE ARCHITECTURE  
SUSTAINABLE DESIGN  
PERMITTING SERVICES  
TRANSPORTATION SERVICES

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
1	01/18/23	PER CITY INTAKE COMMENTS		NTG
2	09/27/23	PER CITY REVIEW COMMENTS		NTG

**811**  
Know what's below.  
Call before you dig.  
ALWAYS CALL 811  
It's fast. It's free. It's the law.

**ZONING SUBMISSION**

PROJECT No.: S212198  
DRAWN BY: AD  
CHECKED BY: NTG  
DATE: 12/28/2022  
CAD ID: SPEX-0

PROJECT:  
**PROPOSED REZONING**  
4131 CHAIN BRIDGE RD  
FOR  
**TDC ACQUISITIONS, LLC**

**BOHLER**  
12825 WORLDGATE DR. SUITE 700  
HERNDON, VIRGINIA 20170  
Phone: (703) 709-9500  
Fax: (703) 709-9501  
VA@BohlerEng.com

COMMONWEALTH OF VIRGINIA  
NICHOLAS T. GEORGAS  
Cert. No. 001653  
LANDSCAPE ARCHITECT  
09/27/23

SHEET TITLE:  
**BUILDING AND LOT COVERAGE EXHIBITS**

SHEET NUMBER:  
**C-4.01**

REVISION 2 - 09/27/23

8/6/27, 2023  
H:\115312198\CAD\DRAWINGS\PLAN SETS\REZONING\S212198 - SPEX - 0 - LAYOUT - C-4.01 - LOT COVERAGE

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
1	01/18/23	PER CITY INTAKE COMMENTS		NTG
2	09/27/23	PER CITY REVIEW COMMENTS		NTG



Know what's below.  
 Call before you dig.  
 ALWAYS CALL 811  
 It's fast. It's free. It's the law.

**ZONING SUBMISSION**

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

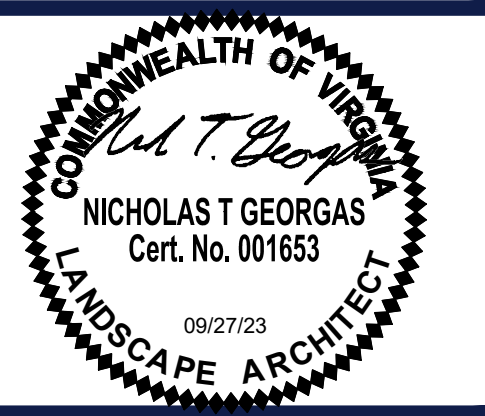
PROJECT No.: S212198  
 DRAWN BY: AD  
 CHECKED BY: NTG  
 DATE: 12/28/2022  
 CAD ID: SFX-1

**PROPOSED REZONING**

4131 CHAIN BRIDGE RD  
 FOR  
**TDC ACQUISITIONS, LLC**



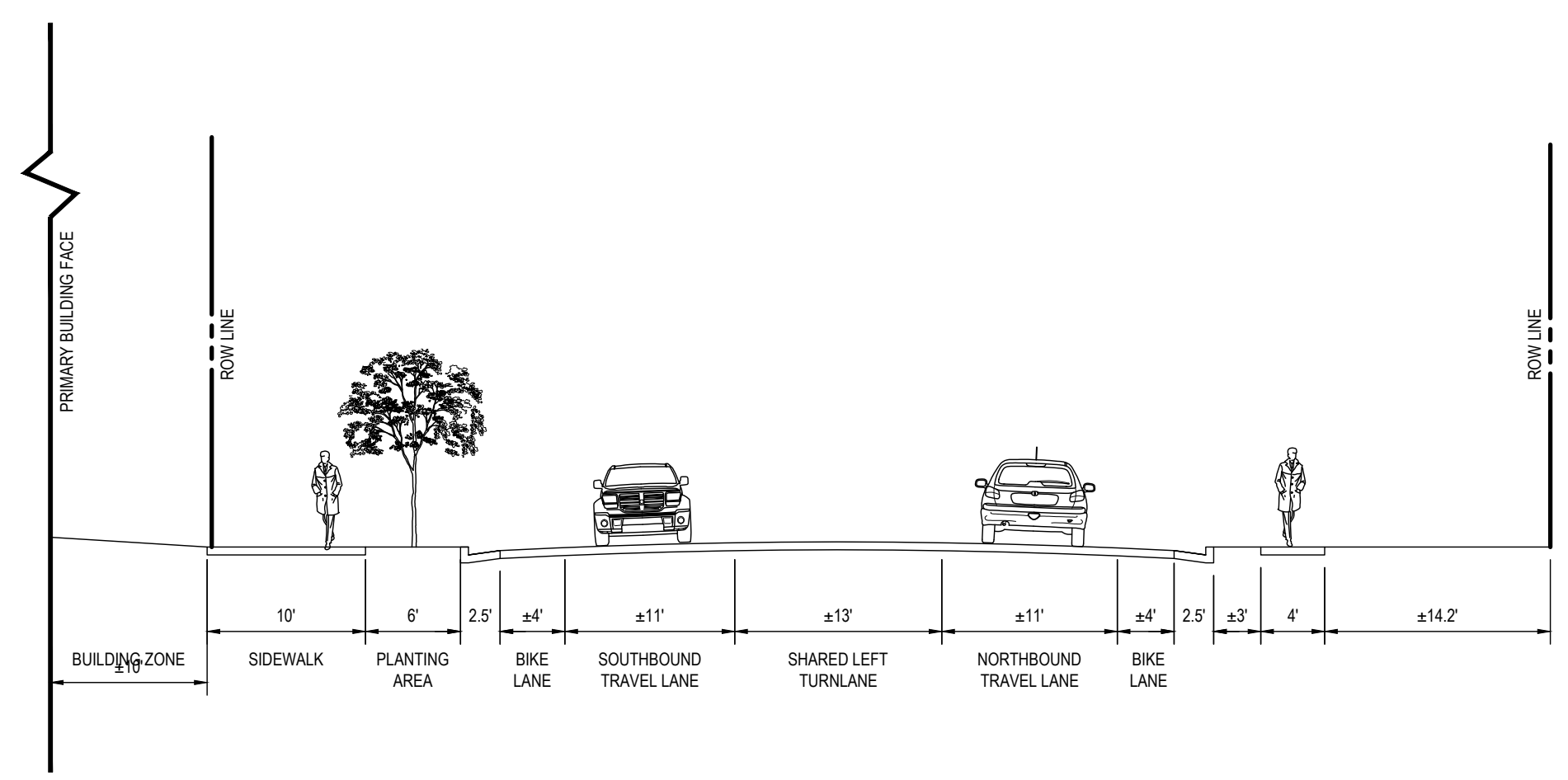
12825 WORLDGATE DR. SUITE 700  
 HERNDON, VIRGINIA 20170  
 Phone: (703) 709-9500  
 Fax: (703) 709-9501  
 VA@BohlerEng.com



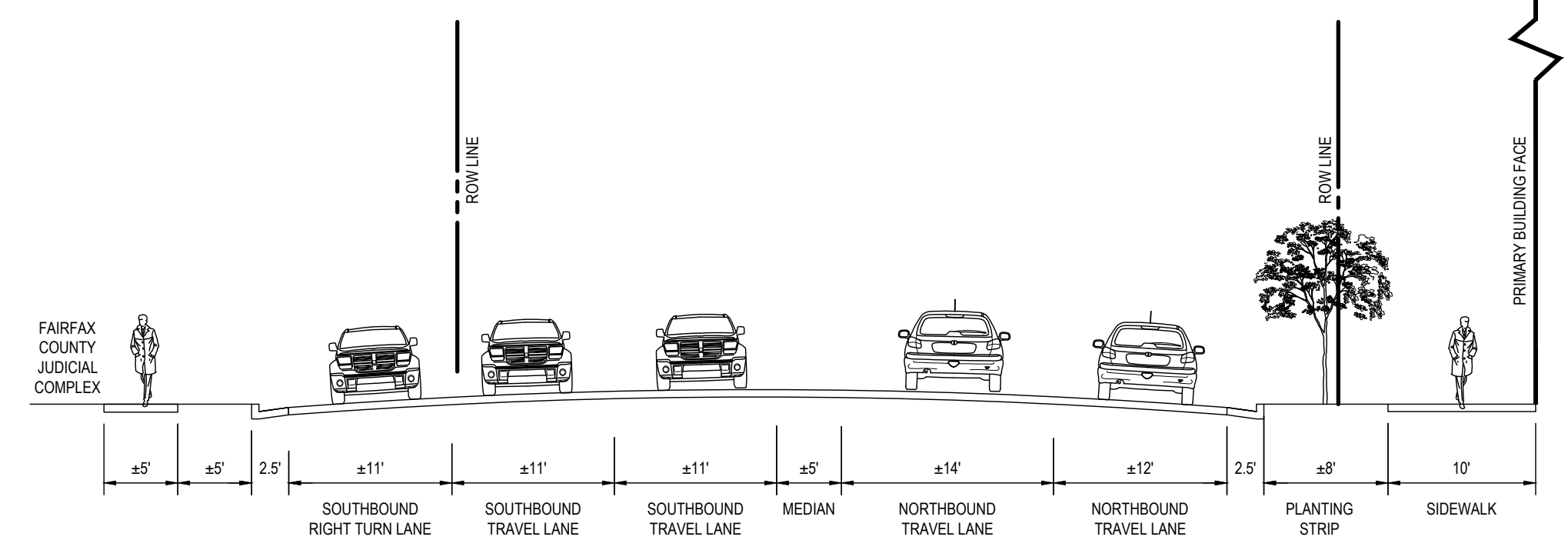
**CIRCULATION PLAN**

SHEET NUMBER:  
**C-4.10**

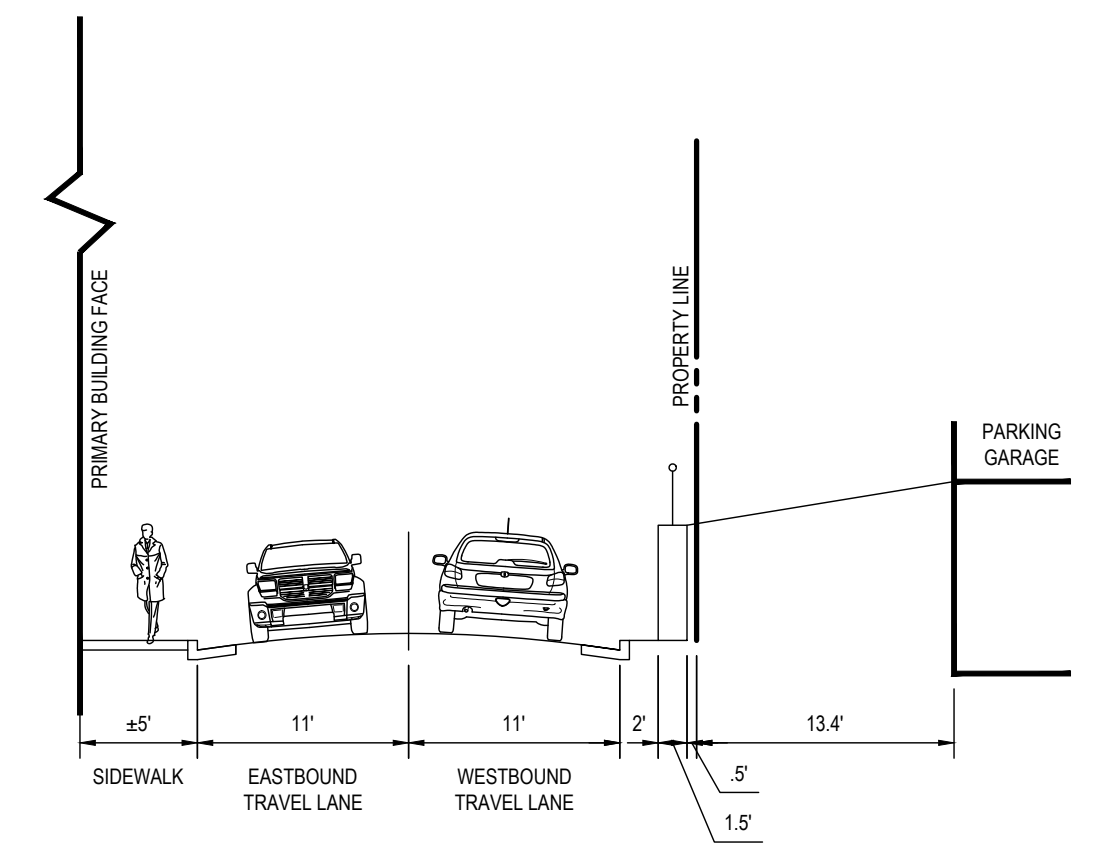
REVISION 2 - 09/27/23



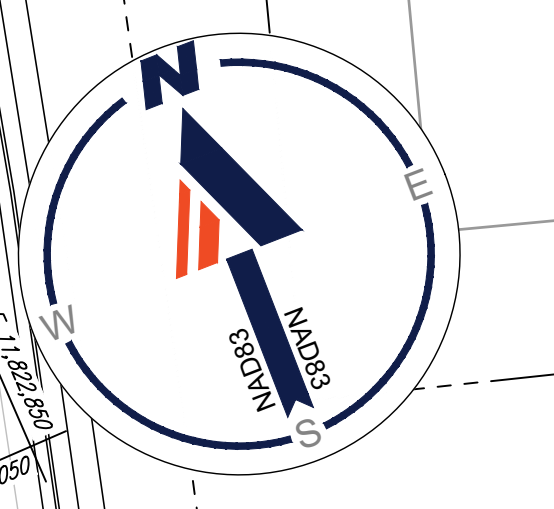
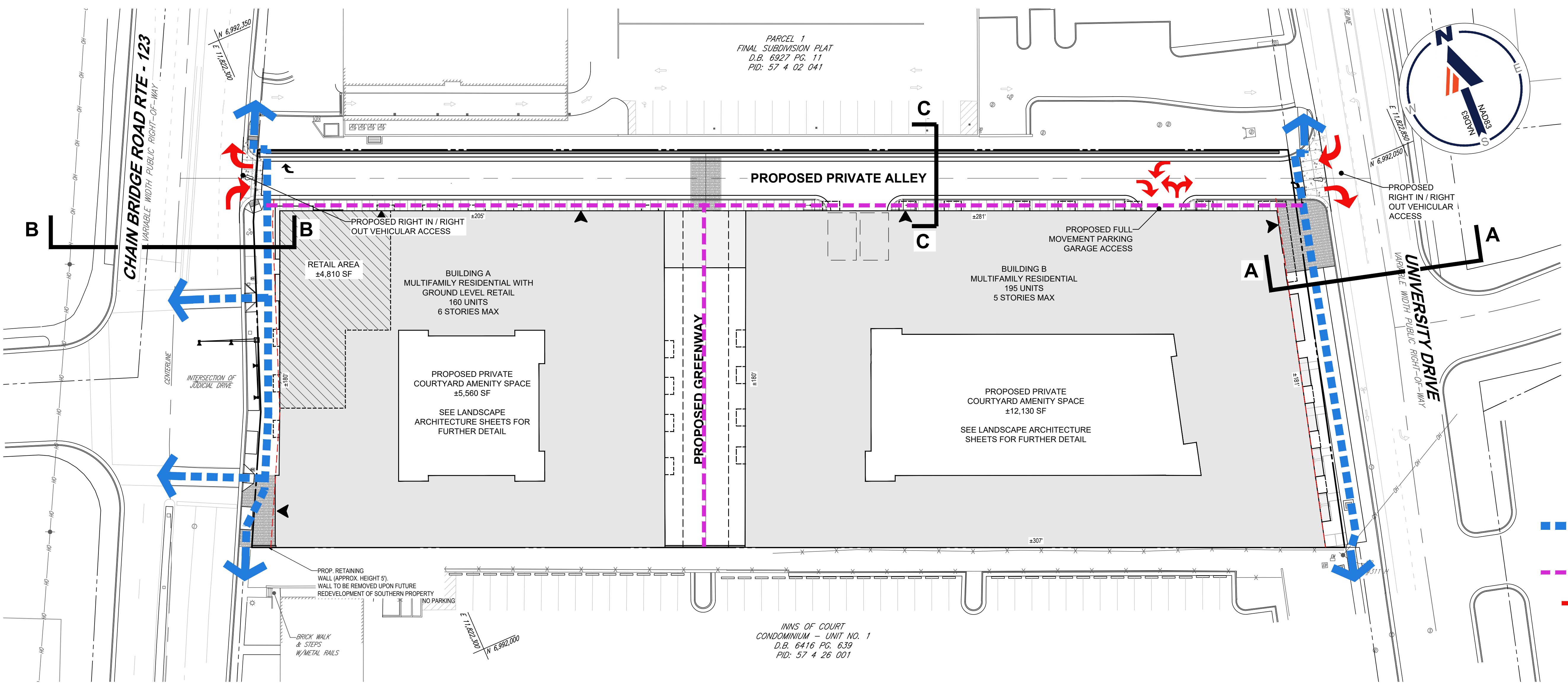
**SECTION A-A 1"=10'**  
 UNIVERSITY DRIVE



**SECTION B-B 1"=10'**  
 CHAIN BRIDGE ROAD

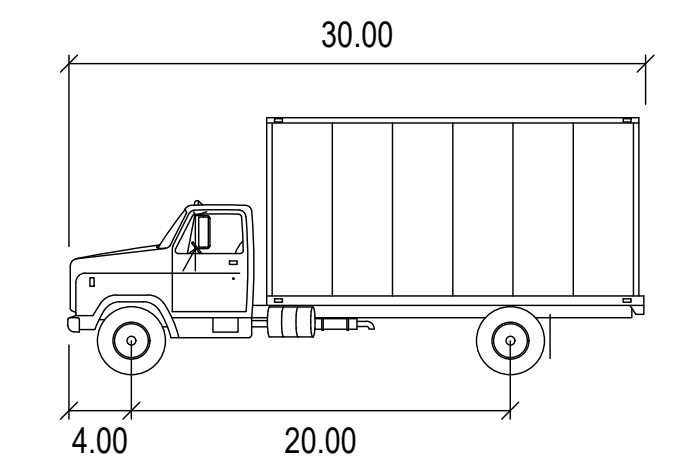
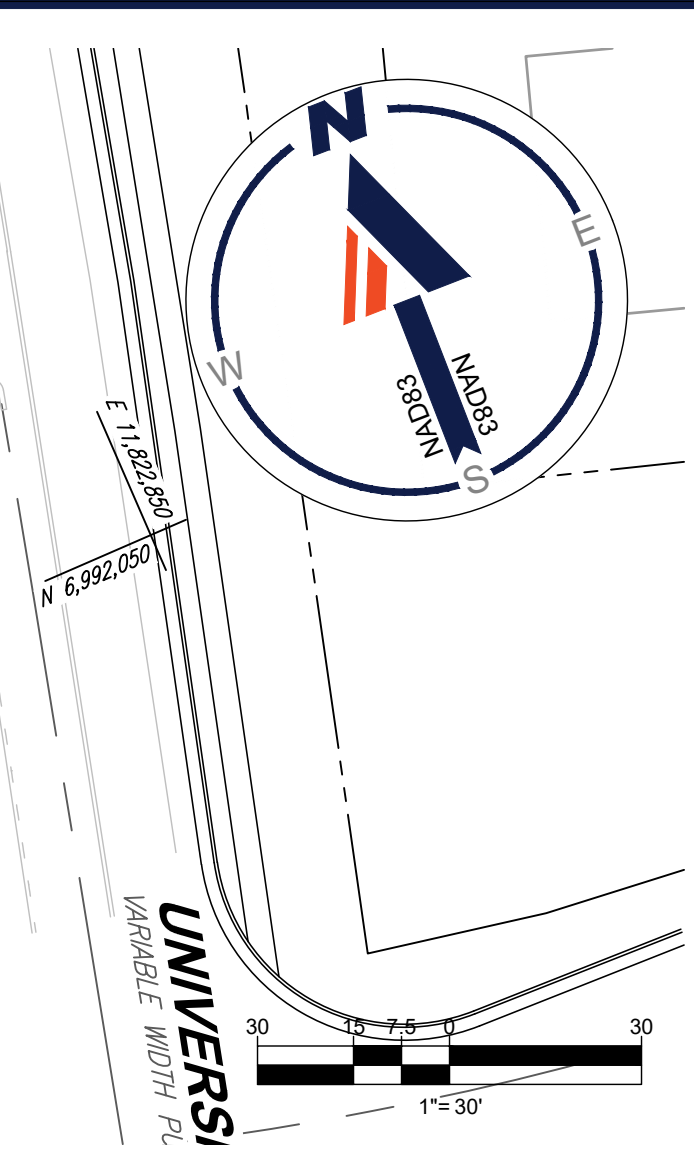
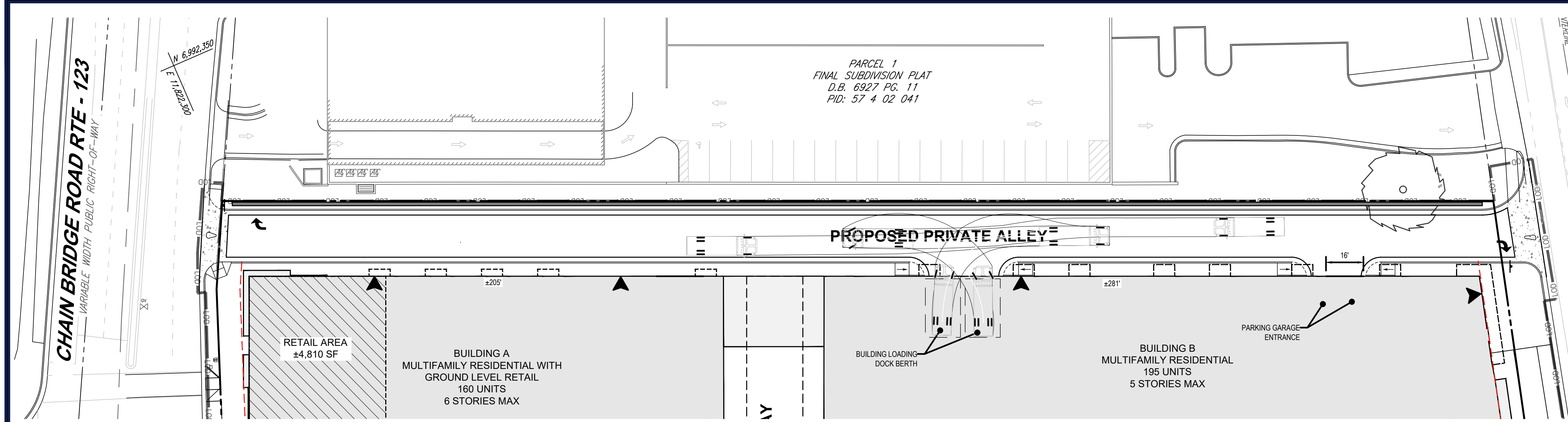


**SECTION C-C 1"=10'**  
 PRIVATE ALLEY



**LEGEND**

- PUBLIC SIDEWALK PEDESTRIAN CIRCULATION NETWORK
- ONSITE PEDESTRIAN CIRCULATION NETWORK (WITHIN PUBLIC EASEMENT)
- VEHICULAR ACCESS / TRAVEL DIRECTION



SU-30

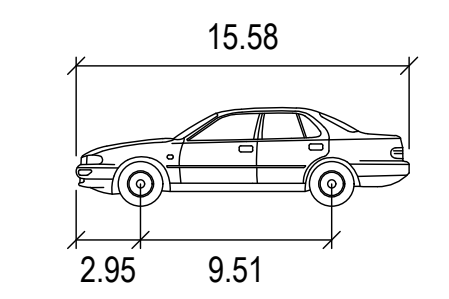
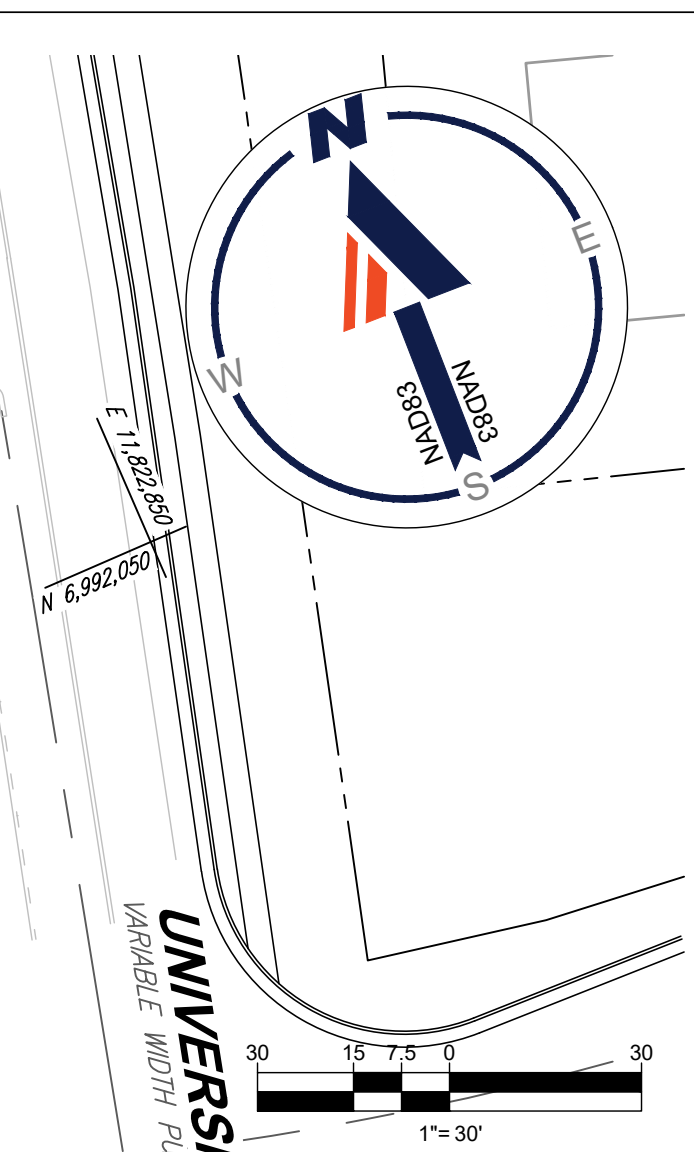
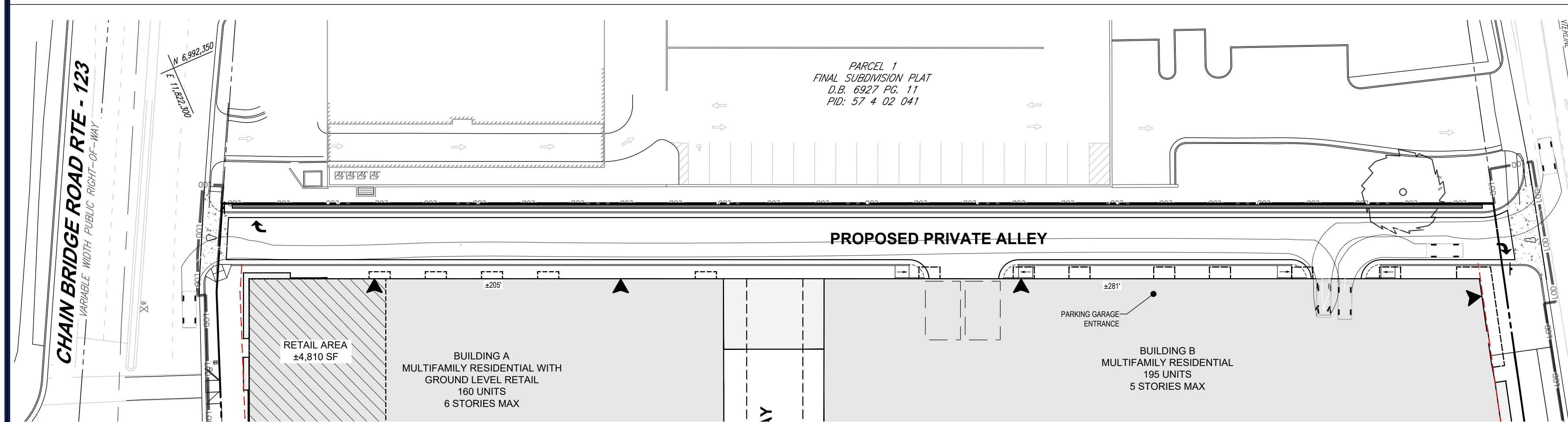
feet

Width : 8.00

Track : 8.00

Lock to Lock Time : 6.0

Steering Angle : 31.8



COMPOSITE PASSENGER VEHICLE

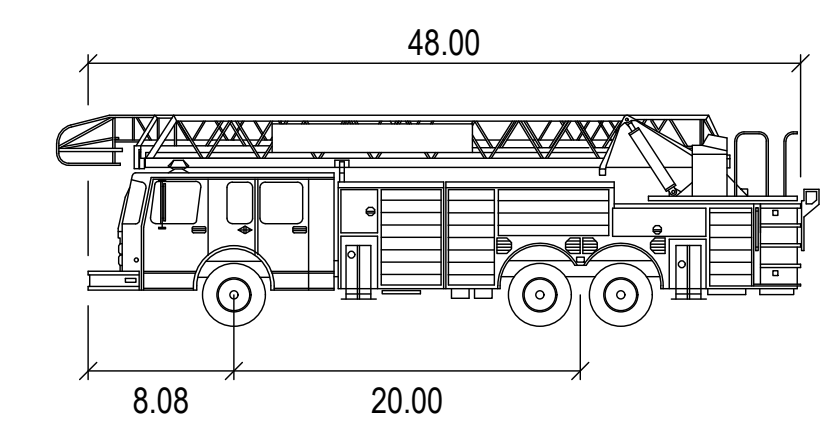
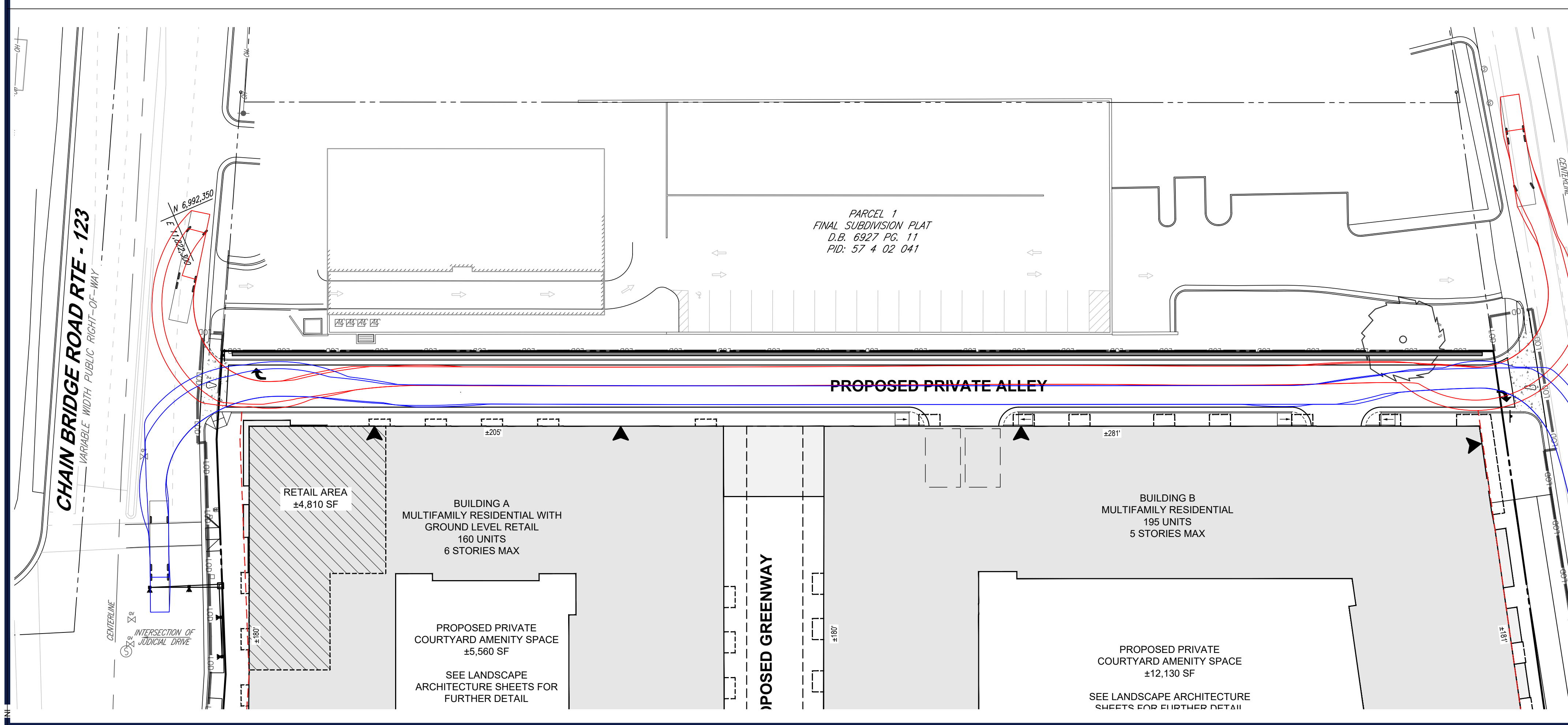
feet

Width : 5.91

Track : 5.91

Lock to Lock Time : 6.0

Steering Angle : 30.2



TOWER LADDER 403

feet

Width : 8.33

Track : 8.00

Lock to Lock Time : 6.0

Steering Angle : 45.0

**BOHLER**

SITE CIVIL AND CONSULTING ENGINEERING  
PROGRAM MANAGEMENT  
LANDSCAPE ARCHITECTURE  
SUSTAINABLE DESIGN  
PERMITTING SERVICES  
TRANSPORTATION SERVICES

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY
1	01/16/23	PER CITY INTAKE COMMENTS	NTG
2	09/27/23	PER CITY REVIEW COMMENTS	NTG

**811**

Know what's below.  
Call before you dig.  
ALWAYS CALL 811  
It's fast. It's free. It's the law.

**ZONING SUBMISSION**

PROJECT No.: S212198  
DRAWN BY: AD  
CHECKED BY: NTG  
DATE: 12/28/2022  
CAD ID: SPEX-1

**PROPOSED REZONING**

4131 CHAIN BRIDGE RD

FOR

**TDC ACQUISITIONS, LLC**

**BOHLER**

12825 WORLDGATE DR. SUITE 700  
HERNDON, VIRGINIA 20170  
Phone: (703) 709-9500  
Fax: (703) 709-9501  
VA@BohlerEng.com

COMMONWEALTH OF VIRGINIA

NICHOLAS T. GEORGAS  
Cert. No. 001653

LANDSCAPE ARCHITECT

SHEET TITLE:

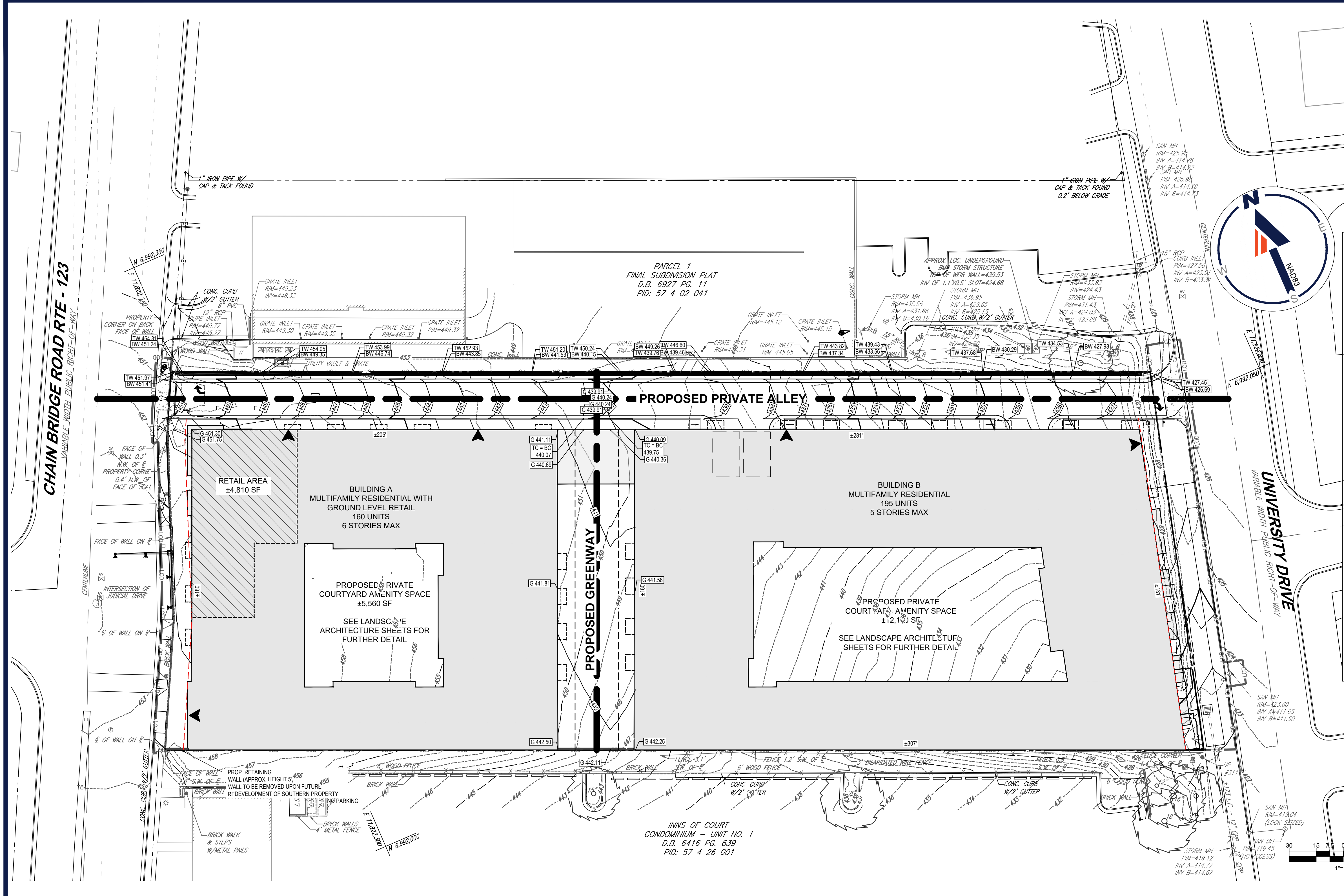
**AUTOTURN EXHIBIT**

SHEET NUMBER:

**C-4.20**

REVISION 2 - 09/27/23

8/6/27, 2023  
H:\115312\98\CAD\DRAWINGS\PLAN SETS\REZONING\S212198\_SPEX-0\_LAYOUT\_C-4-20\_AUTOTURN



**ADEQUATE OUTFALL NARRATIVE**

THE EXISTING DEVELOPMENT CONDITION IS LARGELY PERVIOUS AND INCLUDES AN EXISTING RESIDENTIAL STRUCTURE. THE SITE SENDS THE MAJORITY OF THE DRAINAGE TO THE EAST WHERE THE FLOWS ARE COLLECTED WITHIN INLETS ALONG UNIVERSITY DRIVE.

THE POST-DEVELOPMENT DRAINAGE DIVIDES HONOR THE PRE-DEVELOPMENT DRAINAGE DIVIDES. ENERGY BALANCE IS ACHIEVED FOR THE SITE THROUGH THE USE OF A PROPOSED UNDERGROUND DETENTION FACILITY WITHIN THE PROPOSED PRIVATE ALLEY.

THE EXISTING SITE HAS A PRE-DEVELOPMENT CURVE NUMBER OF 79 AND THE EXISTING 1-YEAR FLOW IS 2.47 CFS. THE ALLOWABLE POST-DEVELOPMENT 1-YEAR FLOW AFTER THE 0.80 IMPROVEMENT FACTOR IS APPLIED, IS 0.85 CFS, AS SHOWN ON THE ENERGY BALANCE WORKSHEET INCLUDED ON THIS SHEET.

GIVEN THE REDUCTION IN FLOWS, IT IS THE ENGINEER'S OPINION THAT THE DOWNSIDE SYSTEM WILL BE ADEQUATE TO CONVEY THE SITE'S RUNOFF.

**SWM Water Quantity Energy Balance Worksheet**

A	1-year	
	PRE	POST (adjusted)
SITE AREA (AC)	2.45	2.64
SITE AREA (SF)	106,722.0	114,998.4
P (IN)	2.62	2.62
CN	79	94
S=1000/CN-10	2.66	0.64
0.2S	0.53	0.13
RV (IN) = (P-0.2S)/2 / (P+0.8S)	0.92	1.98
RV (CF) =	8,171	19,015

Energy Balance Equation:  
 Q<sub>Post Development</sub> <= I.F.\* (Q<sub>pre-development</sub>\* RV<sub>pre-development</sub>)/RV<sub>Developed</sub>

I.F. =	0.8	> 1.0 acre
I.F. =	0.9	<= 1.0 acre

**CHANNEL PROTECTION (1-Year)**

ALLOWABLE		
Q <sub>Onsite to POI</sub> = Q <sub>pre-development</sub>	2.47	Hydrocadd
Q <sub>post-development</sub>	0.85	*Reduced by Energy Balance

**ACTUAL**

Q <sub>Onsite to POI</sub>	0.63	*Hydrocadd Routing
----------------------------	------	--------------------

CHANNEL PROTECTION REQUIREMENTS ARE MET

**FLOOD PROTECTION (10-Year)**

ALLOWABLE		
Q <sub>Onsite to POI</sub> = Q <sub>pre-development</sub>	7.53	*Hydrocadd Routing

**ACTUAL**

Q <sub>Onsite to POI</sub>	6.38	*Hydrocadd Routing
----------------------------	------	--------------------

FLOOD PROTECTION REQUIREMENTS ARE MET

**BOHLER**

SITE CIVIL AND CONSULTING ENGINEERING  
 PROGRAM MANAGEMENT  
 LANDSCAPE ARCHITECTURE  
 SUSTAINABLE DESIGN  
 PERMITTING SERVICES  
 TRANSPORTATION SERVICES

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
1	01/16/23	PER CITY INTAKE COMMENTS		NTG
2	09/27/23	PER CITY REVIEW COMMENTS		NTG

**811**

Know what's below.  
 Call before you dig.  
 ALWAYS CALL 811  
 It's fast. It's free. It's the law.

**ZONING SUBMISSION**

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT NO.: S212198  
 DRAWN BY: AD  
 CHECKED BY: NTG  
 DATE: 12/28/2022  
 CAD ID: SPEX-1

PROJECT:  
**PROPOSED REZONING**  
 4131 CHAIN BRIDGE RD  
 FOR  
**TDC ACQUISITIONS, LLC**

**BOHLER**

12825 WORLDGATE DR. SUITE 700  
 HERNDON, VIRGINIA 20170  
 Phone: (703) 709-9500  
 Fax: (703) 709-9501  
 VA@BohlerEng.com

COMMONWEALTH OF VIRGINIA  
 NICHOLAS T. GEORGAS  
 Cert. No. 001653  
 LANDSCAPE ARCHITECT

**PRELIMINARY GRADING PLAN**

SHEET NUMBER:  
**C-5.00**

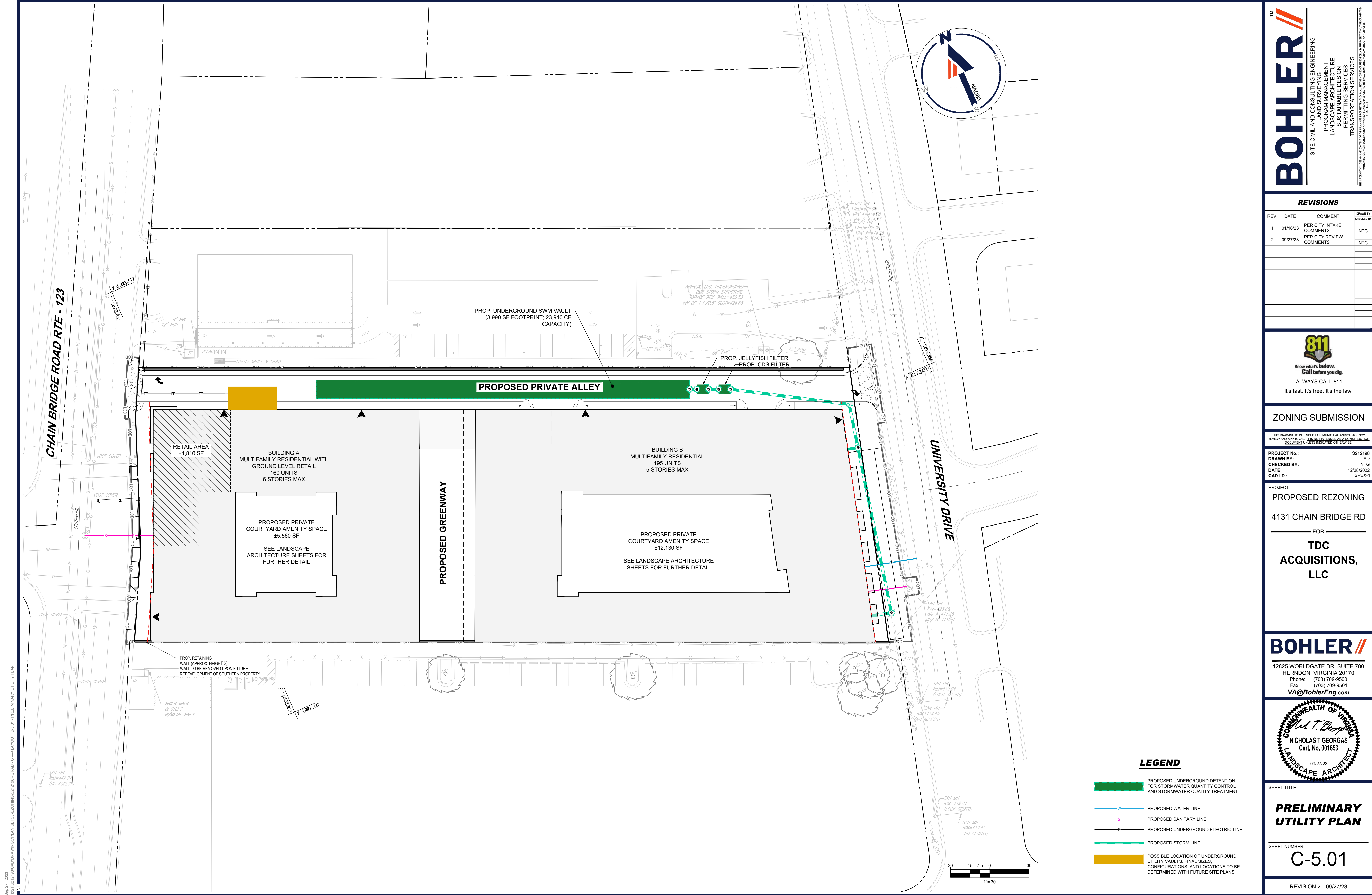
REVISION 2 - 09/27/23

**AVERAGE GRADE ELEVATION TABLE**

PERIMETER KEY	ELEVATION			DISTANCE	TOTAL (A + B)/2 X C
	A	B	C		
A	453.26	453.17	43.90	19,896.14	
B	453.17	453.15	2.00	906.32	
C	453.15	451.24	139.60	63,126.42	
D	451.24	441.00	209.00	93,239.08	
E	441.00	439.98	43.00	18,941.07	
F	439.98	426.69	285.10	123,543.81	
G	426.69	425.68	92.30	39,336.88	
H	425.68	425.73	92.30	39,292.57	
I	425.73	424.17	6.00	2,549.70	
J	424.17	446.33	305.10	132,794.78	
K	446.33	449.88	43.00	19,268.52	
L	449.88	458.04	205.00	93,061.80	
M	458.04	453.26	6.00	2,733.90	
<b>TOTAL</b>	<b>NA</b>	<b>NA</b>	<b>1,472.30</b>	<b>648,690.98</b>	

**AVERAGE GRADE ELEVATION 440.60**  
 648,690.98 ÷ 1,472.30





**BOHLER**  
 SITE CIVIL AND CONSULTING ENGINEERING  
 PROGRAM MANAGEMENT  
 LANDSCAPE ARCHITECTURE  
 SUSTAINABLE DESIGN  
 PERMITTING SERVICES  
 TRANSPORTATION SERVICES

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
1	01/16/23	PER CITY INTAKE COMMENTS		NTG
2	09/27/23	PER CITY REVIEW COMMENTS		NTG

**811**  
 Know what's below.  
 Call before you dig.  
 ALWAYS CALL 811  
 It's fast. It's free. It's the law.

**ZONING SUBMISSION**

PROJECT No.: S212198  
 DRAWN BY: AD  
 CHECKED BY: NTG  
 DATE: 12/28/2022  
 CAD ID: SFX-1

PROJECT:  
**PROPOSED REZONING**  
 4131 CHAIN BRIDGE RD  
 FOR  
**TDC ACQUISITIONS, LLC**

**BOHLER**  
 12825 WORLDGATE DR. SUITE 700  
 HERNDON, VIRGINIA 20170  
 Phone: (703) 709-9500  
 Fax: (703) 709-9501  
 VA@BohlerEng.com

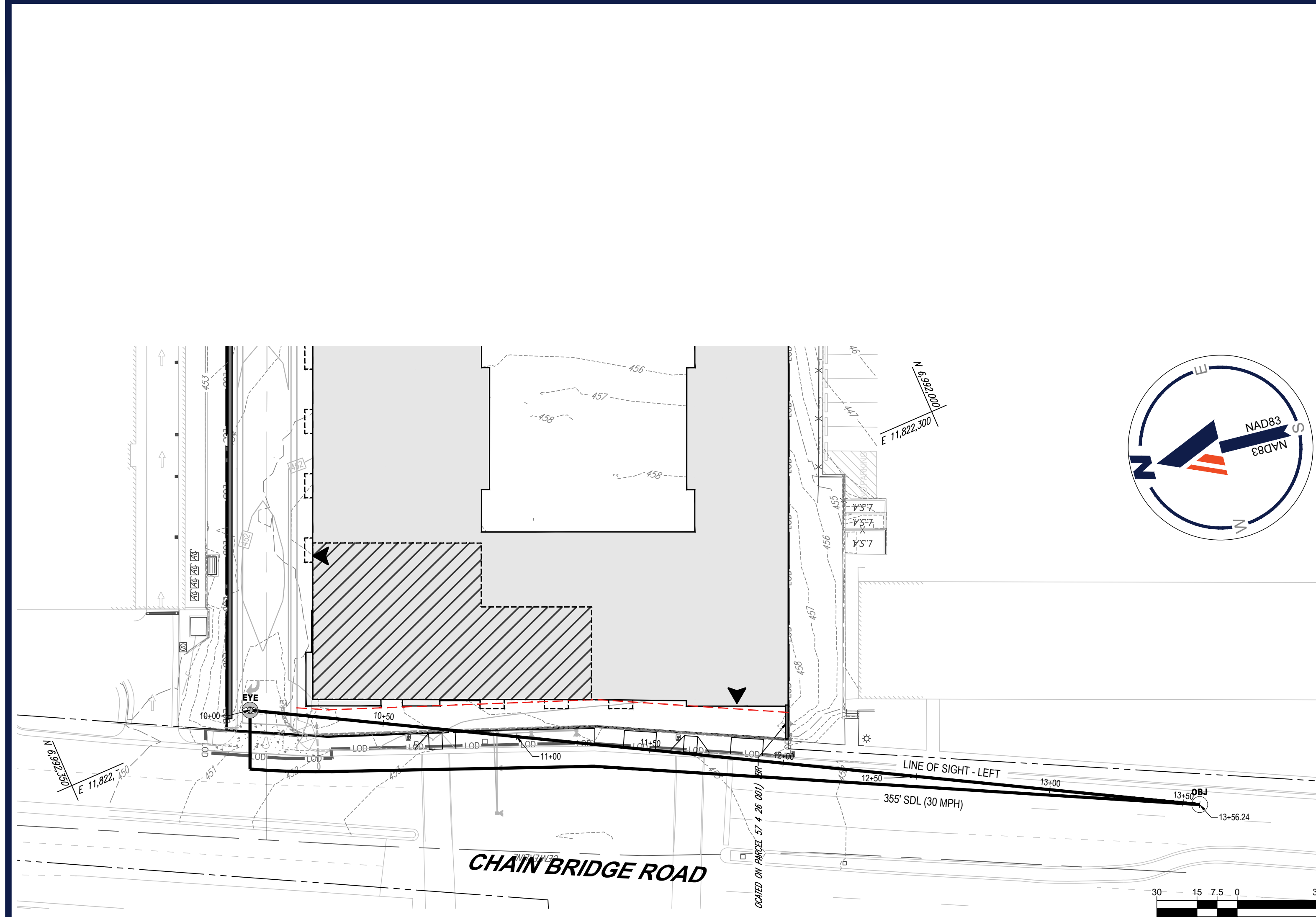
COMMONWEALTH OF VIRGINIA  
 LANDSCAPE ARCHITECT  
 NICHOLAS T GEORGAS  
 Cert. No. 001653  
 09/27/23

SHEET TITLE:  
**PRELIMINARY UTILITY PLAN**  
 SHEET NUMBER:  
**C-5.01**  
 REVISION 2 - 09/27/23

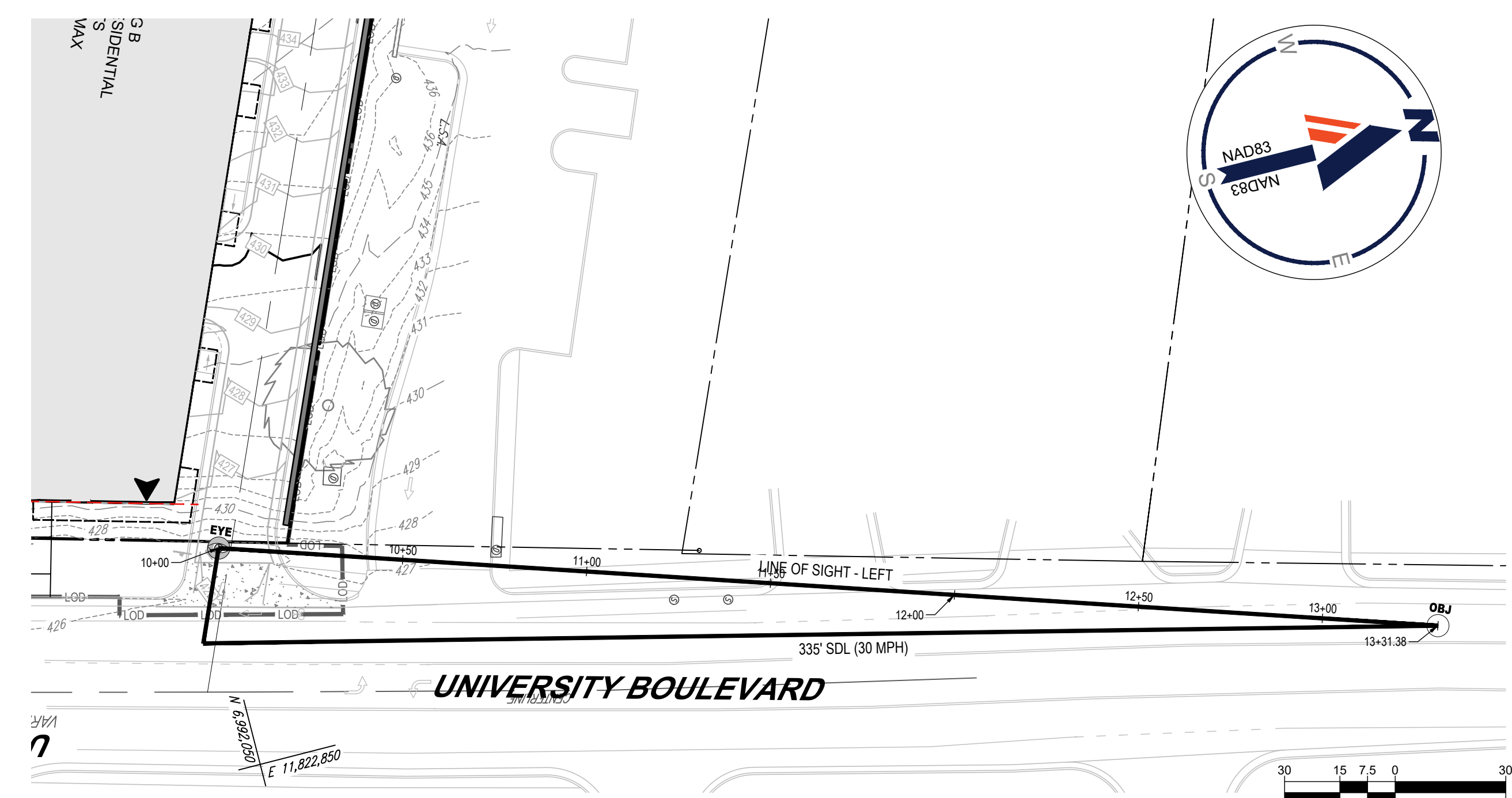
**LEGEND**

- PROPOSED UNDERGROUND DETENTION FOR STORMWATER QUANTITY CONTROL AND STORMWATER QUALITY TREATMENT
- PROPOSED WATER LINE
- PROPOSED SANITARY LINE
- PROPOSED UNDERGROUND ELECTRIC LINE
- PROPOSED STORM LINE
- POSSIBLE LOCATION OF UNDERGROUND UTILITY VAULTS. FINAL SIZES, CONFIGURATIONS, AND LOCATIONS TO BE DETERMINED WITH FUTURE SITE PLANS.

8/6/27, 2023  
 H:\11511312\180\CAD\DRAWINGS\PLAN SETS\REZONING\S212198 - GRAD - 0 - LAYOUT - C-5.01 - PRELIMINARY UTILITY PLAN



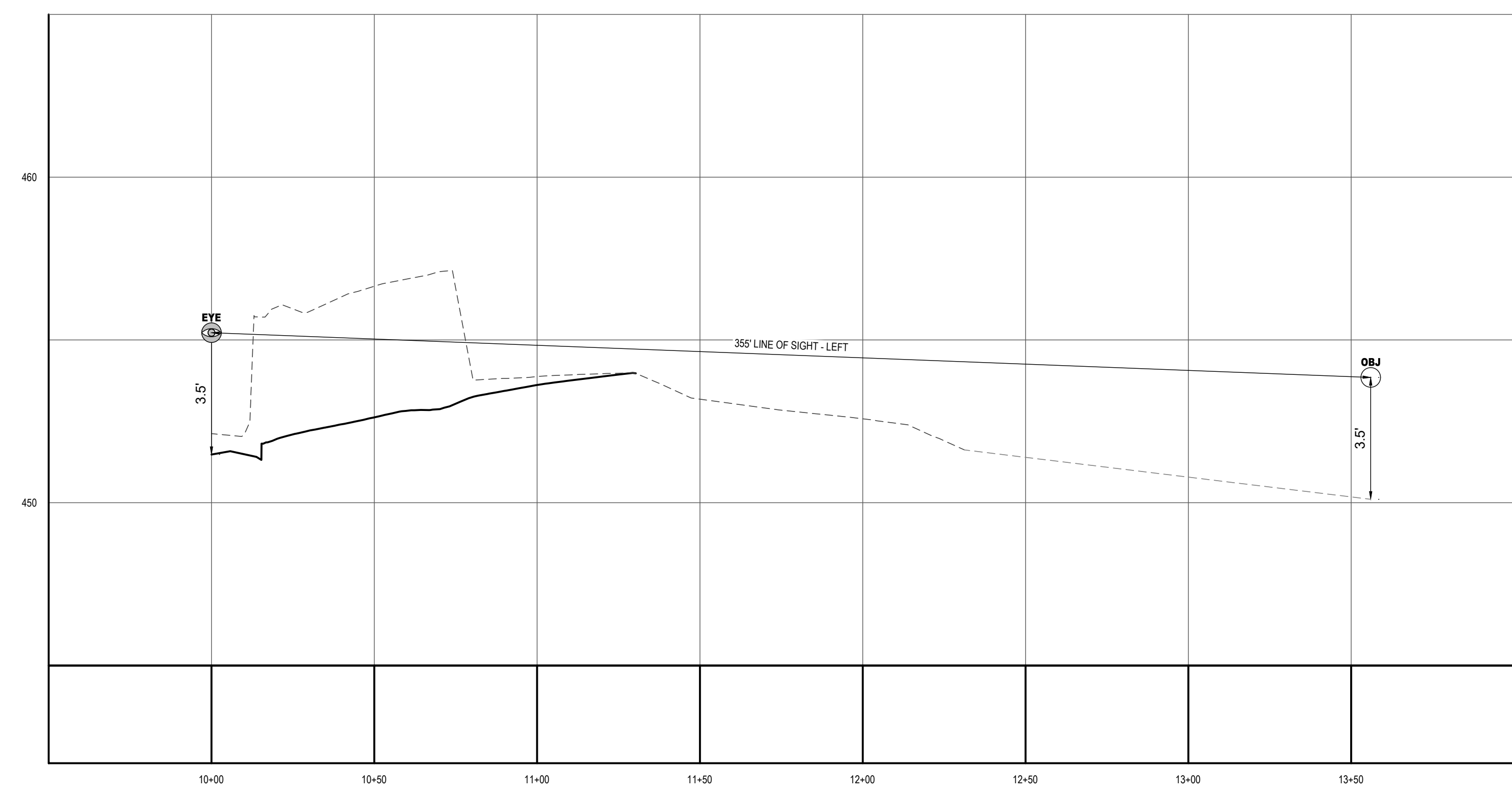
**PLAN VIEW**  
SCALE 1" = 30'



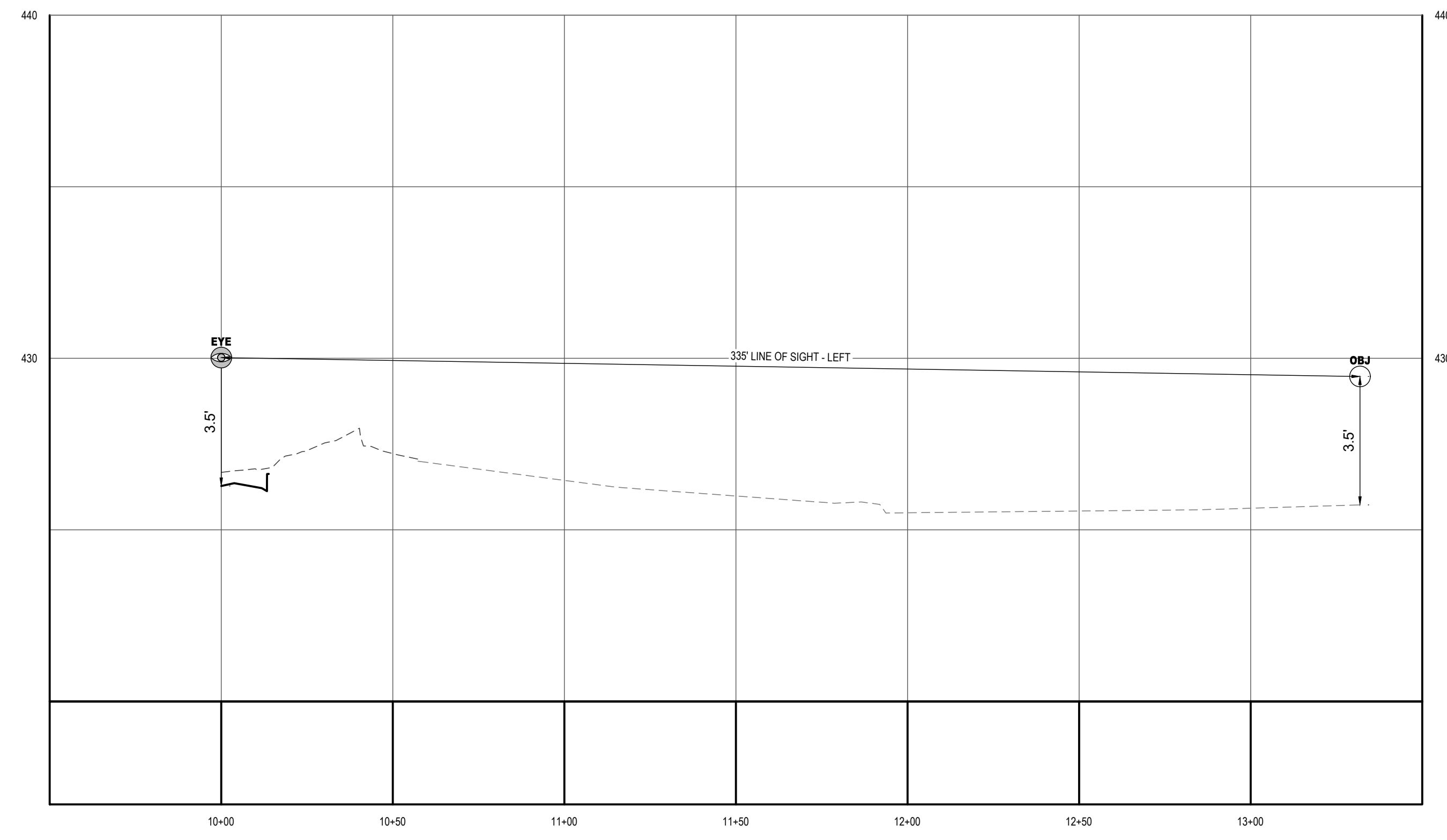
**PLAN VIEW**  
SCALE 1" = 30'

**PROFILE LEGEND**

EXISTING GRADE	-----
PROPOSED GRADE	_____



**PROPOSED LINE OF SIGHT - CHAIN BRIDGE ROAD (ROUTE 123)**  
SCALE: 1" = 30' HORIZONTAL  
1" = 3' VERTICAL



**PROPOSED LINE OF SIGHT - UNIVERSITY DRIVE**  
SCALE: 1" = 30' HORIZONTAL  
1" = 3' VERTICAL

**BOHLER**  
SITE CIVIL AND CONSULTING ENGINEERING  
PROGRAM MANAGEMENT  
LANDSCAPE ARCHITECTURE  
SUSTAINABLE DESIGN  
PERMITTING SERVICES  
TRANSPORTATION SERVICES

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
1	01/16/23	PER CITY INTAKE COMMENTS		NTG
2	09/27/23	PER CITY REVIEW COMMENTS		NTG

**811**  
Know what's below.  
Call before you dig.  
ALWAYS CALL 811  
It's fast. It's free. It's the law.

**ZONING SUBMISSION**

PROJECT No.: S212198  
DRAWN BY: AD  
CHECKED BY: NTG  
DATE: 12/28/2022  
CAD ID: SPEX-1

PROJECT:  
**PROPOSED REZONING**  
4131 CHAIN BRIDGE RD  
FOR  
**TDC ACQUISITIONS, LLC**

**BOHLER**  
12825 WORLDGATE DR. SUITE 700  
HERNDON, VIRGINIA 20170  
Phone: (703) 709-9500  
Fax: (703) 709-9501  
VA@BohlerEng.com

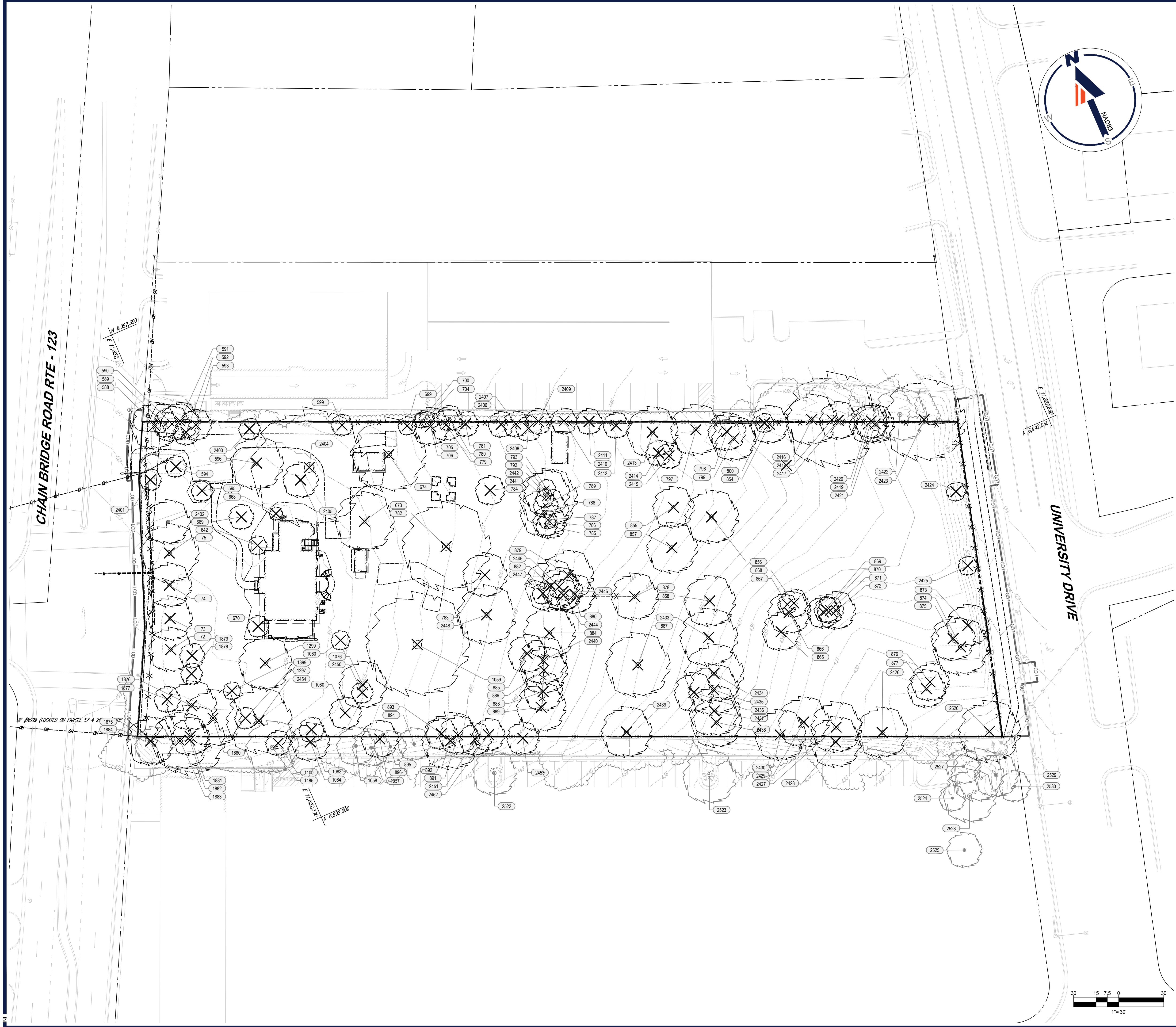
COMMONWEALTH OF VIRGINIA  
*Nicholas T. Georgas*  
NICHOLAS T. GEORGAS  
Cert. No. 001653  
LANDSCAPE ARCHITECT  
09/27/23

SHEET TITLE:  
**SIGHT DISTANCE PROFILES**

SHEET NUMBER:  
**C-5.10**

REVISION 2 - 09/27/23

8/6/27, 2023  
H:\115312198\CAD\DRAWINGS\PLAN SET\RESIZING\S212198 - SPEX - 0 - LAYOUT - C-5.10 - SIGHT DISTANCE PROFILES



**REVISIONS**

REV	DATE	COMMENT	DRAWN BY
1	01/16/23	PER CITY INTAKE COMMENTS	NTG
2	09/27/23	PER CITY REVIEW COMMENTS	NTG

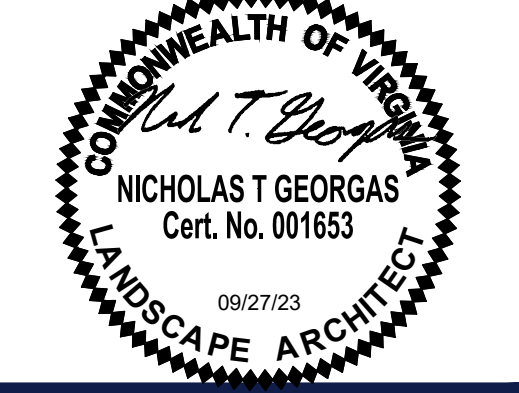


**ZONING SUBMISSION**

PROJECT No.: S212198  
 DRAWN BY: AD  
 CHECKED BY: NTG  
 DATE: 12/28/2022  
 CAD ID: EVEG-1

PROJECT:  
**PROPOSED REZONING**  
 4131 CHAIN BRIDGE RD  
 FOR  
**TDC ACQUISITIONS, LLC**

**BOHLER**  
 12825 WORLDGATE DR. SUITE 700  
 HERNDON, VIRGINIA 20170  
 Phone: (703) 709-9500  
 Fax: (703) 709-9501  
 VA@BohlerEng.com

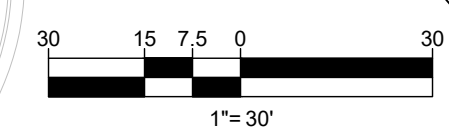


SHEET TITLE:  
**TREE INVENTORY PLAN**  
 SHEET NUMBER:  
**C-7.00**  
 REVISION 2 - 09/27/23

NOTE: A FULLY DETAILED TREE PROTECTION PLAN WILL BE PROVIDED AT SITE PLAN TO ADDRESS PROTECTION OF TREES OFFSITE NEAR THE LIMITS OF DISTURBANCE.

**LEGEND**

	EXISTING TREE TO BE REMOVED
	EXISTING TREE TO REMAIN
	TREE TAG NUMBER
	LIMIT OF DISTURBANCE



Perseus Tree Inventory Table with columns: #, COMMON NAME, BOTANICAL NAME, CONDITION RATING, CIRCUMFERENCE, DIAMETER (DBH), CRITICAL ROOT ZONE (CRZ), REMOVE, NATIVE, ONSITE/OFFSITE, COMMENTS. Rows 72-1100.

Perseus Tree Inventory Table with columns: #, COMMON NAME, BOTANICAL NAME, CONDITION RATING, CIRCUMFERENCE, DIAMETER (DBH), CRITICAL ROOT ZONE (CRZ), REMOVE, NATIVE, ONSITE/OFFSITE, COMMENTS. Rows 1185-2530.

**BOHLER**  
SITE CIVIL AND CONSULTING ENGINEERING  
PROGRAM MANAGEMENT  
LANDSCAPE ARCHITECTURE  
SUSTAINABLE DESIGN  
PERMITTING SERVICES  
TRANSPORTATION SERVICES

REVISIONS				
REV	DATE	COMMENT	DRAWN BY	CHECKED BY
1	01/16/23	PER CITY INTAKE COMMENTS		NTG
2	09/27/23	PER CITY REVIEW COMMENTS		NTG

**811**  
Know what's below.  
Call before you dig.  
ALWAYS CALL 811  
It's fast. It's free. It's the law.

**ZONING SUBMISSION**

PROJECT No.: S212198  
DRAWN BY: AD  
CHECKED BY: NTG  
DATE: 12/26/2022  
CAD ID: EVEC-1

PROJECT:  
**PROPOSED REZONING**

4131 CHAIN BRIDGE RD

FOR  
**TDC ACQUISITIONS, LLC**

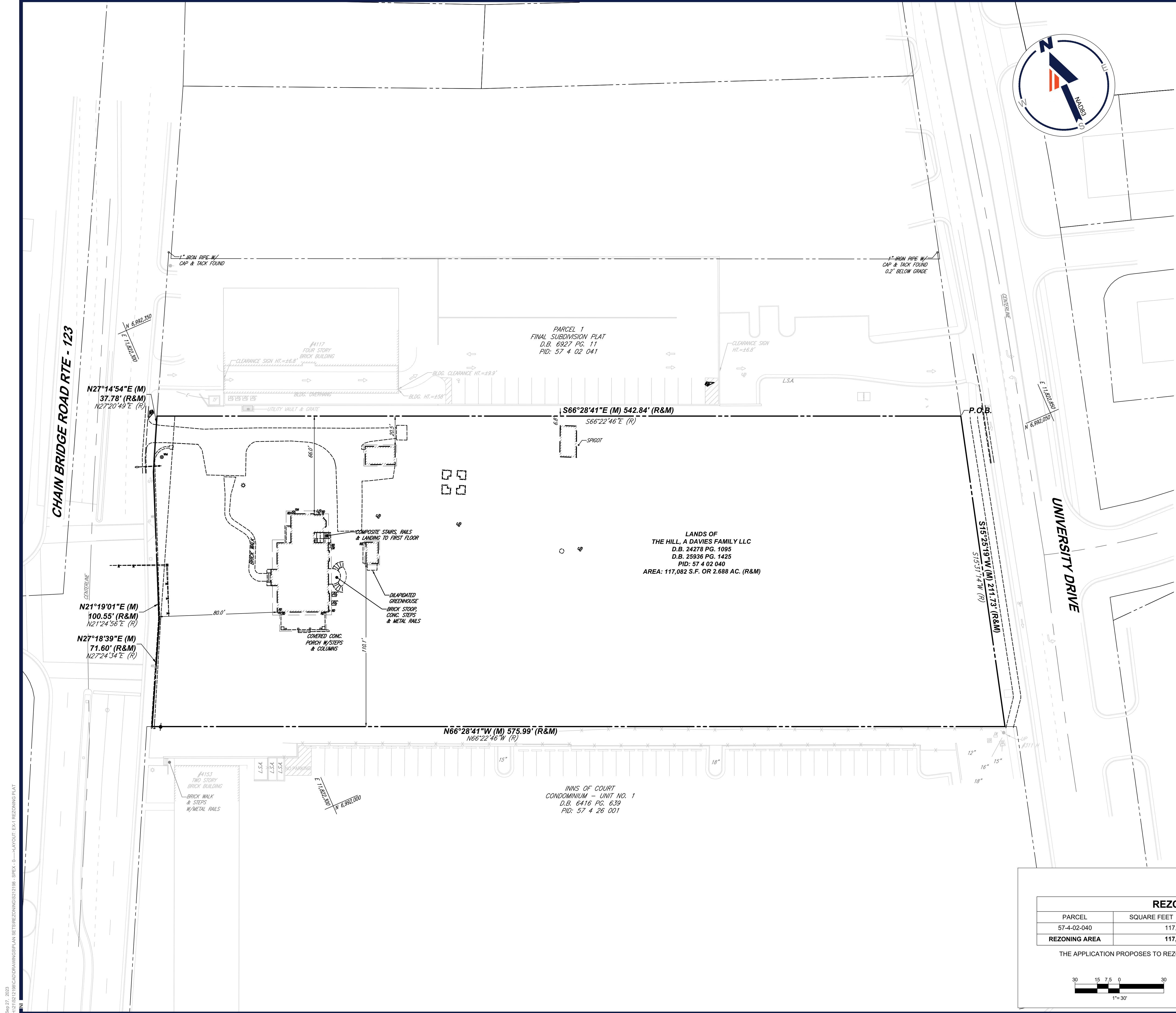
**BOHLER**  
12825 WORLDGATE DR. SUITE 700  
HERNDON, VIRGINIA 20170  
Phone: (703) 709-9500  
Fax: (703) 709-9501  
VA@BohlerEng.com

**NICHOLAS T. GEORGAS**  
Cert. No. 001653  
LANDSCAPE ARCHITECT  
09/27/23

SHEET TITLE:  
**TREE INVENTORY SCHEDULE**

SHEET NUMBER:  
**C-7.10**

08/27/2023  
H:\13151219\CAD\DRAWINGS\PLAN SETS\REZONING\S212198 - EVEC - LAYOUT - C-7.10 - EXISTING TREE INVENTORY



**BOHLER**  
 SITE CIVIL AND CONSULTING ENGINEERING  
 PROGRAM MANAGEMENT  
 LANDSCAPE ARCHITECTURE  
 SUSTAINABLE DESIGN  
 PERMITTING SERVICES  
 TRANSPORTATION SERVICES

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
1	01/16/23	PER CITY INTAKE COMMENTS		NTG
2	09/27/23	PER CITY REVIEW COMMENTS		NTG

**811**  
 Know what's Below.  
 Call before you dig.  
 ALWAYS CALL 811  
 It's fast. It's free. It's the law.

**ZONING SUBMISSION**

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: S212198  
 DRAWN BY: AD  
 CHECKED BY: NTG  
 DATE: 12/28/2022  
 CAD ID: SPEX-1

**PROPOSED REZONING**  
 4131 CHAIN BRIDGE RD  
 FOR  
**TDC ACQUISITIONS, LLC**

**BOHLER**  
 12825 WORLDGATE DR. SUITE 700  
 HERNDON, VIRGINIA 20170  
 Phone: (703) 709-9500  
 Fax: (703) 709-9501  
 VA@BohlerEng.com

**COMMONWEALTH OF VIRGINIA**  
 NICHOLAS T. GEORGAS  
 Cert. No. 001653  
 LANDSCAPE ARCHITECT

**REZONING PLAT**  
 SHEET NUMBER:  
**EX-1**  
 REVISION 2 - 09/27/23

**SURVEYED DESCRIPTION**

LANDS OF  
 THE HILL, A DAVIES FAMILY LLC  
 DEED BOOK 24278 PAGE 1095  
 DEED BOOK 25936 PAGE 1425  
 CITY OF FAIRFAX  
 FAIRFAX COUNTY, VIRGINIA

BEGINNING IN THE WESTERLY RIGHT-OF-WAY LIMITS OF UNIVERSITY DRIVE (VARIABLE WIDTH RIGHT-OF-WAY AND SAID POINT OF BEGINNING ALSO BEING A LINE OF DIVISION BETWEEN PARCEL 1 OF FINAL SUBDIVISION PLAT (DEED BOOK 6927 PAGE 11; PID 57 4 02 041) ON THE NORTH, AND THE LANDS OF THE HILL, A DAVIES FAMILY LLC (DEED BOOK 24278 PAGE 1095 AND DEED BOOK 25936 PAGE 1425; PID 57 4 02 040) ON THE SOUTH, THENCE DEPARTING SAID DIVISION LINE AND RUNNING WITH SAID UNIVERSITY DRIVE;

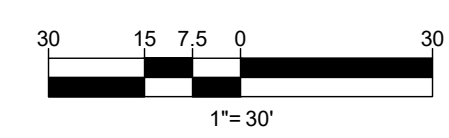
1. SOUTH 15° 25' 19" WEST, 211.73 FEET TO THE DIVISION LINE OF SAID THE HILL, A DAVIES FAMILY LLC TO THE NORTH AND INNS OF COURT, CONDOMINIUM - UNIT NO. 1 (DEED BOOK 6416 PAGE 639; PID 57 4 26 001) TO THE SOUTH, THENCE DEPARTING UNIVERSITY DRIVE AND RUNNING WITH SAID LINE OF DIVISION;
2. NORTH 66° 28' 41" WEST, 575.99 FEET TO THE EASTERLY RIGHT-OF-WAY LINE OF CHAIN BRIDGE ROAD - VA RTE 123 (VARIABLE WIDTH RIGHT-OF-WAY), THENCE DEPARTING SAID LINE OF DIVISION BETWEEN SAID LANDS OF INNS OF COURT, CONDOMINIUM - UNIT NO. 1 TO THE SOUTH AND THE HILL, A DAVIES FAMILY LLC TO THE NORTH AND RUNNING WITH SAID EASTERLY RIGHT-OF-WAY LINE OF CHAIN BRIDGE ROAD THE FOLLOWING THREE (3) COURSES AND DISTANCES;
3. NORTH 27° 18' 39" EAST, 71.60 FEET, THENCE;
4. CONTINUING, NORTH 21° 19' 01" EAST, 100.55 FEET, THENCE;
5. CONTINUING NORTH 27° 14' 54" EAST, 37.78 FEET, TO A POINT IN THE SAID EASTERLY RIGHT-OF-WAY LINE OF CHAIN BRIDGE ROAD AND BEING A LINE OF DIVISION BETWEEN THE SAID LANDS OF PARCEL 1 OF FINAL SUBDIVISION PLAT TO THE NORTH AND THE HILL, A DAVIES FAMILY LLC TO THE SOUTH, THENCE DEPARTING SAID CHAIN BRIDGE ROAD AND RUNNING WITH THE SAID LINE OF DIVISION;
6. SOUTH 66° 28' 41" EAST, 542.84 FEET TO THE POINT OF BEGINNING.

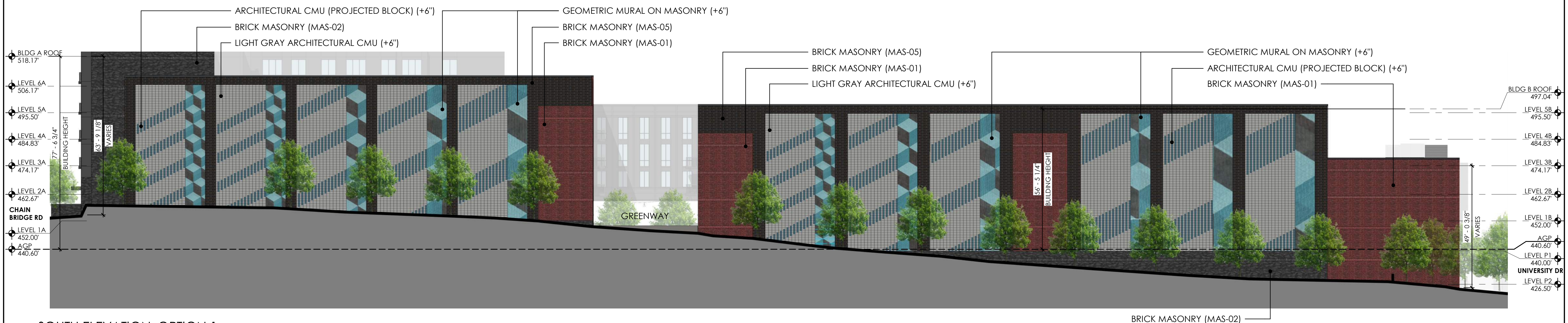
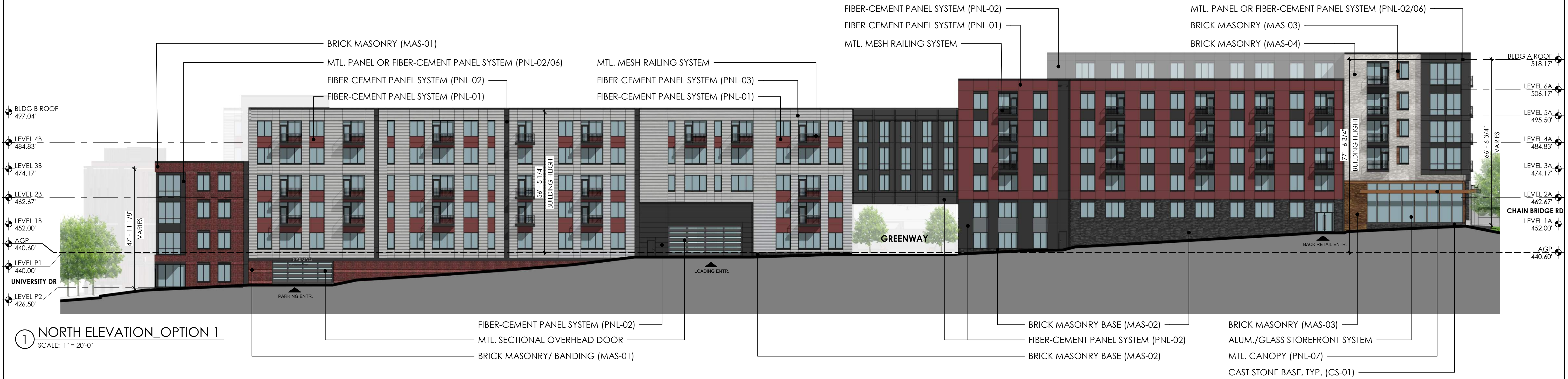
CONTAINING 117,082 SQUARE FEET OR 2.688 ACRES  
 BEING THE SAME PROPERTY AS DESCRIBED IN TITLE COMMITMENT REPORT PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY COMMITMENT NO. DC2103072, WITH A COMMITMENT DATE OF OCTOBER 17, 2021, AND IS SUBJECT TO RESTRICTIONS, COVENANTS AND/OR EASEMENTS, WRITTEN OR IMPLIED.

**REZONING AREA TABULATION**

PARCEL	SQUARE FEET	ACRES	EXISTING ZONE	PROPOSED ZONE
57-4-02-040	117,082	2.688	RM	CU
<b>REZONING AREA</b>	<b>117,082</b>	<b>2.688</b>	<b>RM</b>	<b>CU</b>

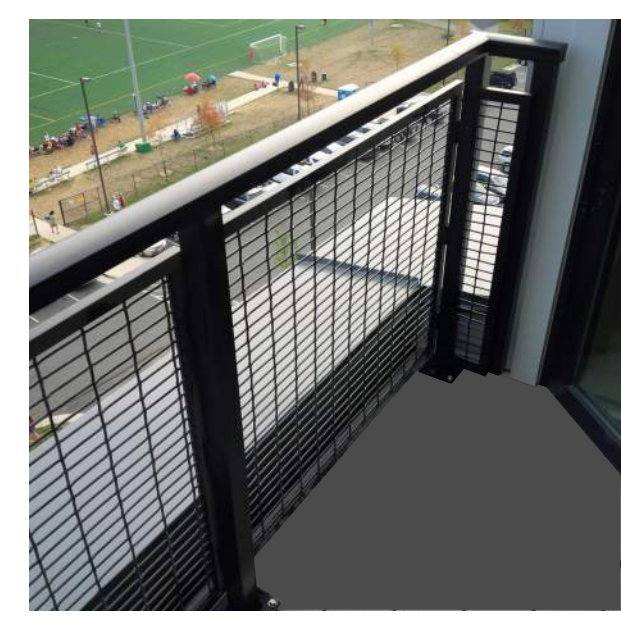
THE APPLICATION PROPOSES TO REZONE 2.688 ACRES FROM THE RM DISTRICT TO THE CU DISTRICT





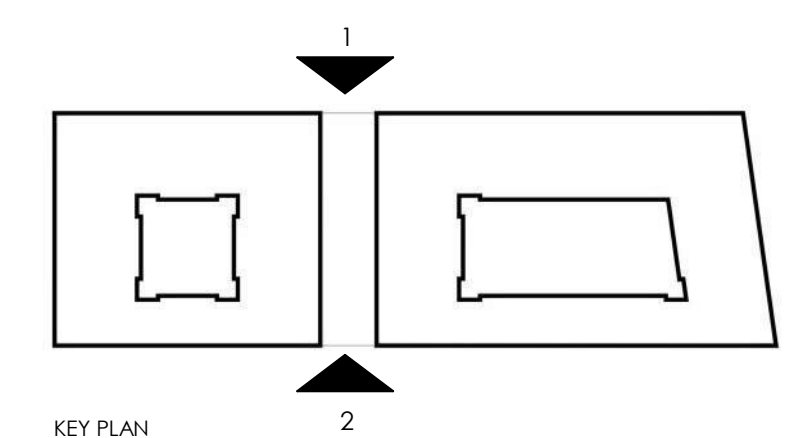
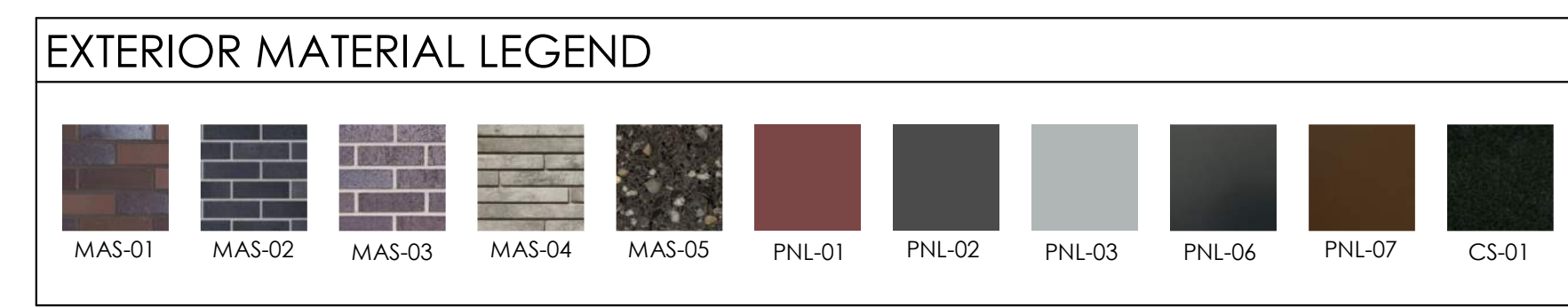
NOTE:  
MURAL IS DRAFT DESIGN FOR REPRESENTATIONAL PURPOSES AND SUBJECT TO CHANGE PER FINAL ART SELECTION. FINAL DESIGN TO BE COORDINATED WITH BOARD OF ARCHITECTURAL REVIEW.

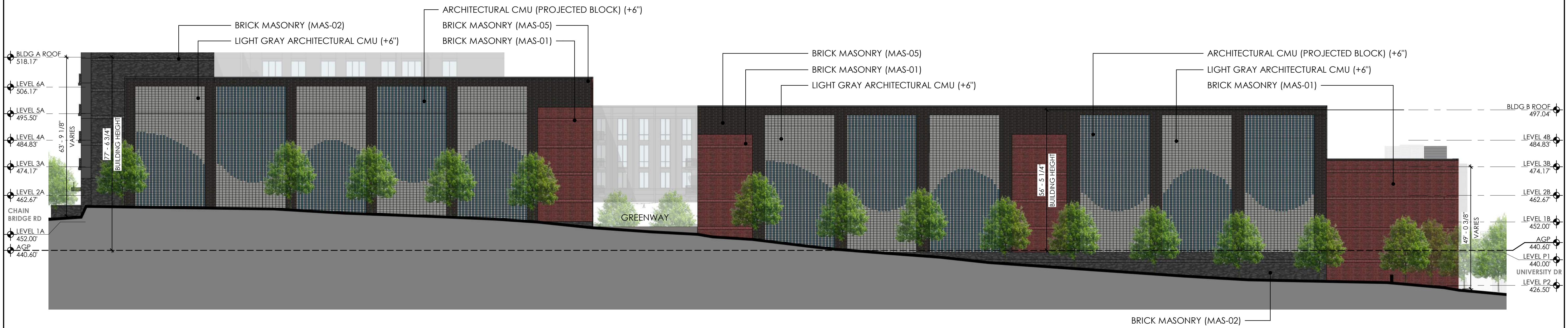
NOTE:  
ALL DRAWINGS ARE PROVIDED FOR ILLUSTRATIVE PURPOSES ONLY AND ARE SUBJECT TO CHANGE PER FINAL ARCHITECTURAL, CIVIL AND SITE DESIGN



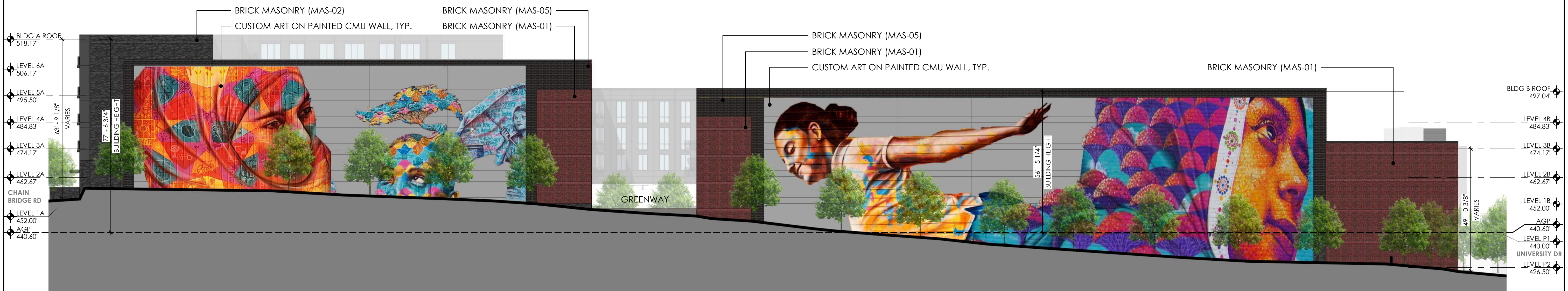
TYPICAL BALCONY RAILING SYSTEM DESIGN INTENT

UNIT BALCONY DIMENSIONS	
SEMI-RECESSED BALCONY	9' - 0" X 5' - 0" (EXTENDS 5" BEYOND BLDG FACE)
RECESSED BALCONY	8' - 0" X 5' - 0"
SEMI-RECESSED BALCONY	9' - 0" X 5' - 0" (EXTENDS 3" BEYOND BLDG FACE)
PROJECTING BALCONY	9' - 0" X 5' - 0"





1 SOUTH ELEVATION\_OPTION 2  
SCALE: 1" = 20'-0"

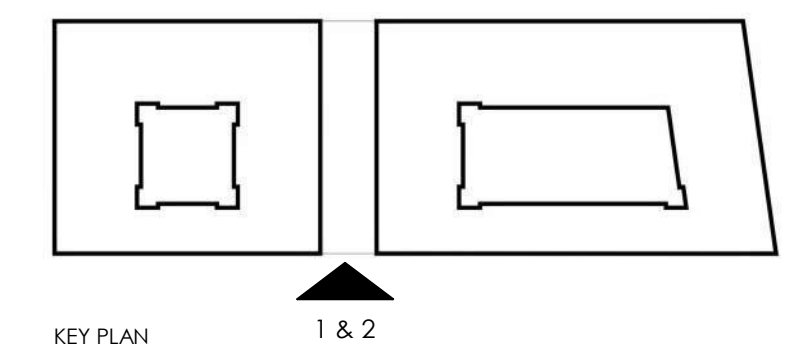


2 SOUTH ELEVATION\_OPTION 3  
SCALE: 1" = 20'-0"

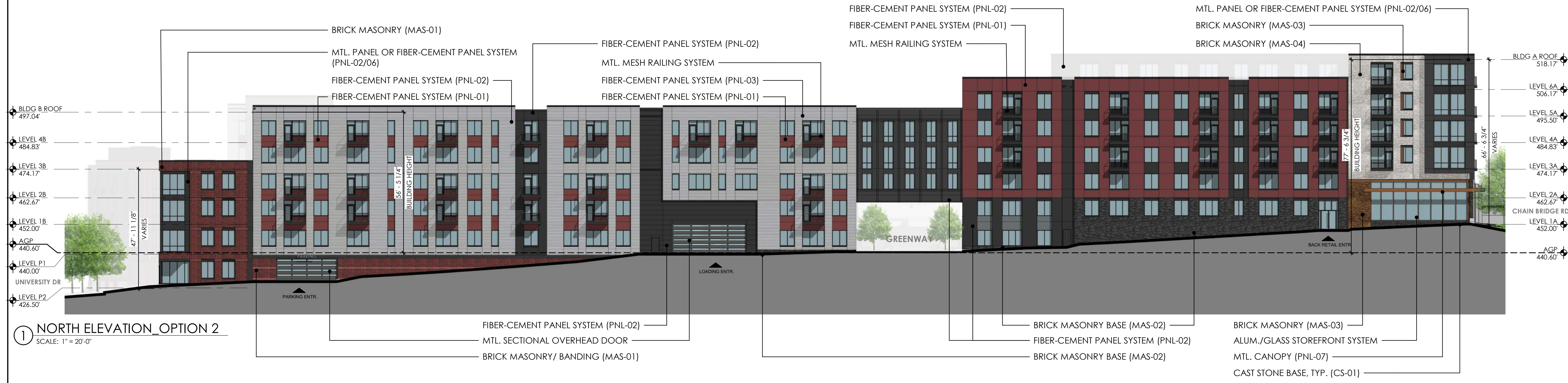
NOTE:  
MURAL IS DRAFT DESIGN FOR REPRESENTATIONAL PURPOSES AND SUBJECT TO CHANGE PER FINAL ART SELECTION. FINAL DESIGN TO BE COORDINATED WITH BOARD OF ARCHITECTURAL REVIEW.

NOTE:  
ALL DRAWINGS ARE PROVIDED FOR ILLUSTRATIVE PURPOSES ONLY AND ARE SUBJECT TO CHANGE PER FINAL ARCHITECTURAL, CIVIL AND SITE DESIGN

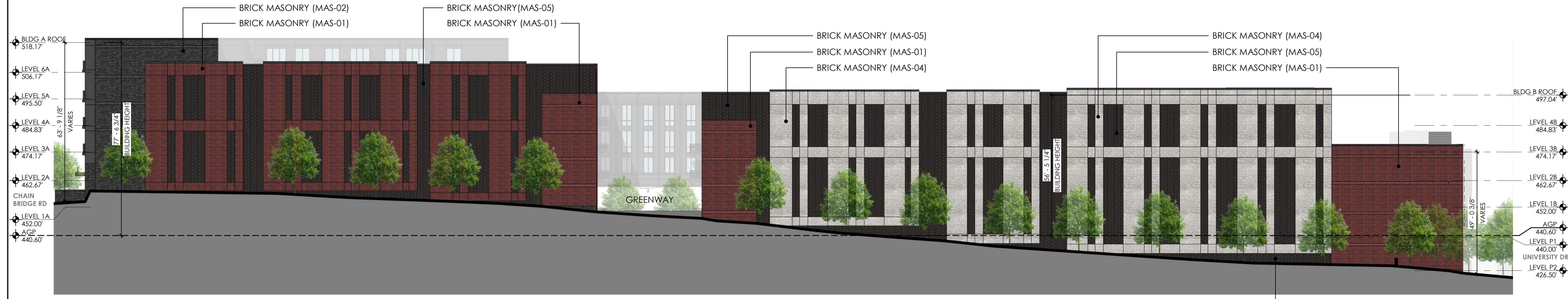
EXTERIOR MATERIAL LEGEND



KEY PLAN 1 & 2



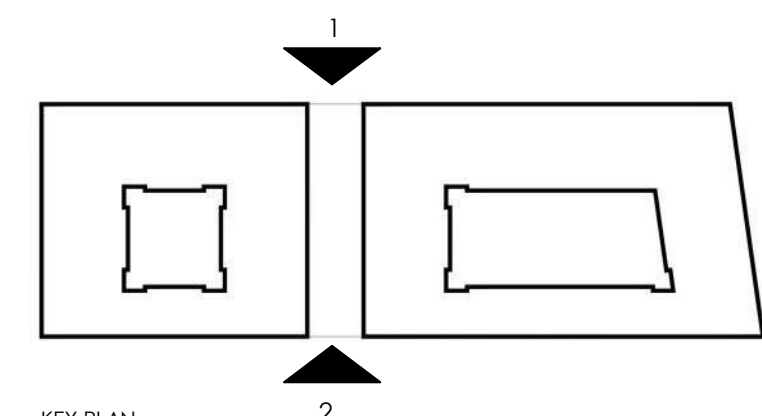
1 NORTH ELEVATION\_OPTION 2  
SCALE: 1" = 20'-0"



2 SOUTH ELEVATION\_OPTION 4  
SCALE: 1" = 20'-0"

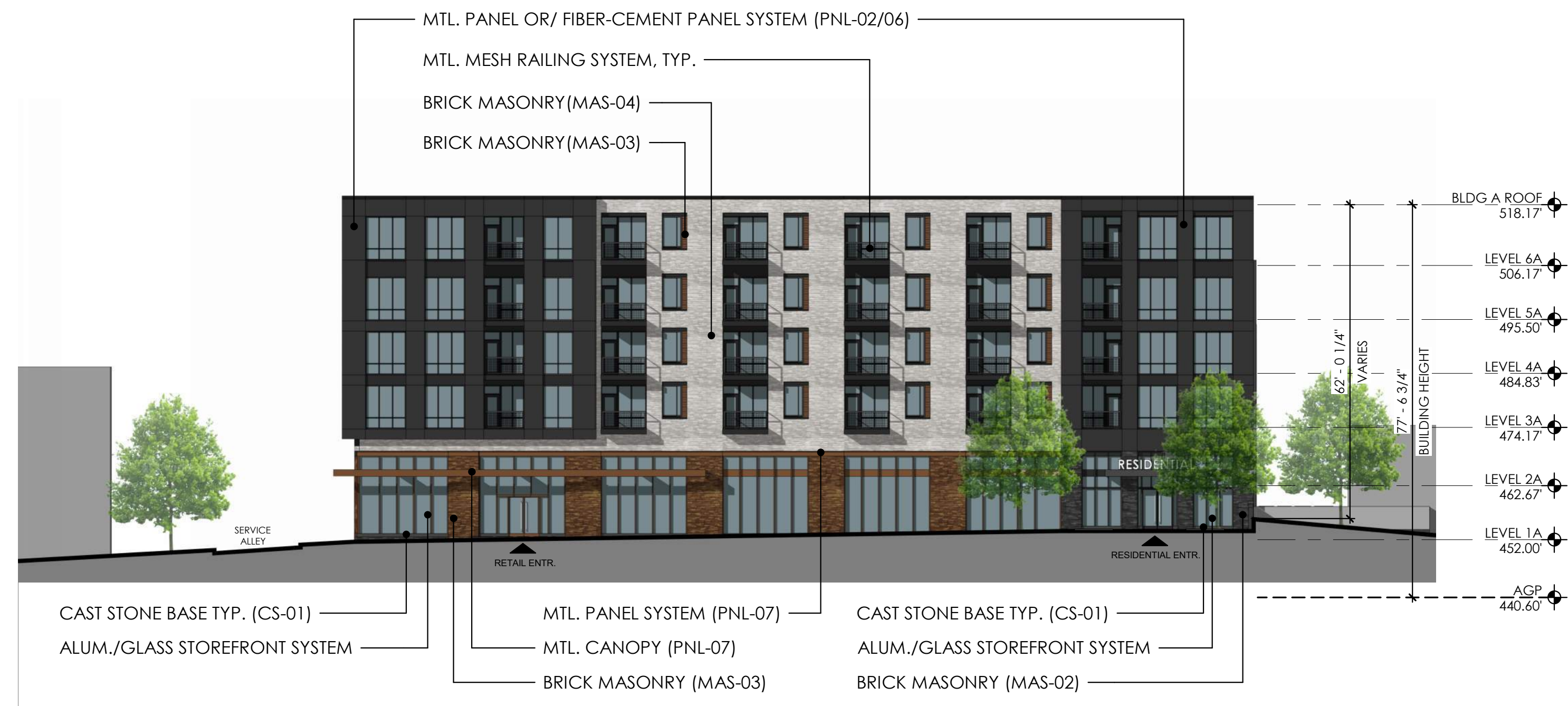
NOTE:  
ALL DRAWINGS ARE PROVIDED FOR ILLUSTRATIVE PURPOSES ONLY  
AND ARE SUBJECT TO CHANGE PER FINAL ARCHITECTURAL, CIVIL AND SITE DESIGN

EXTERIOR MATERIAL LEGEND										
MAS-01	MAS-02	MAS-03	MAS-04	MAS-05	PNL-01	PNL-02	PNL-03	PNL-06	PNL-07	CS-01

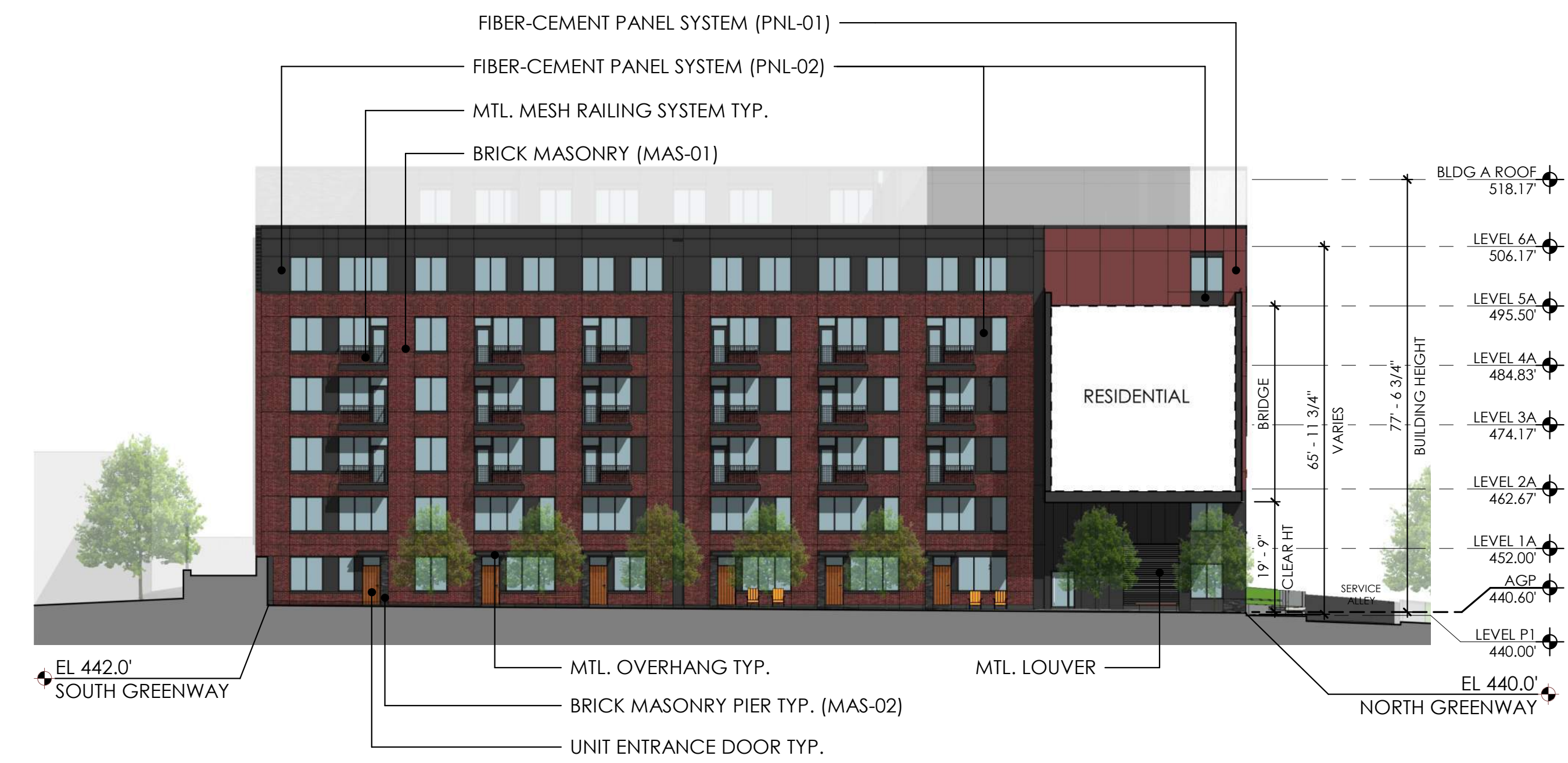


KEY PLAN

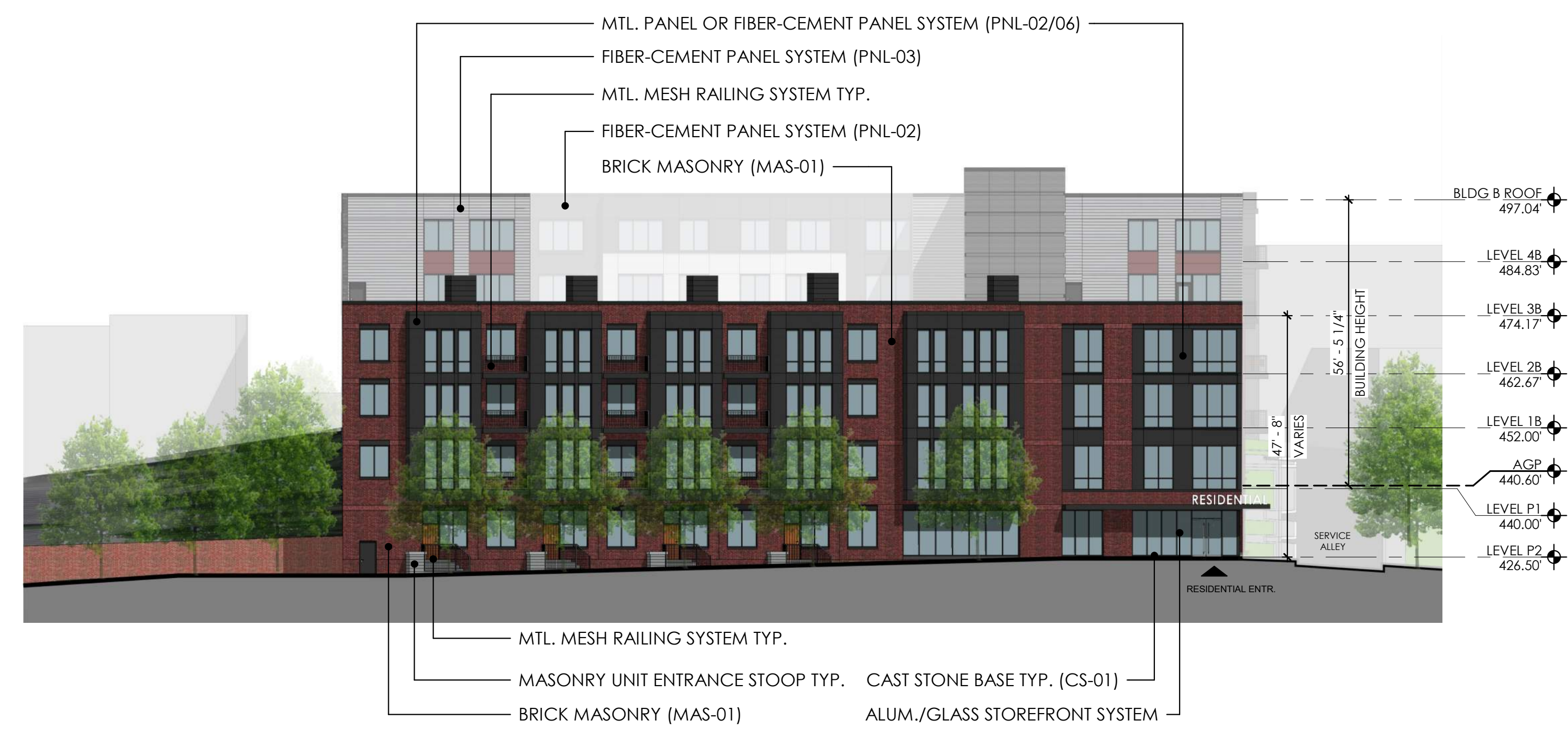




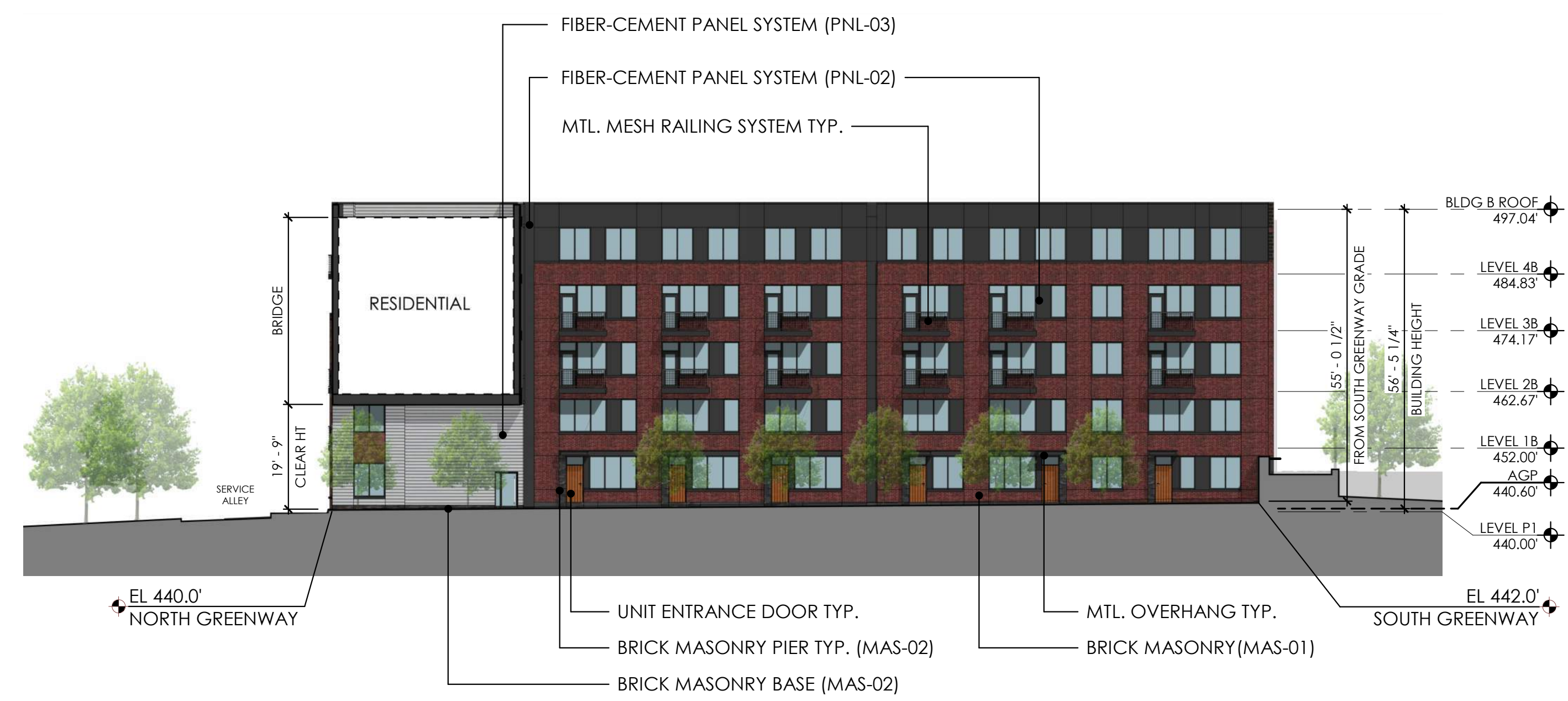
1 BLDG A - WEST ELEVATION AT CHAIN BRIDGE RD  
SCALE: 1" = 20'-0"



2 BLDG A - EAST ELEVATION AT GREENWAY  
SCALE: 1" = 20'-0"

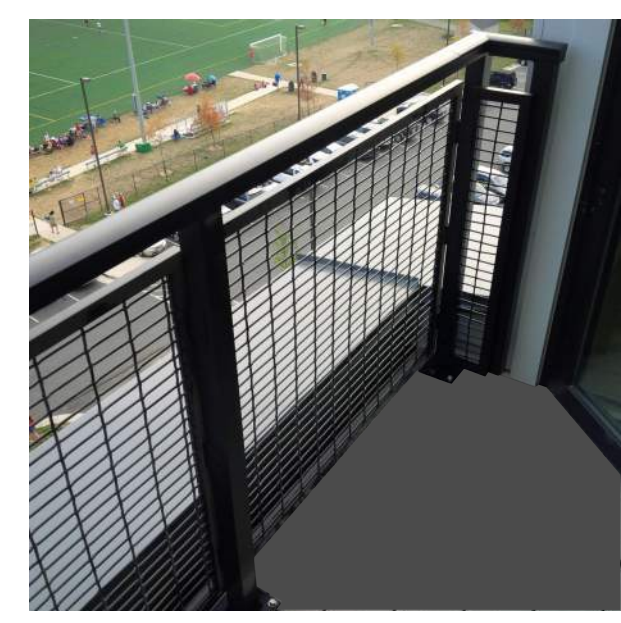


3 BLDG B - EAST ELEVATION AT UNIVERSITY DR  
SCALE: 1" = 20'-0"



4 BLDG B - WEST ELEVATION AT GREENWAY  
SCALE: 1" = 20'-0"

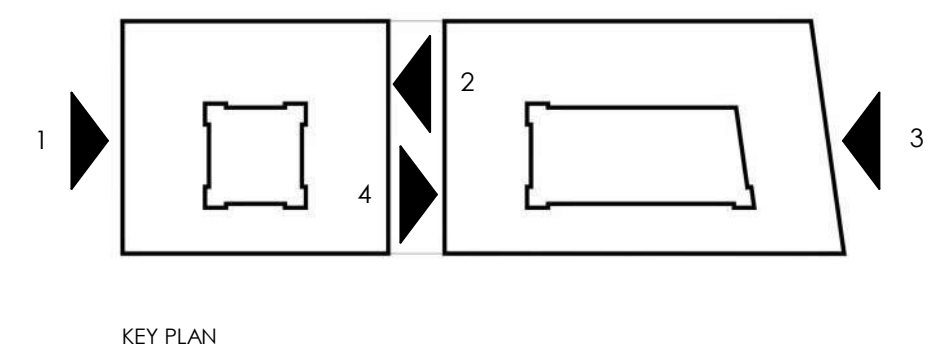
NOTE:  
ALL DRAWINGS ARE PROVIDED FOR ILLUSTRATIVE PURPOSES ONLY  
AND ARE SUBJECT TO CHANGE PER FINAL ARCHITECTURAL, CIVIL AND SITE DESIGN



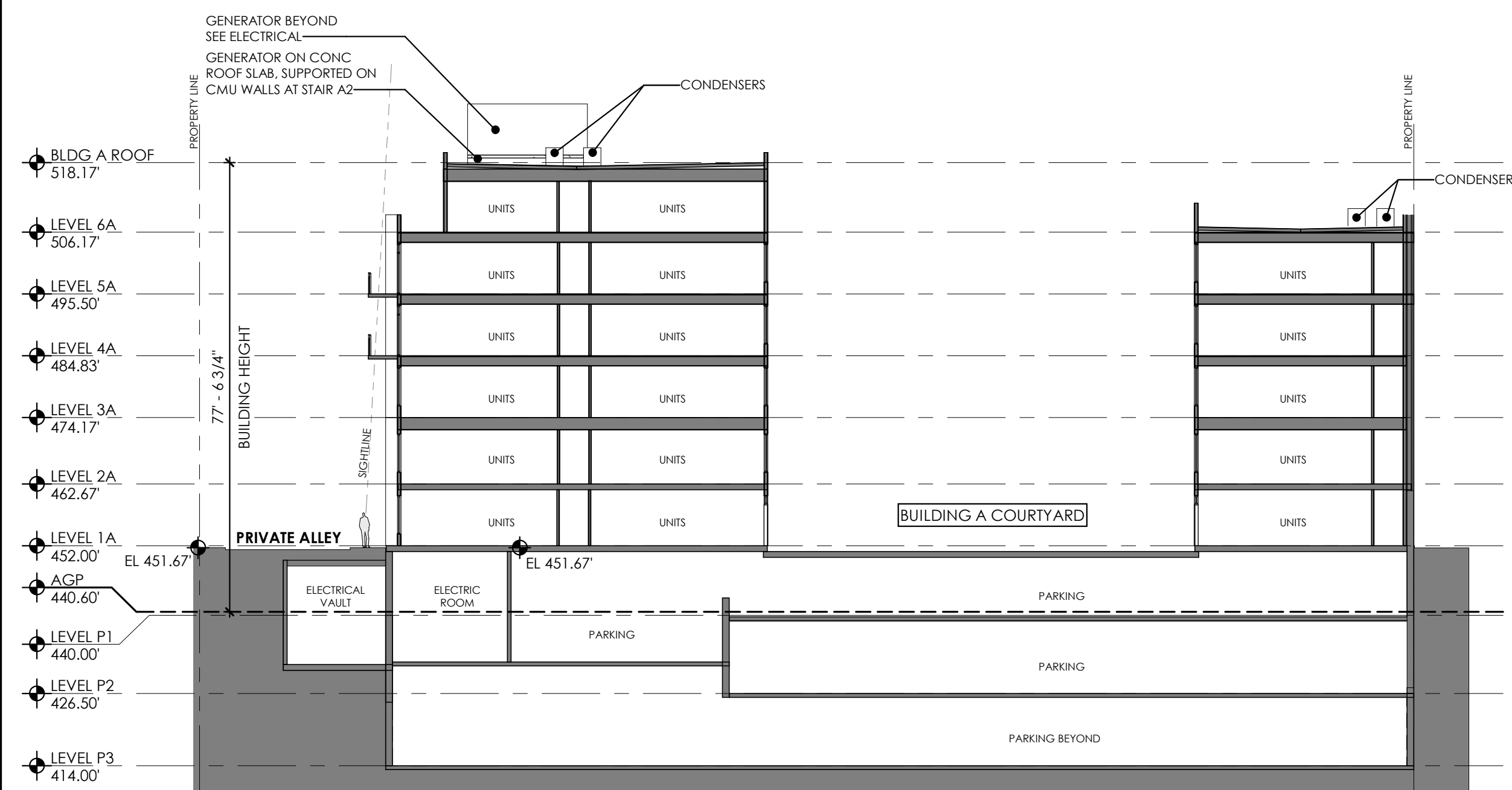
TYPICAL BALCONY RAILING SYSTEM DESIGN INTENT

UNIT BALCONY DIMENSIONS	
SEMI-RECESSED BALCONY	9' - 0" X 5' - 0" (EXTENDS 5" BEYOND BLDG FACE)
RECESSED BALCONY	8' - 0" X 5' - 0"
SEMI-RECESSED BALCONY	9' - 0" X 5' - 0" (EXTENDS 3' BEYOND BLDG FACE)
PROJECTING BALCONY	9' - 0" X 5' - 0"

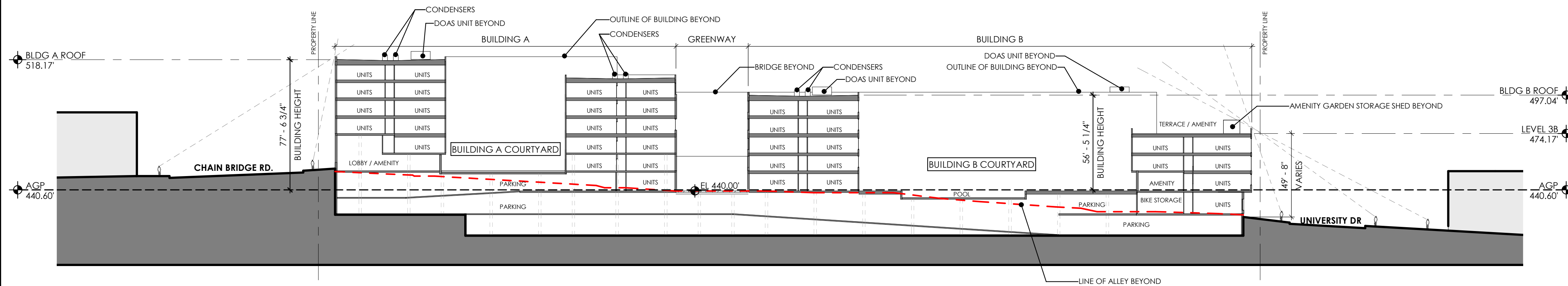
EXTERIOR MATERIAL LEGEND										
MAS-01	MAS-02	MAS-03	MAS-04	MAS-05	PNL-01	PNL-02	PNL-03	PNL-06	PNL-07	CS-01



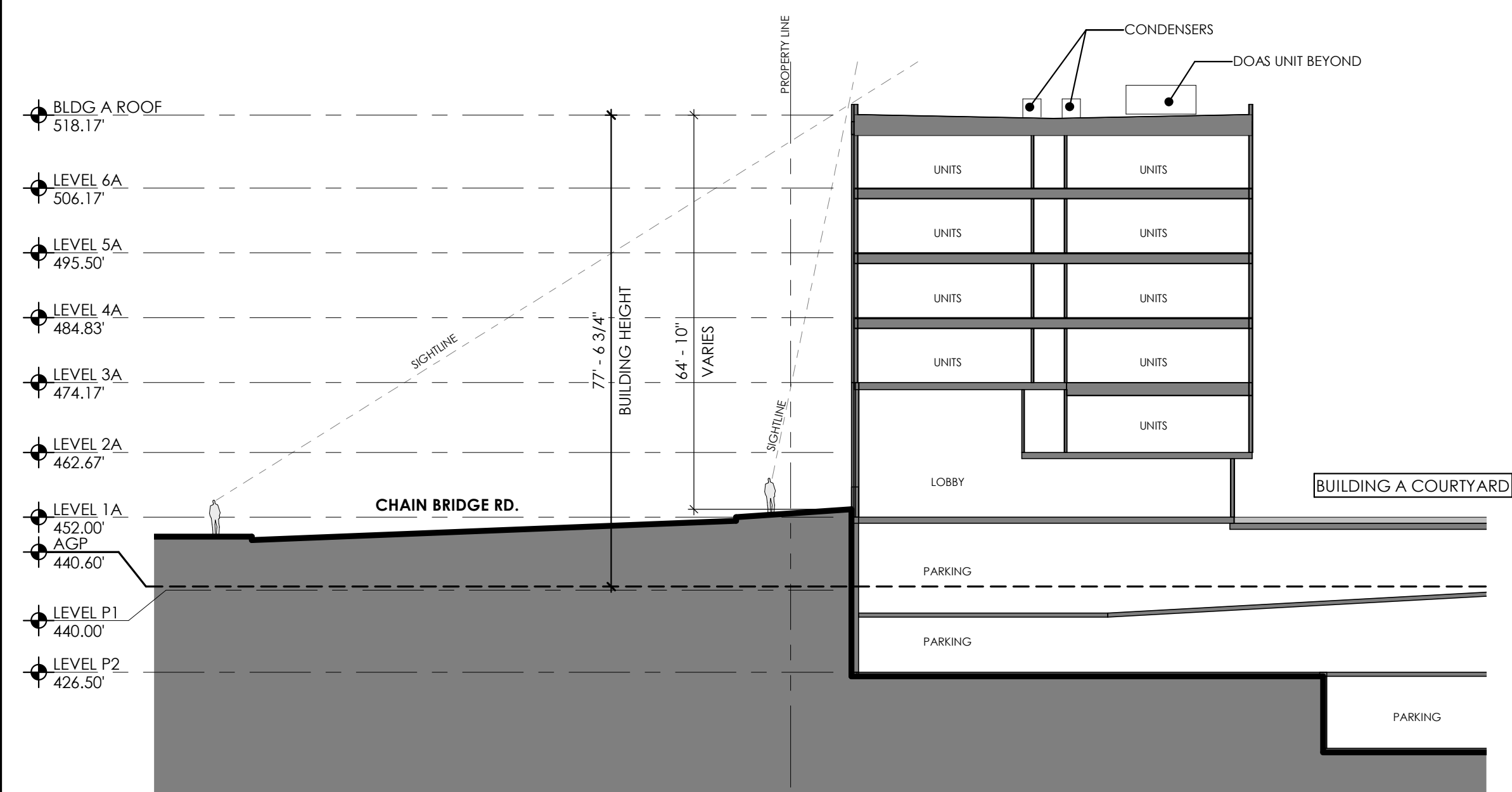
KEY PLAN



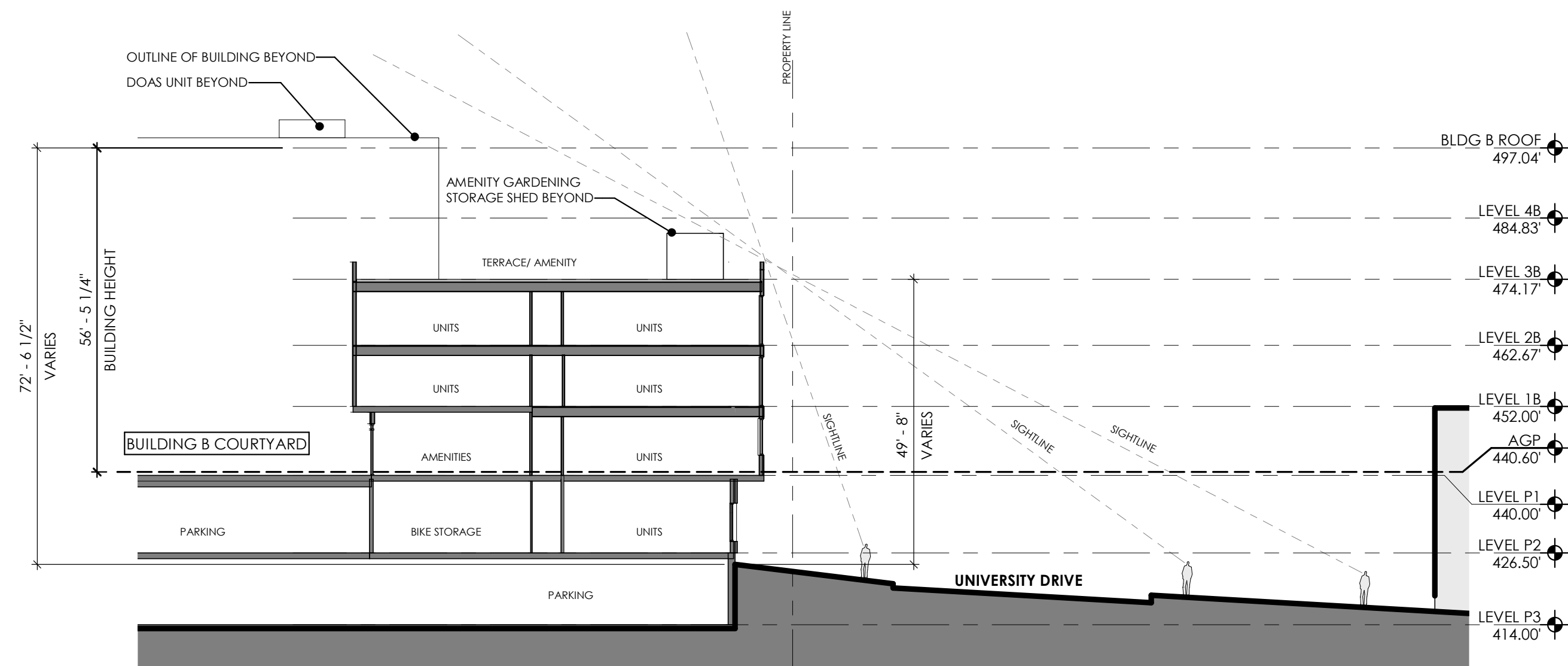
4 BUILDING A SECTION 1 N-S  
SCALE: 1" = 20'-0"



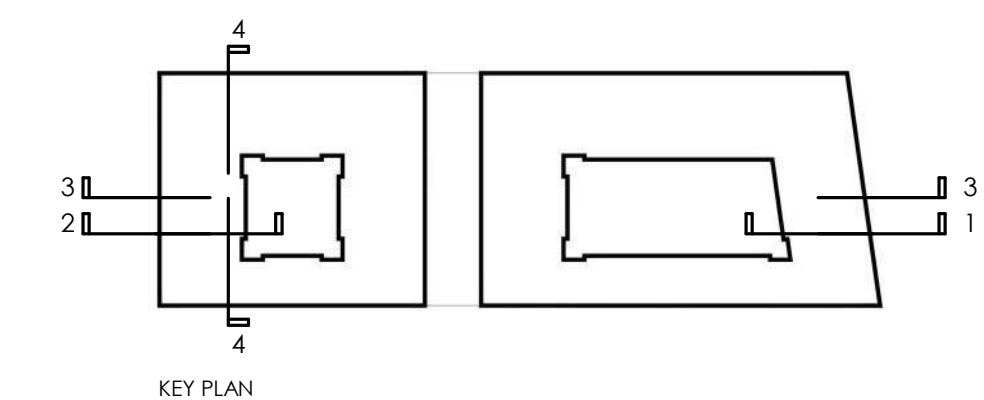
3 BUILDINGS A & B SECTION E-W  
SCALE: 1" = 40'-0"



2 BUILDING A SECTION  
SCALE: 1" = 20'-0"



1 BUILDING B SECTION  
SCALE: 1" = 20'-0"





① UNIVERSITY DR VIEW LOOKING SOUTHWEST



② UNIVERSITY DR VIEW LOOKING NORTHWEST

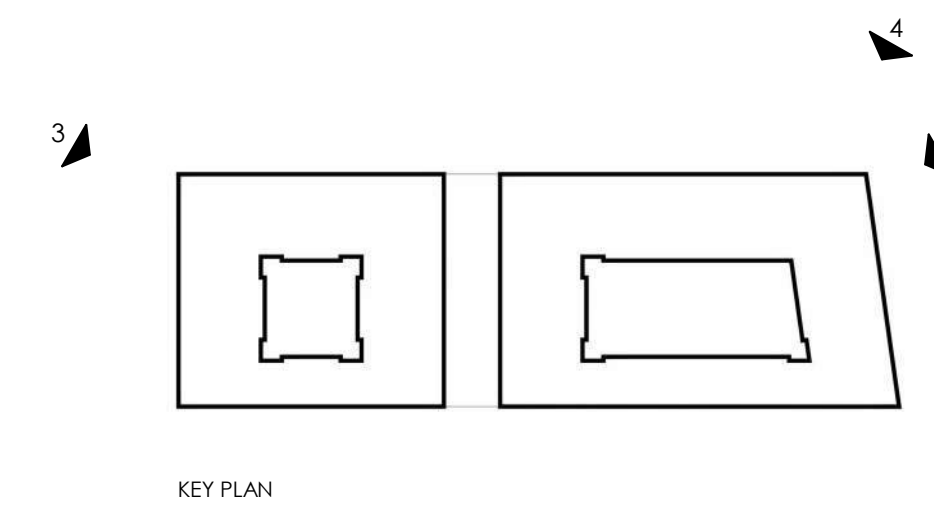


③ CHAIN BRIDGE RD VIEW LOOKING SOUTHEAST



④ UNIVERSITY DR VIEW LOOKING SOUTHWEST

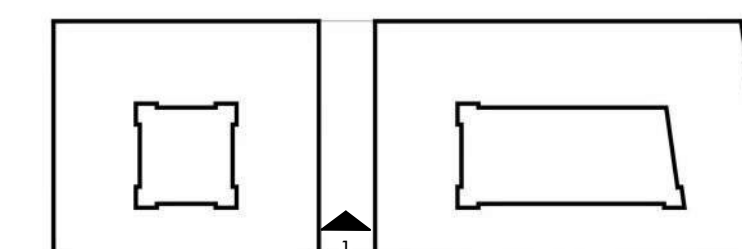
NOTE:  
ALL DRAWINGS ARE PROVIDED FOR ILLUSTRATIVE PURPOSES ONLY  
AND ARE SUBJECT TO CHANGE PER FINAL ARCHITECTURAL, CIVIL AND SITE DESIGN





① GREENWAY VIEW LOOKING NORTH

NOTE:  
ALL DRAWINGS ARE PROVIDED FOR ILLUSTRATIVE PURPOSES ONLY  
AND ARE SUBJECT TO CHANGE PER FINAL ARCHITECTURAL, CIVIL AND SITE DESIGN



KEY PLAN

**WDG**

WDG ARCHITECTURE, PLLC  
1025 CONNECTICUT AVENUE NW  
SUITE 300  
WASHINGTON DC 20036  
TEL 202 857 8300  
www.wdgarch.com

STRUCTURAL ENGINEER  
ELLINWOOD + MACHADO  
3000 WILSON BLVD  
SUITE 350  
ARLINGTON, VA 22205

TEL -

MEP ENGINEER  
HENRY ADAMS, LLC  
600 BALTIMORE AVENUE  
SUITE 400  
BALTIMORE, MD 21204

TEL -

4131 CHAIN BRIDGE RD.  
FAIRFAX, VA

TDC  
ACQUISITIONS, LLC  
1850 M STREET, NW  
SUITE 820  
WASHINGTON, DC 20036

ZONING SUBMISSION 12.28.2022  
REZONING RESUBM 09.27.2023




PROFESSIONAL SEAL

WDG PROJECT NO:  
WA22001

PERSPECTIVE VIEWS

SCALE:

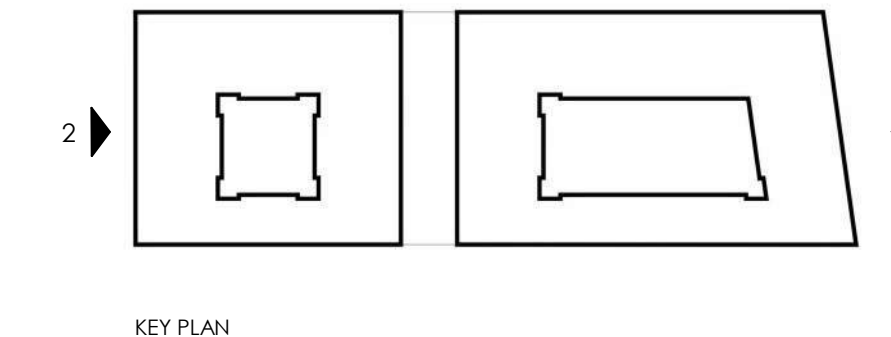
**A-104**



① ENLARGED ELEVATION PERSPECTIVE UNIVERSITY DR  
SCALE: 3/16" = 1'-0"



② ENLARGED ELEVATION PERSPECTIVE CHAIN BRIDGE RD  
SCALE: 3/16" = 1'-0"



4131 CHAIN BRIDGE RD.  
FAIRFAX, VA

TDC  
ACQUISITIONS, LLC  
1850 M STREET, NW  
SUITE 820  
WASHINGTON, DC 20036

REZONING RESUBM 09.27.2023



WDG PROJECT NO:  
WA22001

PERSPECTIVE  
ELEVATIONS

SCALE:

**4131 CHAIN  
BRIDGE ROAD**

City of Fairfax  
Fairfax County, Virginia

**LANDSCAPE ARCHITECT**  
**ParkerRodriguez**

101 North Union Street, Suite 320  
Alexandria VA 22314  
703.548.5010

**OWNER**

TDC Acquisitions, LLC  
1800 M St NW, Suite 620  
Washington, DC 20036

**ARCHITECT**

WDG Architecture  
1025 Connecticut Ave NW, Suite 300  
Washington, DC 20036  
202-857-8300

**CIVIL ENGINEER**

Bahler  
12825 Workgate Drive, Suite 700  
Herndon, VA 20170  
703-709-9500

**LIGHTING DESIGNER**

Name  
Street, Suite  
City, State, Zip  
Phone

**MEP ENGINEER**

Henry Adams, LLC  
600 Baltimore Ave, Suite 400  
Baltimore, MD 21204  
410-296-6500

**STRUCTURAL ENGINEER**

Ellinwood + Machado Structural Engineers  
3000 Wilson Blvd, Suite 350  
Arlington, VA 22205  
703-835-9989

**DESIGNED BY**

TR, SS

**DRAWN BY**

SS, KR, KF

**CHECKED BY**

SS

**REVISIONS**

ZONING SUBMISSION	12.28.22
ZONING SUBMISSION	09.27.23

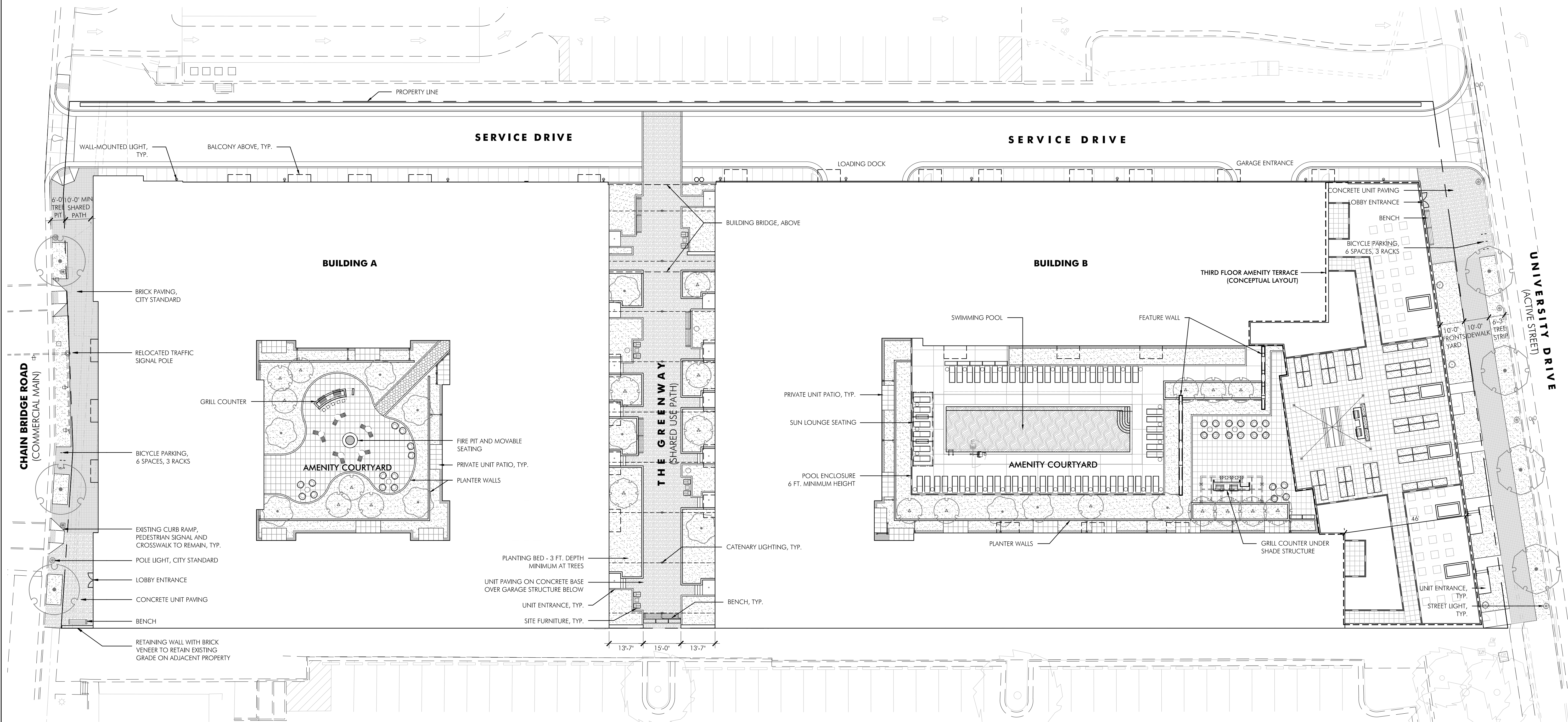
**ILLUSTRATIVE  
SITE PLAN**

**L-100**



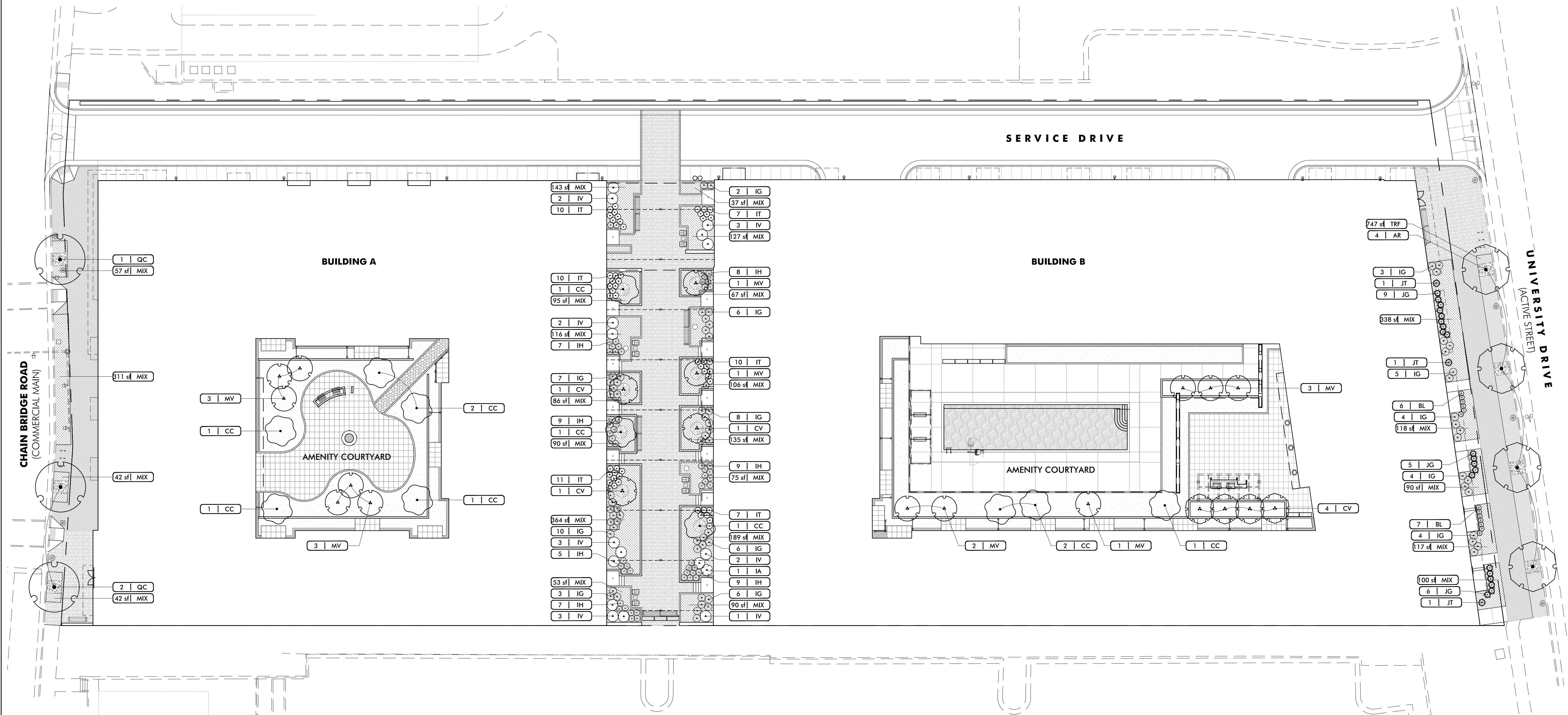
**01 LANDSCAPE RENDERING**  
1"=20'-0"

0 10 20 40  
FEET

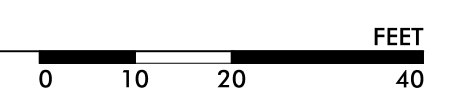


01 OVERALL LANDSCAPE PLAN  
1"=20'-0"

PLANT SCHEDULE						
TREES - DECIDUOUS - CANOPY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	NATIVE
AR	4	Acer rubrum 'Red Sunset'	Red Sunset Red Maple	2-2.5" cal.	B+B	Native - Local/Regional
QC	3	Quercus coccinea	Scarlet Oak	2-2.5" cal.	B+B	Native - Local/Regional
TREES - DECIDUOUS - UNDERSTORY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	NATIVE
CC	11	Cercis canadensis	Eastern Redbud	8-10' ht.	B+B	Native - Local/Regional
CV	7	Chionanthus virginicus	White Fringetree	8-10' ht.	B+B	Native - Local/Regional
MV	14	Magnolia virginiana	Sweetbay Magnolia	8-10' ht.	B+B	Native - Local/Regional
TREES - EVERGREEN	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	NATIVE
JT	3	Juniperus virginiana 'Taylor'	Taylor Eastern Redcedar	8-10' ht.	B+B	Native - Local/Regional
SHRUBS - DECIDUOUS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	NATIVE
IV	16	Ilex verticillata 'Winter Red'	Winter Red Winterberry	4-5' ht.	Container	Native
IA	1	Ilex x 'Apollo'	Apollo Hybrid Winterberry	4-5' ht.	Container	Native
IT	55	Itea virginica 'Henry's Garnet'	Henry's Garnet Sweetspire	24-30" ht.	Container	Native
SHRUBS - EVERGREEN	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	NATIVE
BL	13	Buxus microphylla koreana	Korean Boxwood	24" ht.	Container	Non-Native
IH	54	Ilex crenata 'Hoogendorn'	Hoogendorn Japanese Holly	24-30" ht.	Container	Non-Native
IG	68	Ilex glabra 'Nigra'	Nigra Inkberry Holly	30-36" ht.	Container	Native
JG	20	Juniperus virginiana 'Grey Owl'	Grey Owl Eastern Redcedar	24-30" ht.	Container	Native
HERBACEOUS - GROUNDCOVERS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	NATIVE
MIX	3,092 sf	Mixed Herbaceous Planting	Mixed Herbaceous Planting	--		
TRF	779 sf	Turf Seed	Turf Seed	--		



**01 PRELIMINARY GROUND FLOOR PLANTING PLAN**  
1"=20'-0"





**4131 CHAIN  
BRIDGE ROAD**

City of Fairfax  
Fairfax County, Virginia

**LANDSCAPE ARCHITECT  
ParkerRodriguez**

101 North Union Street, Suite 320  
Alexandria VA 22314  
703.548.5010

**OWNER**

TDC Acquisitions, LLC  
1800 M St NW, Suite 620  
Washington, DC 20036

**ARCHITECT**

WDG Architecture  
1025 Connecticut Ave NW, Suite 300  
Washington, DC 20036  
202-857-8300

**CIVIL ENGINEER**

Bahler  
12825 Workgate Drive, Suite 700  
Herndon, VA 20170  
703-709-9500

**LIGHTING DESIGNER**

Name  
Street, Suite  
City, State, Zip  
Phone

**MEP ENGINEER**

Henry Adams, LLC  
600 Baltimore Ave, Suite 400  
Baltimore, MD 21204  
410-296-6500

**STRUCTURAL ENGINEER**

Ellinwood + Machado Structural Engineers  
3000 Wilson Blvd, Suite 350  
Arlington, VA 22205  
703-835-9989

**DESIGNED BY**

TR, SS

**DRAWN BY**

SS, KR, KF

**CHECKED BY**

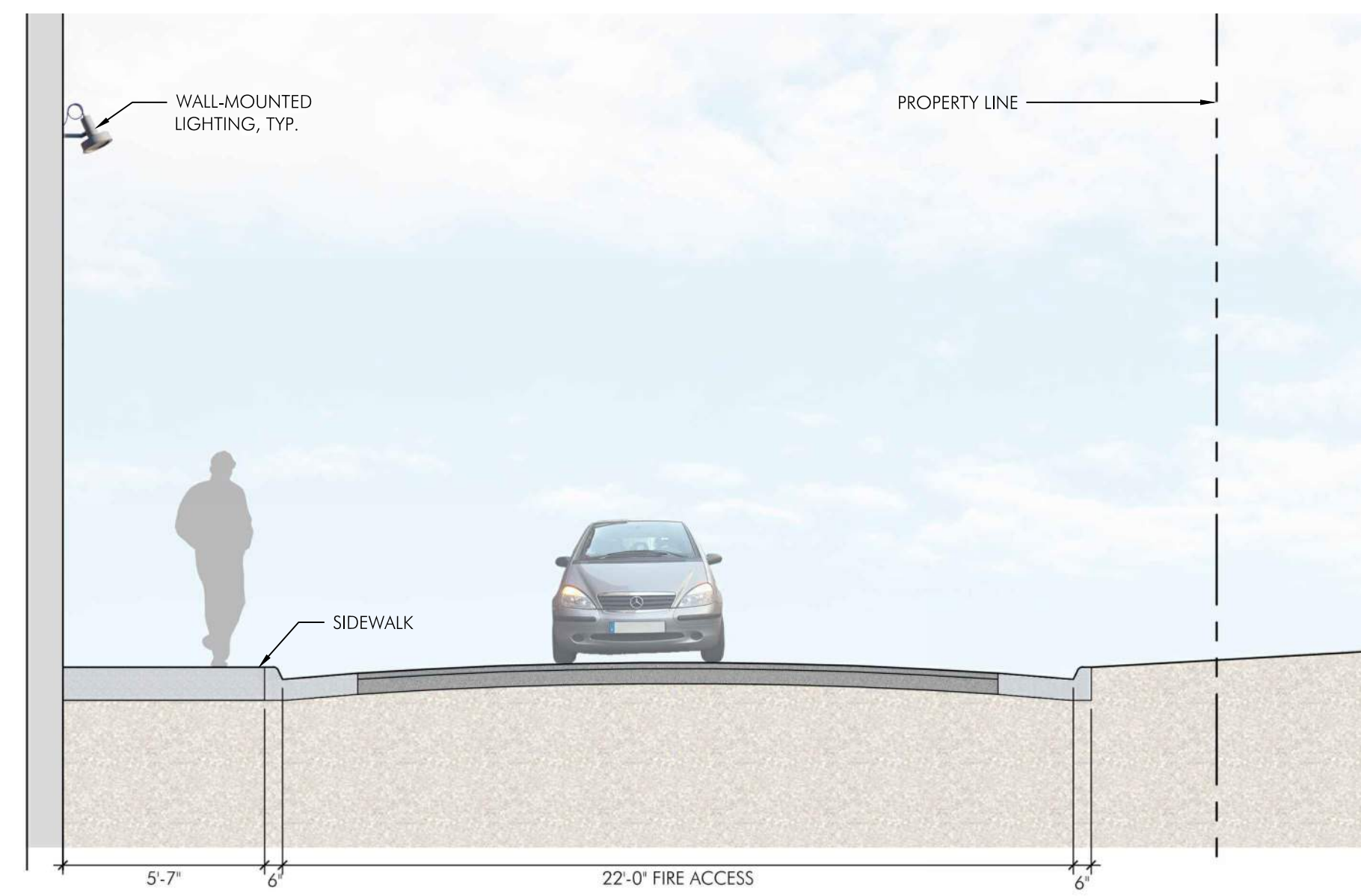
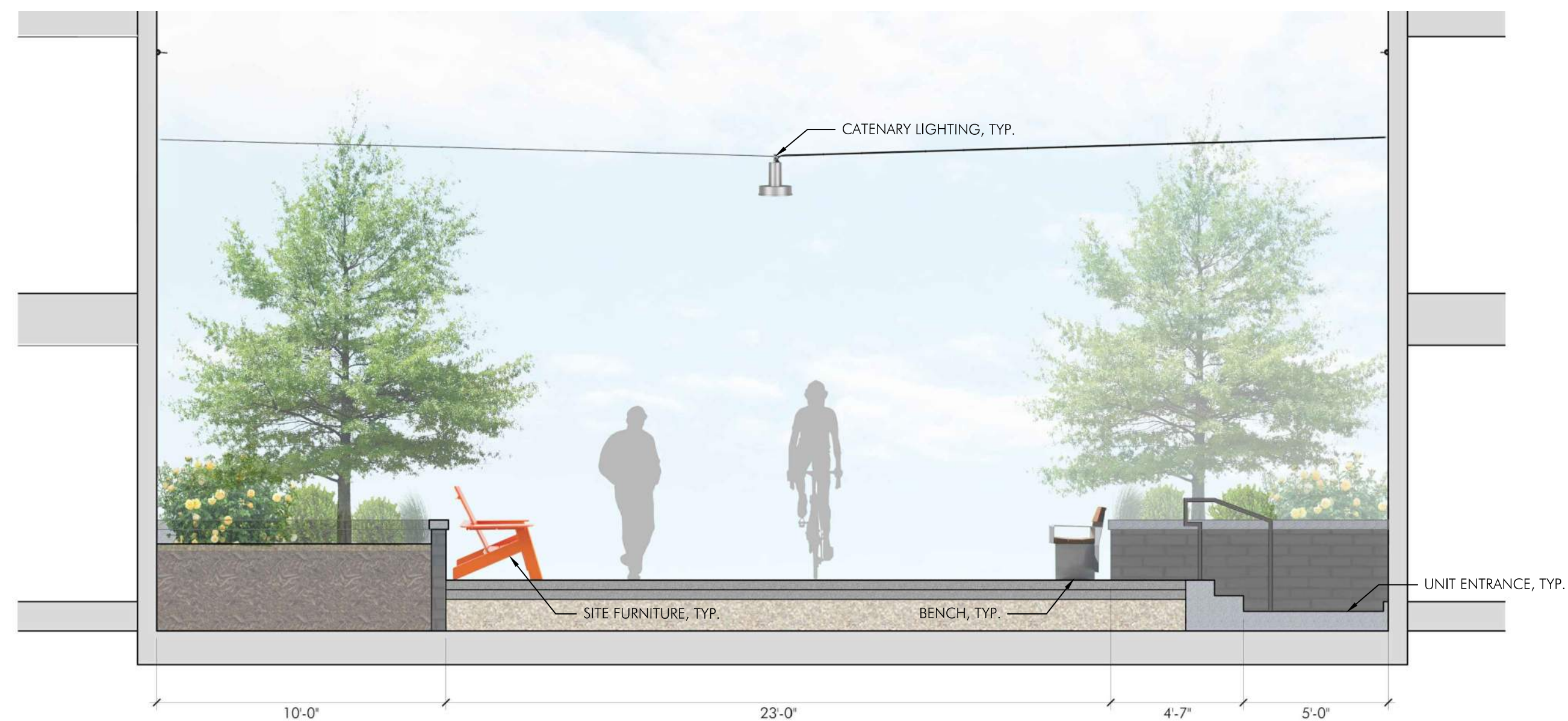
SS

**REVISIONS**

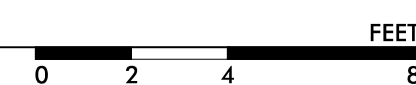
ZONING SUBMISSION	12.28.22
ZONING SUBMISSION	09.27.23

**LANDSCAPE  
SECTIONS**

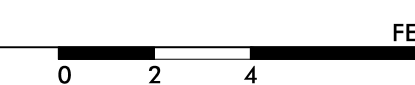
**L-200**



**01 GREENWAY SECTION**  
1/4"=1'-0"



**02 SERVICE ALLEY SECTION**  
1/4"=1'-0"



REVISIONS

ZONING SUBMISSION	12.28.22
ZONING SUBMISSION	09.27.23

LANDSCAPE  
MATERIALS

Fairfax Standard Brick | Streetscape Paving



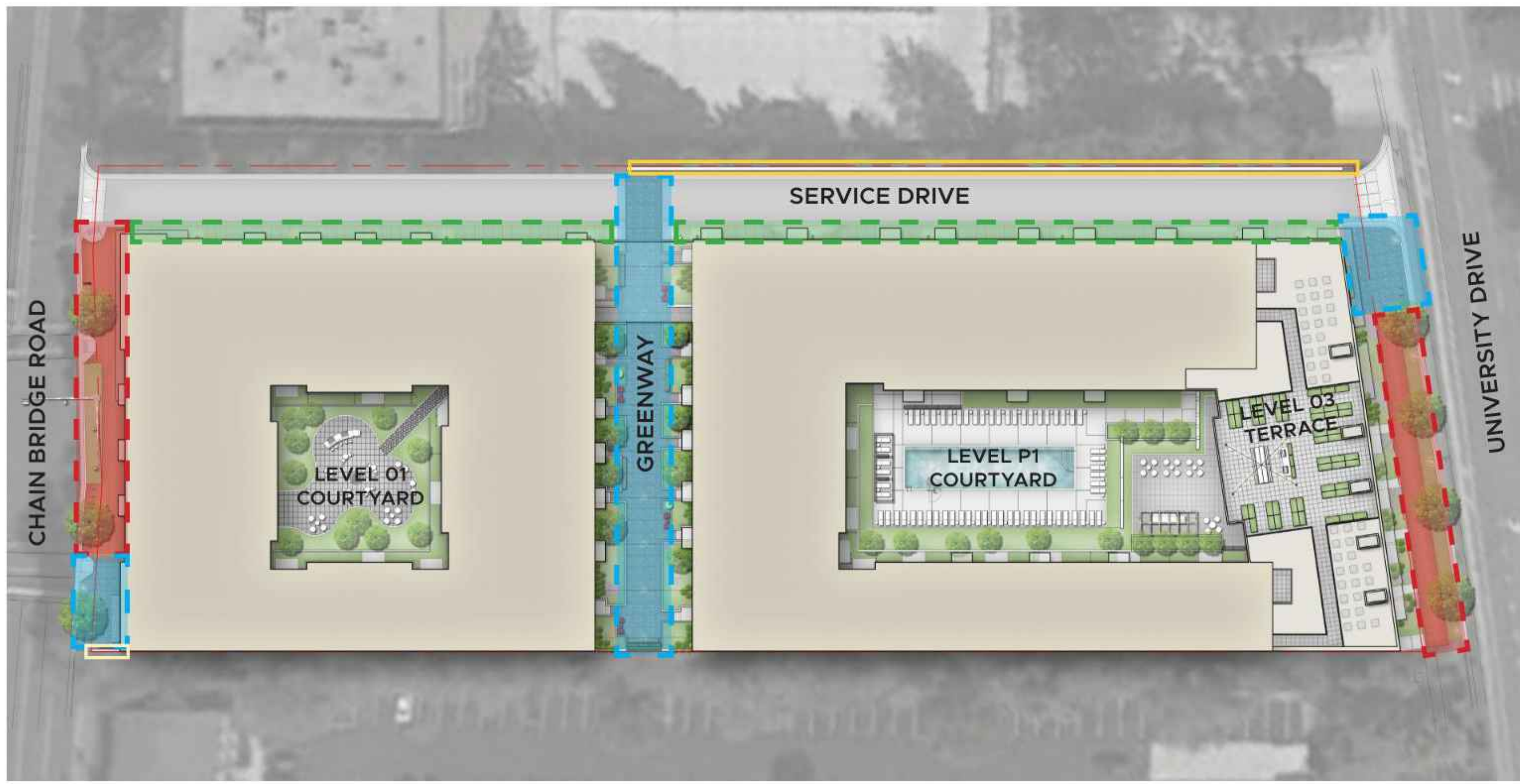
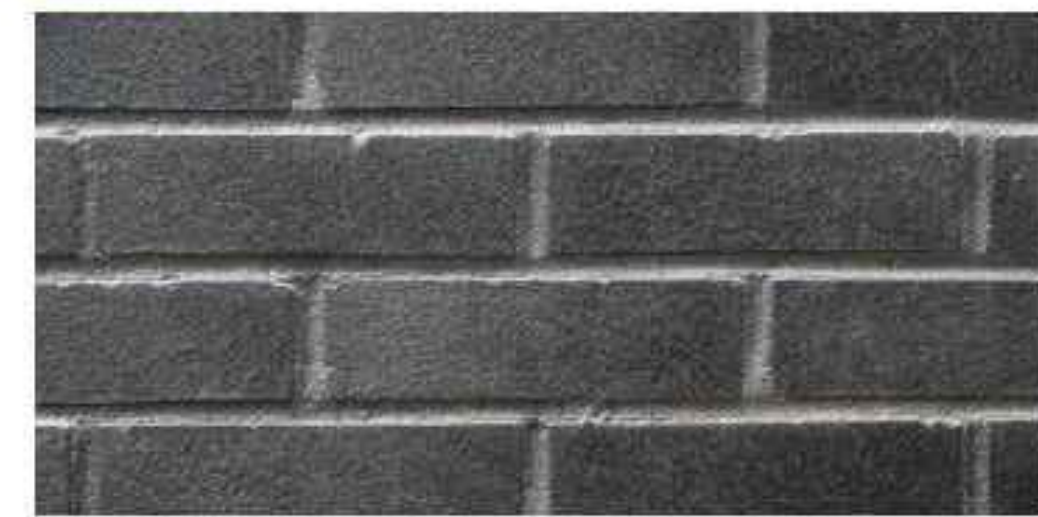
Unit Paving | Greenway



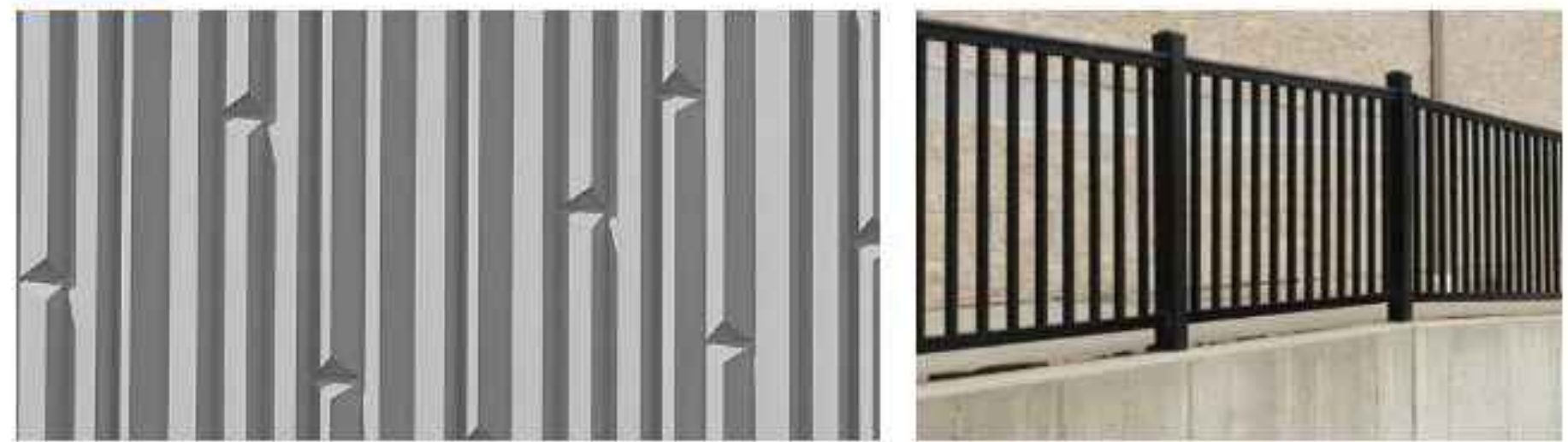
Concrete Paving | Service Drive



Wall Veneer | Brick



Interim Condition Wall Finish & Guardrail | Architectural Formliner & 42" HT. Aluminium Guardrail



OWNER

TDC Acquisitions, LLC  
1800 M St NW, Suite 620  
Washington, DC 20036

ARCHITECT

WDG Architecture  
1025 Connecticut Ave NW, Suite 300  
Washington, DC 20036  
202-857-8300

CIVIL ENGINEER

Bohler  
12825 Worldgate Drive, Suite 700  
Herndon, VA 20170  
703-709-9500

LIGHTING DESIGNER

Name  
Street, Suite  
City, State, Zip  
Phone

MEP ENGINEER

Henry Adams, LLC  
600 Baltimore Ave, Suite 400  
Baltimore, MD 21204  
410-296-6500

STRUCTURAL ENGINEER

Ellinwood + Machado Structural Engineers  
3000 Wilson Blvd, Suite 350  
Arlington, VA 22205  
703-835-9989

DESIGNED BY

TK, SS

DRAWN BY

SS, KR, KF

CHECKED BY

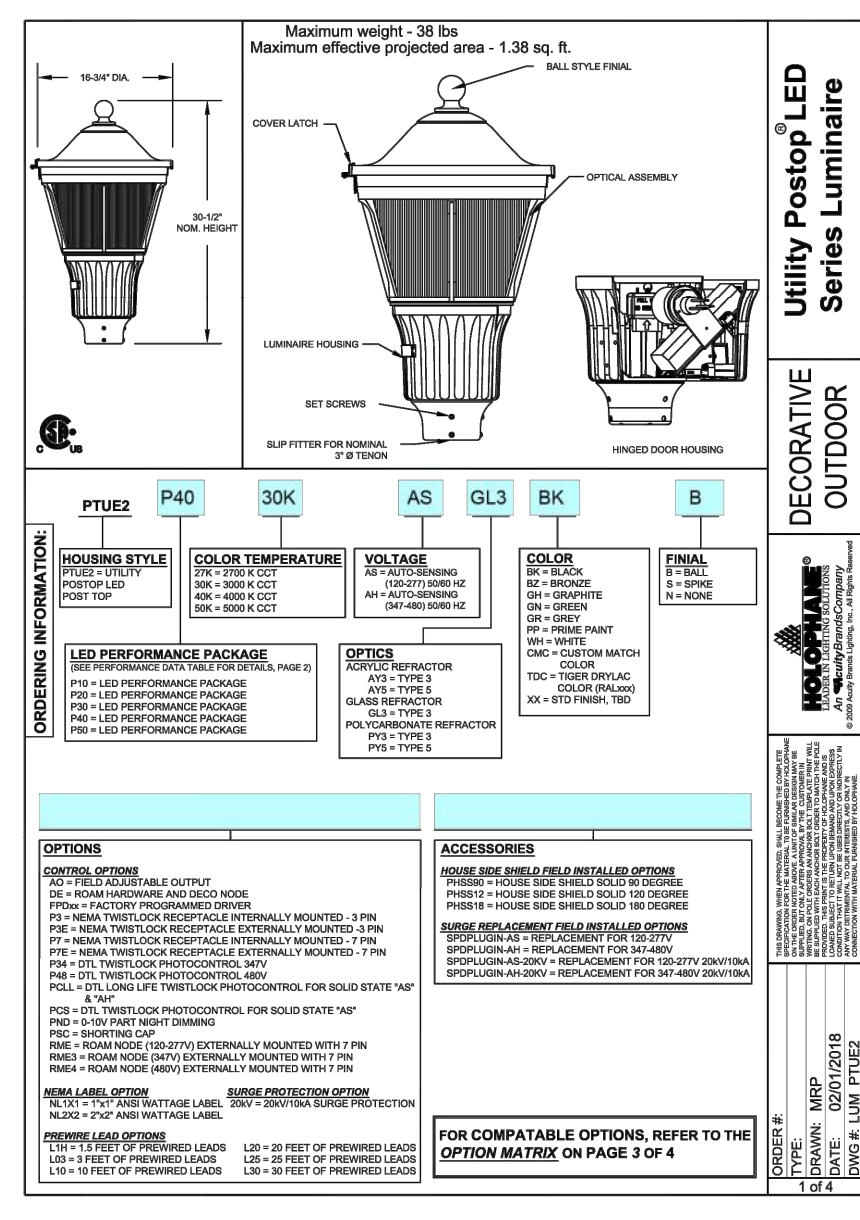
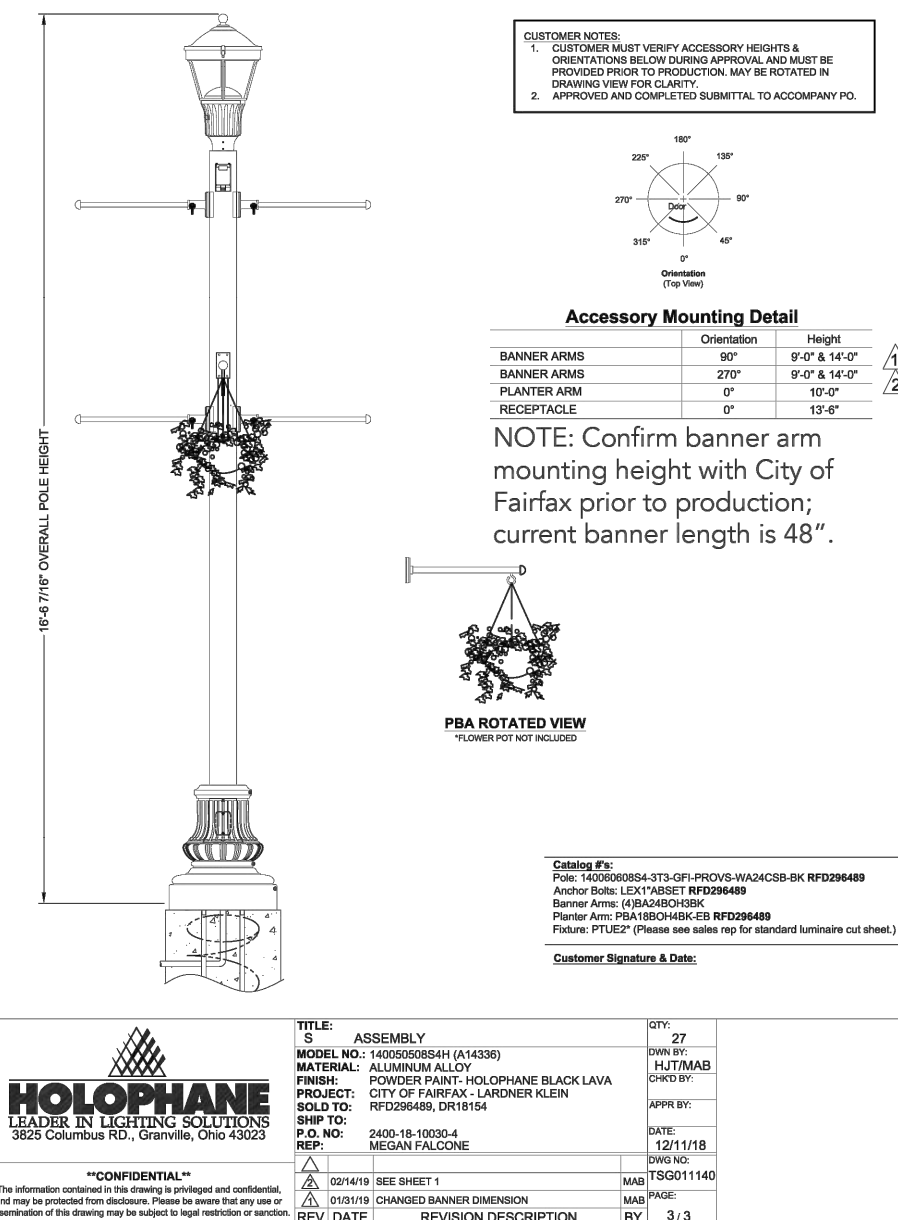
SS

REVISIONS

ZONING SUBMISSION	12.28.22
ZONING SUBMISSION	09.27.23

LANDSCAPE  
LIGHTING

L-301



Arne  
Spec Sheet | ARxP



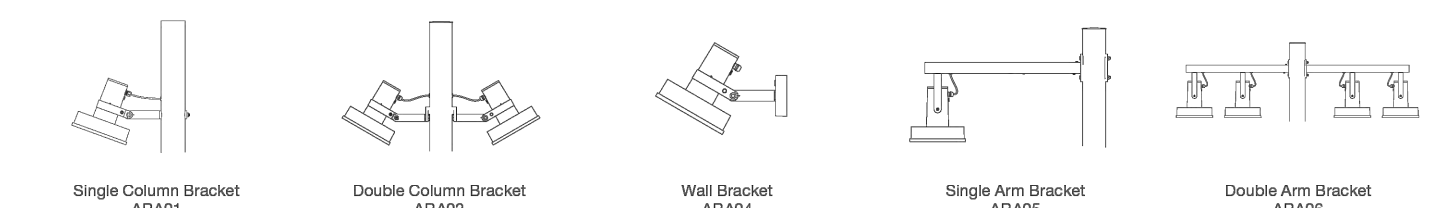
Arne's formal simplicity has international appeal and complements both traditional and contemporary architecture. Inspired by the work of renowned Danish architect and designer Arne Jacobsen, Arne offers multiple functions and styles for a range of applications. This versatile luminaire can be wall mounted, suspended from a cable for catenary applications, or fixed to a pole or column. Arne provides full 360° rotation and tilt capabilities to efficiently light all aspects of the environment, from walkways and architectural structures to monuments and landscapes.



Arne  
Spec Sheet | ARxP

Mounting

The Arne luminaire has a variety of accessories to adapt it to different configurations. For pole mounted applications, a cast aluminum single or double column or arm mounting bracket will attach to a 5" diameter section of pole via a through-bolt. Arne will attach to mounting brackets via stainless steel clamp and/or hanging bracket. For catenary applications, the Arne will feature a cast aluminum support cable bracket attached to a stainless-steel hanging mounting bracket. For wall mounted applications, Arne will attach to a cast aluminum bracket via a stainless-steel clamp. Arne wall mount will also include a cast aluminum wall cover plate.



Catenary

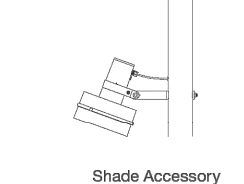
For catenary applications, there will be two options: Single entry (AR2P) for single or end-of-line applications; and Loop In/Out (AR3P) for multiple fixtures on the same line applications. (Example: A line span has (3) Arne catenary fixtures on it. The first (2) Arne fixtures will be the AR3P loop in/out option, while the third (end of line) fixture will be an AR2P). Please note that the support cable and electrical cable are not included.

Electrical cable size range: 7.5-11.3mm, Support cable size range: 6-8mm



Shade Accessory

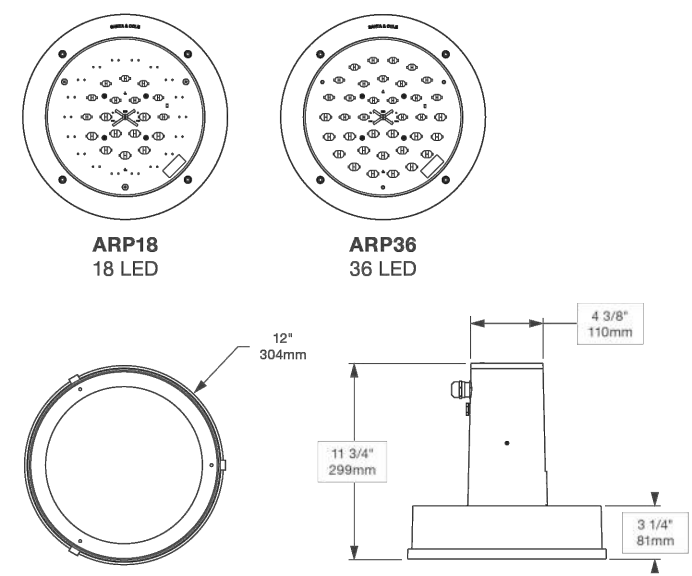
Shade is constructed of thermoformed PMMA and attaches to the luminaire with stainless steel springs in three locations.



Housing & Materials

Cast aluminum construction with tempered glass diffuser lens and a threaded weatherproof cord grip. Housing features polymer anodizing gasket as well as stainless steel and black zinc-plated steel screws.

LED Configurations



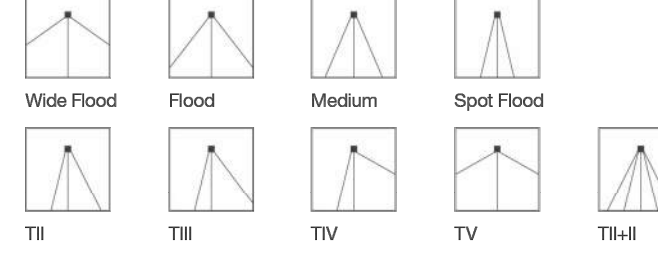
Electrical

120V through 277V 50/60 Hz integrated electronic driver. 0-10V dimming, -40°C start temperature. Available with optional ANSI C136.41 twist lock receptacle. Arne ships prewired and fully assembled.

Light Engine

High powered LEDs mounted to a RoHS compliant circuit board with PMMA optics affixed to each LED on the board. Available in 3000K and 4000K. >80 CRI across all available color temperatures.

Distributions



Warranty

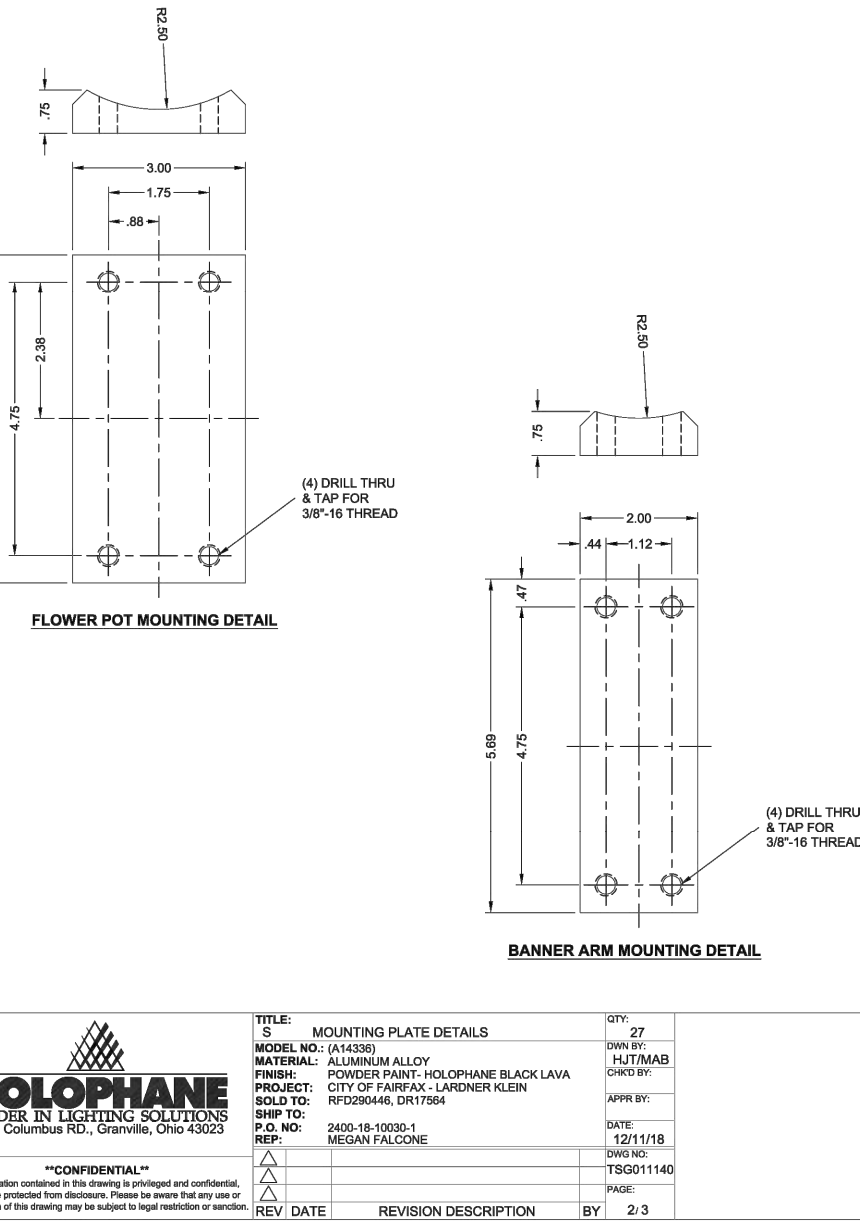
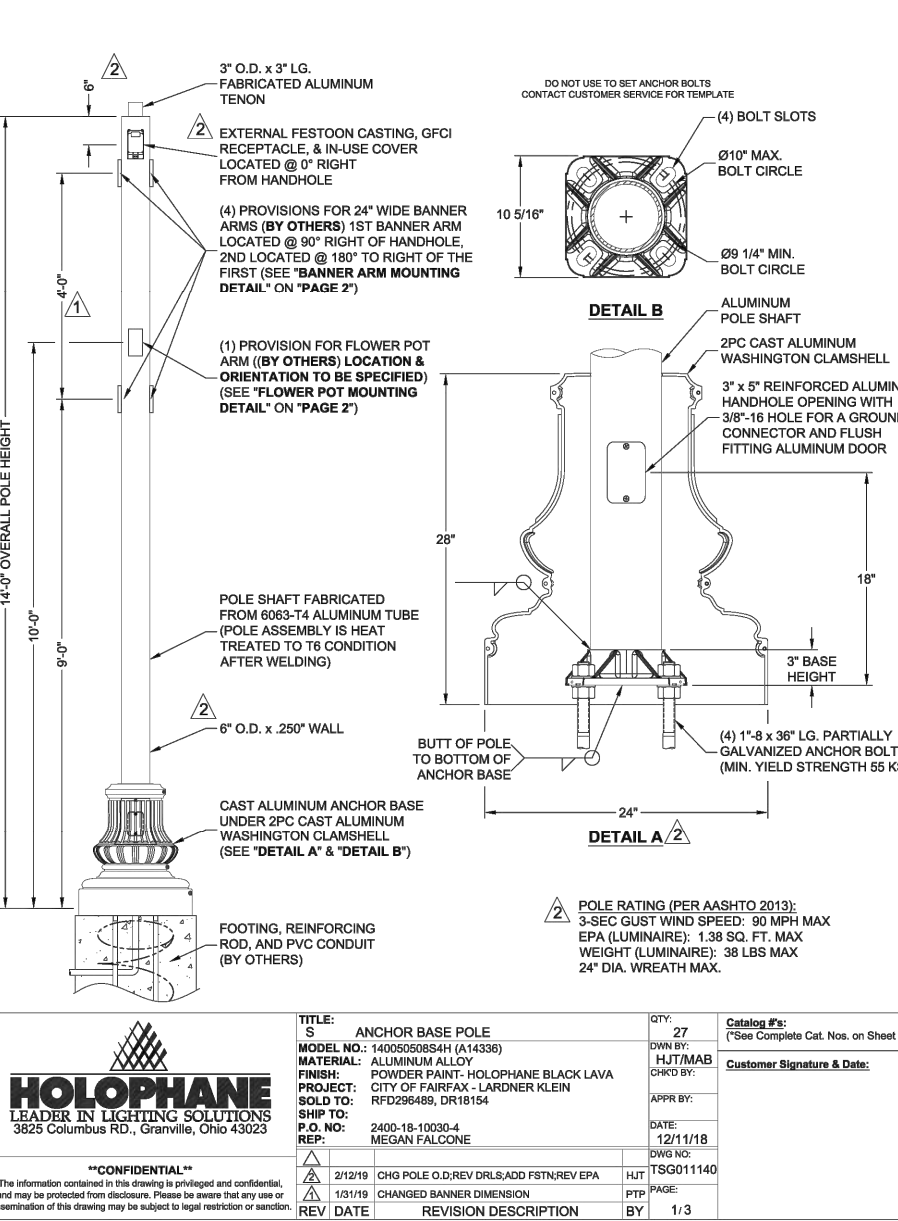
Urbidormis guarantees the composition and performance features of all material that shape the product for a period of three years. Electrical components including LED boards and electronic drivers are guaranteed for a period of five years.

Certification

UL Listed for Wet Location, CE, RoHS Compliant



Designed by Urbidormis



01 TYPICAL STREET LIGHT  
NOT TO SCALE

02 TYPICAL CATENARY AND WALL LIGHT  
NOT TO SCALE