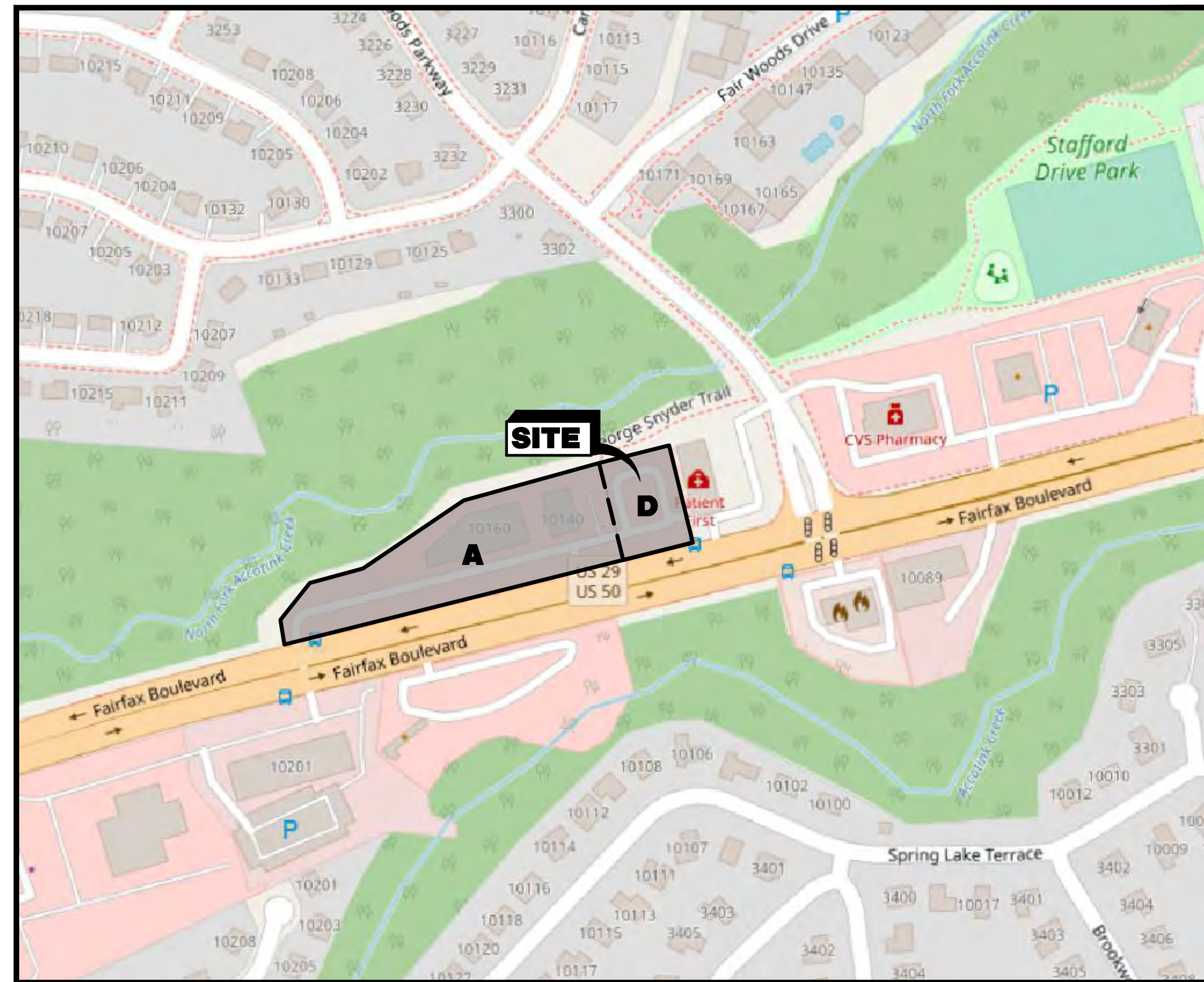
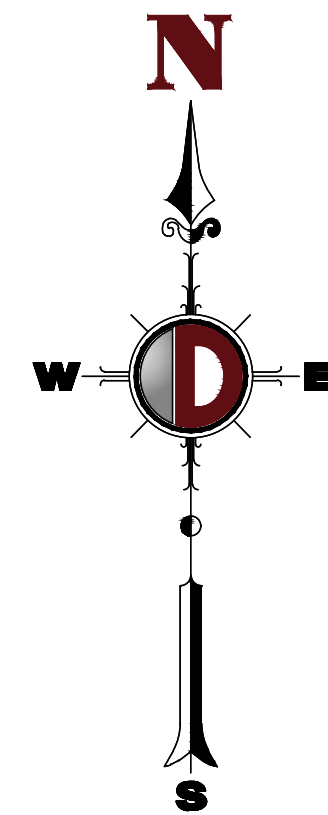


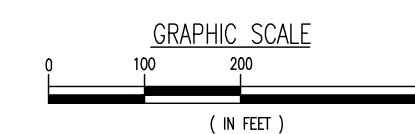
GENERAL DEVELOPMENT PLAN AMENDMENT/SPECIAL USE PERMIT PLAT FOR PROPOSED TACO BELL FAST FOOD RESTAURANT

10121 FAIRFAX BOULEVARD
CITY OF FAIRFAX, VIRGINIA

PREPARED FOR:
SOUTHPAW



LOCATION & ZONING MAP
SCALE: 1" = 200'
TAX MAP #47-4-23-000-A
TAX MAP #47-4-23-000-D
JULY 19TH, 2024



DRAWING INDEX	
SHEET NUMBER	SHEET NAME
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02	EXISTING CONDITIONS & DEMOLITION PLAN
03	GENERAL DEVELOPMENT PLAN & SPECIAL USE PERMIT PLAT
04	OVERALL GENERAL DEVELOPMENT PLAN & SPECIAL USE PERMIT PLAT
05	EROSION AND SEDIMENT CONTROL & CONSTRUCTION MANAGEMENT
06	PRELIMINARY UTILITY AND GRADING PLAN
07	CONCEPTUAL LANDSCAPE PLAN AND TABULATIONS
08	CONCEPTUAL LANDSCAPE NOTES AND DETAILS
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13	LIGHTING PLAN
14	LIGHTING DETAILS
15	FIRE MARSHAL PLAN
16	SWM AND BMP ANALYSIS
17	ARCHITECTURAL ELEVATIONS
18	ARCHITECTURAL ELEVATIONS
19	TREE INVENTORY PLAN

GENERAL NOTES

- TITLE OWNER OF TAX MAP 47-4-23-000-A: "SOO BOULEVARD MARKETPLACE LLC, 3300 ENTERPRISE PARKWAY, BEACHWOOD, OH 44122"
- TITLE OWNER OF TAX MAP 47-4-24-000-D: "JDC BOULEVARD, LLC, 14001-C SAINT GERMAIN DR 3650 CENTREVILLE, VA 20121"
- THIS APPLICATION REQUESTS AN AMENDMENT TO A PREVIOUSLY APPROVED REZONING AND GENERAL DEVELOPMENT PLAN TO REPLACE A PREVIOUSLY APPROVED RETAIL BUILDING USE WITH A RESTAURANT USE.
- THIS APPLICATION REQUESTS A SPECIAL USE PERMIT TO ALLOW A DRIVE-THROUGH WINDOW/FACILITY IN CONNECTION WITH THE RESTAURANT USE.
- THE SOURCE OF THE BOUNDARY LINE AND EXISTING IMPROVEMENT ARE BASED UPON AN ON-THE-GROUND FIELD SURVEY COMPLETED BY CORNERSTONE ENERGY SERVICE, INC. DURING NOVEMBER 2022.
- TOPOGRAPHIC INFORMATION IN THE AREA OF THIS APPLICATION IS FROM TOPOGRAPHIC SURVEY COMPLETED BY CORNERSTONE ENERGY SERVICES, INC. AND DATED NOVEMBER 2022. CONTOUR INTERVAL SHOWN HEREON IS 1'-FT. BEARING SHOWN HEREON ARE IN REFERENCE TO GRID NORTH, VIRGINIA NORTH STATE PLAN COORDINATE SYSTEM, NAD83. ELEVATIONS DEPICTED HEREON ARE IN REFERENCE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), BASED GPS OBSERVATIONS.
- WATER AND SEWER SERVICE IS AVAILABLE FROM THE CITY OF FAIRFAX.
- ENVIRONMENTAL:
 - A. 100-YEAR FLOODPLAIN - PROPERTY LOCATED IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER FEMA FLOOD MAP # 515524000, DATED 06/02/2006.
 - B. RESOURCE PROTECTION AREA - THE RESOURCE PROTECTION AREA (RPA) BOUNDARY IS DEFINED BY A 100' BUFFER TO THE NORTH AND SOUTH OF THE ACCOTTINH CREEK. THE RPA BOUNDARY ENROACHES ON THE NORTH END OF THE PROPERTY BUT WILL NOT BE IMPACTED WITH THE PROPOSED DEVELOPMENT.
 - C. NON-TIDAL WETLANDS - NO WETLANDS PRESENT ON SITE.
- NOTWITHSTANDING THE IMPROVEMENTS AND TABULATIONS SHOWN ON THIS PLAN, THE APPLICATION RESERVES THE RIGHT TO MAKE MODIFICATIONS TO THE FINAL DESIGN IN CONSIDERATION OF THE FINAL ENGINEERING AND ANY NEW REGULATIONS ADOPTED BY THE CITY OF FAIRFAX SUBSEQUENT TO THE SUBMISSION OF THIS APPLICATION, PROVIDED THAT SUCH MODIFICATIONS ARE SUBSTANTIALLY CONSISTENT WITH THE APPROVED GDA/SUP PLAT.
- SITE LIGHTING WILL BE DETERMINED AT TIME OF SITE PLAN AND WILL BE PROVIDED IN ACCORDANCE WITH THE CITY OF FAIRFAX ZONING ORDINANCE AND PUBLIC UTILITIES MANUAL.
- ALL SIGNAGE WILL BE PROVIDED IN ACCORDANCE WITH SECTION 4.6 OF THE ZONING ORDINANCE.
- APPLICANT DOES NOT PROPOSE ANY MODIFICATIONS TO PARCEL A AND ALL EXISTING IMPROVEMENTS ON PARCEL A ARE TO REMAIN.
- SPECIAL EXCEPTIONS:
 - A. A MODIFICATION OF SECTION 3.6.2 TO PERMIT A TRAIL WITHIN THE 10-FOOT SIDE YARD SETBACK.
 - B. A WAIVER OF SECTION 4.5.7.1.D TO PROVIDE AN INTERIOR LANDSCAPED ISLAND FOR EVERY TEN PARKING SPACES.

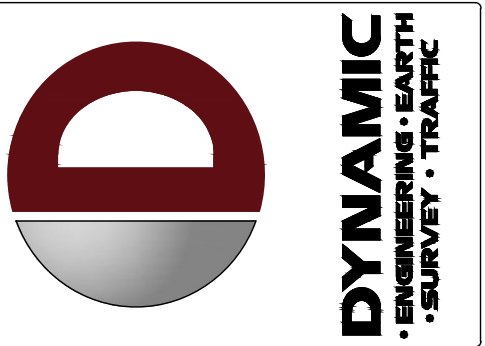
PROJECT CONTACTS:

DEVELOPER/APPLICANT:
ABTB MID-ATLANTIC, LLC C/O SOUTHPAW
354 AMITY ROAD SUITE 200
WOODBIDGE, CT 06525
(502) 909-2618
CONTACT: DAVID PANELLA

ENGINEER OF RECORD:
DYNAMIC ENGINEERING CONSULTANTS, P.C.
125 WEST STREET, SUITE 201
ANNAPOLIS, MD 21401
(410) 567-5000
CONTACT: CONNOR MCMANUS, P.E.

ARCHITECT:
TESSERE ARCHITECTURE
1525 E. DOUGLAS
WICHITA, KS 67211
(316) 265-9367
CONTACT: ROSA PADDOCK

LAND USE ATTORNEY/AGENT
WALSH, COLUCCI, LUBELEY & WALSH, P.C.
2200 CLARENDON BOULEVARD SUITE 1300
ARLINGTON, VA 22201
(703) 528-4700 EXT. 5424
CONTACT: KATHRYN R. TAYLOR



REV.	DATE	COMMENTS
1	07/22/24	GDP SET SECOND SUBMITTAL
0	07/18/24	GDP SET FIRST SUBMISSION

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DESIGNED BY: SRM
CHECKED BY: CM
DATE: _____

PROJECT: SOUTHPAW PROPOSED TACO BELL FAST FOOD RESTAURANT W/ DRIVE-THRU BOULEVARD MARKETPLACE, PARCEL D 10120 FAIRFAX BOULEVARD, CITY OF FAIRFAX, FAIRFAX COUNTY, VIRGINIA

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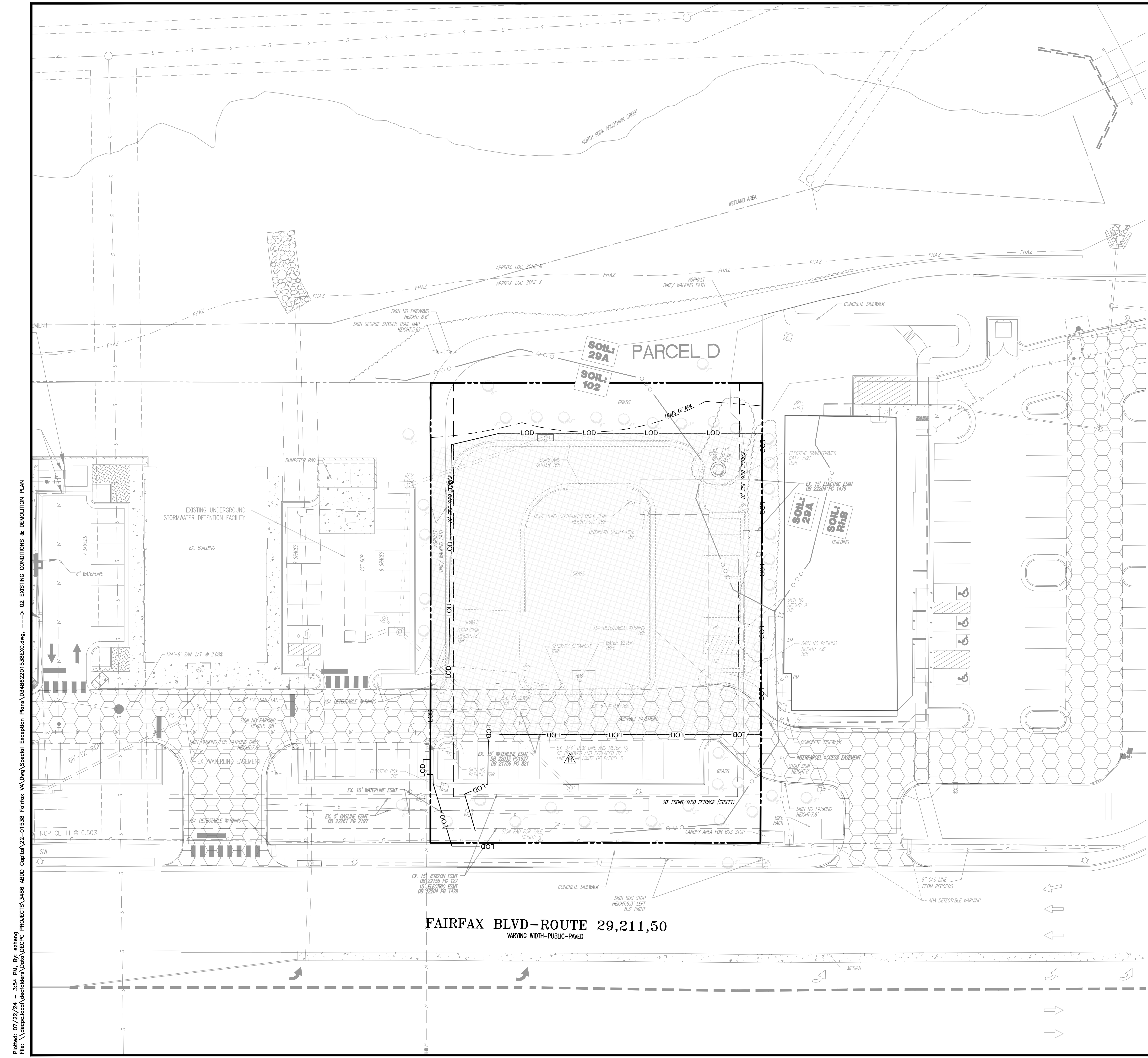
CONNOR MCMANUS
Professional Engineer
No. 12779
State of Maryland

TITLE:
COVER SHEET

SCALE: (H) AS SHOWN (V) NOTED DATE: 01/18/2024

PROJECT No:
3486-22-01538

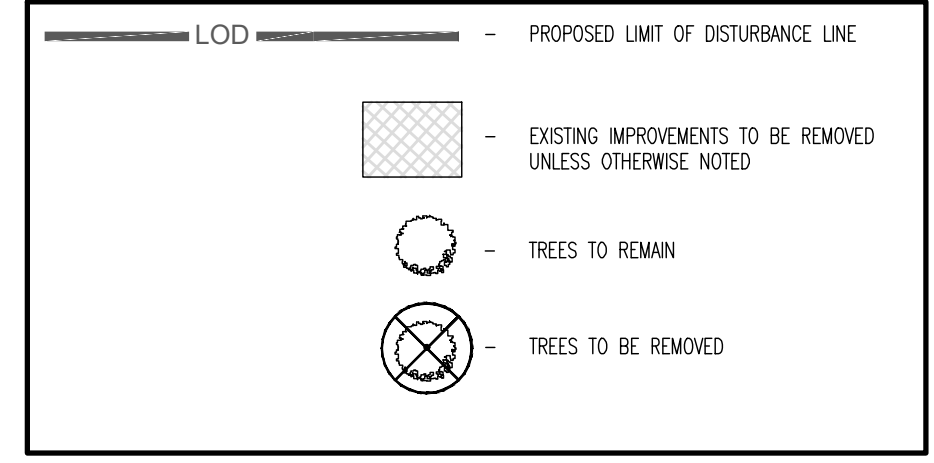
SHEET No: 1 OF 16 Rev. #: 1



DEMOLITION NOTES

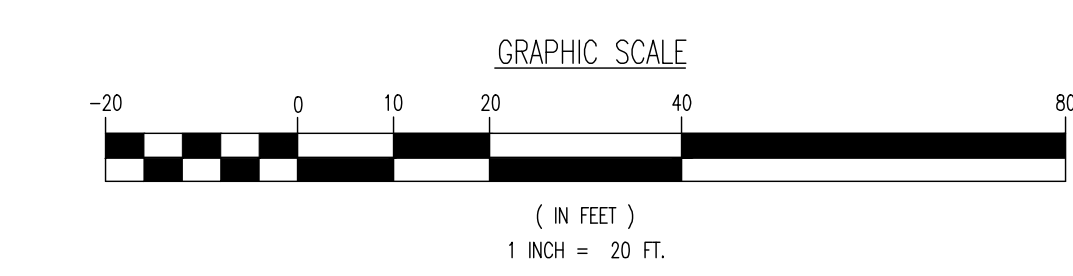
1. ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE AND LOCAL REGULATIONS.
2. PROCEED WITH DEMOLITION IN A SYSTEMATIC MANNER, FROM THE TOP OF THE STRUCTURE(S) TO THE GROUND, AS APPLICABLE. REFER TO THE ARCHITECTURAL PLANS FOR DEMOLITION RELATED TO THE DRIVE-THRU ADDITION AND ASSOCIATED BUILDING RENOVATIONS.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" (1-800-257-7777) AT LEAST 48 HOURS PRIOR TO STARTING ANY WORK.
4. EXISTING UTILITY INFORMATION SHOWN HEREON IS BASED ON THE BEST AVAILABLE INFORMATION, WHICH INCLUDES A FIELD SURVEY CONDUCTED BY CORNERSTONE ENERGY SERVICES, INC.
5. OBSTRUCTIONS SHOWN ON THE DRAWING ARE FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. CORNERSTONE ENERGY SERVICES, INC. DOES NOT WARRANT OR GUARANTEE THE CORRECTNESS OR THE COMPLETENESS OF THE INFORMATION GIVEN. THE CONTRACTOR SHALL VERIFY ALL SUCH INFORMATION TO HIS OWN SATISFACTION. IN THE EVENT THAT INFORMATION IS IN CONFLICT WITH INFORMATION OBTAINED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER PRIOR TO STARTING ANY WORK.
6. CONTRACTOR TO VERIFY LOCATION AND ELEVATION OF EXISTING ELECTRIC / PHONE / UTILITIES AND CONDUITS BEFORE STARTING ANY WORK ON THESE PLANS. CONTRACTOR IS FULLY RESPONSIBLE FOR THE COST OF ANY AND ALL DAMAGES WHICH OCCUR AS A RESULT OF A FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES TO REMAIN.
7. ALL UTILITY LINES, STRUCTURES, ETC. SHALL BE REMOVED IN THEIR ENTIRETY UNLESS OTHERWISE INDICATED. UTILITY AND UNDERGROUND STRUCTURE REMOVAL AND/OR ABANDONMENT SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST CITY OF FAIRFAX CONSTRUCTION STANDARDS AND SPECIFICATIONS. ALL EXCAVATION TO BE BACKFILLED IN ACCORDANCE WITH THE CITY SPECIFICATIONS. IN THE EVENT THAT A PORTION OF A UTILITY IS TO BE REMOVED THE CONTRACTOR WILL TERMINATE & CAP TO THE LIMITS INDICATED IN ACCORDANCE WITH ALL STATE & LOCAL REQUIREMENTS.
8. THE CONTRACTOR SHALL REVIEW ALL CONSTRUCTION PLANS AND SUBMIT A DEMOLITION/CONSTRUCTION STAGING PLAN TO THE OWNER FOR APPROVAL, AND THE OWNER SHALL BE ADVISED AS TO WHAT CAN BE SALVAGED AND REUSED PRIOR TO BEGINNING ANY CONSTRUCTION.
9. CONDUCT DEMOLITION SERVICES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS OR OTHER OCCUPIED FACILITIES WITHOUT PRIOR WRITTEN PERMISSION OF OWNER AND ANY APPLICABLE GOVERNMENTAL AUTHORITIES. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS, IF REQUIRED BY APPLICABLE GOVERNMENTAL REGULATIONS.
10. USE WATERING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS, AS NECESSARY TO LIMIT THE AMOUNT OF DUST AND DIRT RISING AND SCATTERING IN THE AIR. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. RETURN ALL ADJACENT AREAS TO THE CONDITIONS EXISTING PRIOR TO THE START OF WORK.
11. ANY CURB & GUTTER, PAVEMENT, UTILITIES OR CONCRETE PADS WHICH ARE TO REMAIN AND WHICH ARE DAMAGED DURING CONSTRUCTION, SHALL BE REMOVED AND REPLACED IN-KIND TO THE SATISFACTION OF THE OWNER.
12. CONTRACTOR SHALL VERIFY LIMITS OF PAVEMENT REPAIRS, OVERLAY, MILLING, ETC. WHICH WILL BE REQUIRED DUE TO REGRADEING, RESTORING AND POOR PAVEMENT QUALITY WHICH REQUIRE REPLACEMENT.
13. EXISTING CURB AND GUTTER & CONCRETE SIDEWALK SHALL BE REMOVED TO THE NEAREST JOINT.
14. BURNING OF COMBUSTIBLE MATERIALS FROM DEMOLISHED STRUCTURES WILL NOT BE PERMITTED ON-SITE.
15. CONTRACTOR SHALL ADJUST ALL FRAMES, GRATES AND COVERS OF ALL EXISTING UTILITIES WITHIN THE LIMITS OF THE CONTRACT TO THE PROPOSED GRADES AS REQUIRED.
16. ALL WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
17. IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THIS PROJECT WILL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO COMPLETE SUCH WORK.
18. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER OF DEVIATION FROM THIS PLAN PRIOR TO ANY CHANGE BEING MADE. ANY DEVIATION FROM THIS PLAN WITHOUT WRITTEN AUTHORIZATION FROM THE ENGINEER WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
19. THE DEMOLITION INFORMATION SHOWN ON THIS DRAWING IS FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LIMITS OF DEMOLITION AND REMOVAL OF AFFECTED SITE ITEMS.
20. ACCOMPLISH AND PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
21. THE CONTRACTOR SHALL DETERMINE THE NEED FOR INSTALLATION OF SAFETY AND/OR SECURITY FENCE. THE CONTRACTOR SHALL PROVIDE A SKETCH TO THE PROPERTY OWNER FOR THEIR CONCURRENCE PRIOR TO CONSTRUCTION.
22. CONSTRUCTION SHALL NOT BLOCK ACCESS TO OTHER SITES OR PARKING. THIS ALSO INCLUDES PROVIDING FIRE DEPARTMENT ACCESS. USE TEMPORARY CONSTRUCTION BARRELS AT THE LIMIT OF WORK TO MINIMIZE CONFLICTS IF NECESSARY.
23. COORDINATE INSTALLATION OF BARRELS WITH SIDE USE. ALL CHANNELIZING BARRELS/DRUMS SHALL BE PER MSHA STANDARDS AND SPECIFICATIONS, INCLUDING REFLECTIVE TAPE.
24. THE CONTRACTOR SHALL CONSIDER LIMIT THE TIMING FOR THE REMOVAL OF THE EXISTING ASPHALT SO AS TO LIMIT EXPOSURE OF THE SUBGRADE TO WEATHER ELEMENTS, AND IN ORDER TO REDUCE THE BRANNING OF WATER.
25. COMPLETELY FILL BELOW GRADE AREAS AND Voids RESULTING FROM THE DEMOLITION OF STRUCTURES AND FOUNDATIONS WITH SOIL MATERIALS IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, CONSISTING OF STONE, GRAVEL AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. STONES USED WILL NOT BE LARGER THAN 6 INCHES IN DIMENSION. MATERIAL FROM DEMOLITION MAY NOT BE USED AS FILL, PRIOR TO PLACEMENT OF FILL MATERIALS, UNDERTAKE ALL NECESSARY ACTION IN ORDER TO ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROST, FROZEN MATERIAL, TRASH, DEBRIS, PLACE FILL MATERIALS IN HORIZONTAL LAYERS, NOT EXCEEDING 6 INCHES IN LOOSE DEPTH AND COMPACT EACH LAYER AT PLACEMENT TO 95% OPTIMUM DENSITY. GRADE THE SURFACE TO MEET ADJACENT CONTOURS AND TO PROVIDE SURFACE DRAINAGE.
26. REMOVE FROM THE DESIGNATED SITE, AT THE EARLIEST POSSIBLE TIME, ALL DEBRIS, RUBBISH, SALVAGEABLE ITEMS, HAZARDOUS AND COMBUSTIBLE MATERIALS. REMOVED MATERIALS MAY NOT BE STORED, SOLD OR BURIED ON THE SITE. REMOVAL OF HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AS AUTHORIZED BY THE FIRE DEPARTMENT OR OTHER APPROPRIATE REGULATORY AGENCIES AND AUTHORITIES.
27. MARK FOR POSITION ALL UTILITY BRANNING AND SANITARY LINES AND PROTECT ALL ACTIVE LINES. CLEARLY IDENTIFY BEFORE THE COMMENCEMENT OF DEMOLITION SERVICES THE REQUIRED INTERRUPTION OF AGING SYSTEMS THAT MAY AFFECT OTHER PARTIES, AND NOTIFY ALL APPLICABLE UTILITY COMPANIES TO ENSURE THE CONTINUATION OF SERVICE.
28. THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL PROCEDURES ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS NECESSARY.

DEMOLITION PLAN LEGEND



ABBREVIATIONS LEGEND

TBR	TO BE REMOVED
TBRL	TO BE RELOCATED
TR	TO REMAIN
TBA	TO BE ABANDONED



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2	07/22/24	CONCEPT SECOND SUBMITTAL

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DRAWN BY: SRM	CHECKED BY: CM
DESIGNED BY: JU	PERMITTED BY: CM

PROJECT: **SOUTHMAP**
 PROPOSED TACO BELL FAST FOOD RESTAURANT W/ DRIVE-THRU
 BOULEVARD MARKETPLACE, PARCEL D
 10120 FAIRFAX BOULEVARD
 CITY OF FAIRFAX, FAIRFAX COUNTY, VIRGINIA

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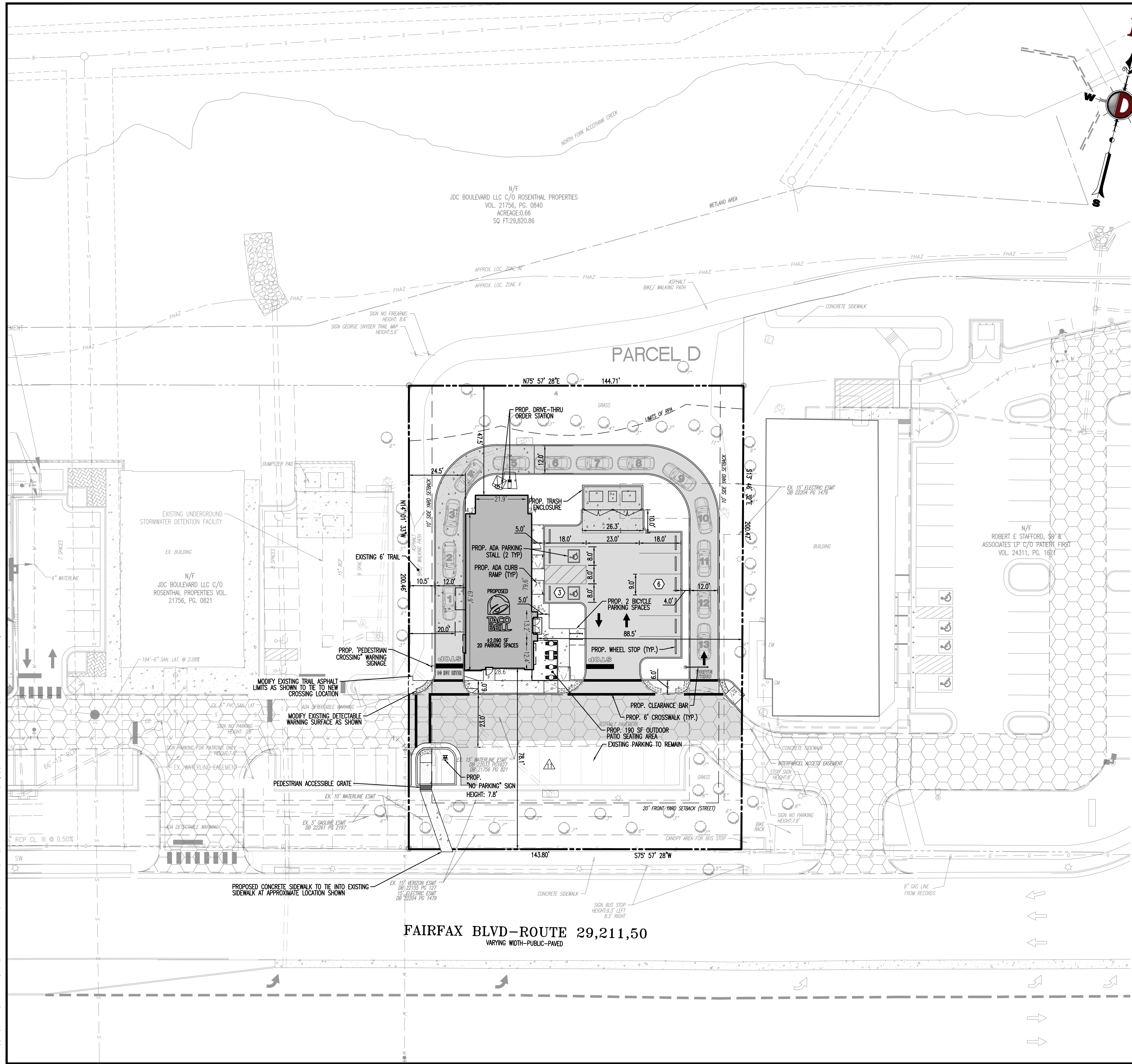
CONNOR P. ROMANUS
 PROFESSIONAL ENGINEER

TITLE: **EXISTING**
CONDITIONS &
DEMOLITION PLAN

SCALE: (H) AS NOTED DATE: 01/18/2024
 PROJECT No: 3486-22-01538
 SHEET No: 2 Rev. #:

OF 16 1

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IMPERVIOUS CALCULATIONS TABULATIONS

PROPERTY AREA	0.66 AC (PARCEL D)
IMPERVIOUS AREA (PARCEL D)	0.36 AC (PARCEL D)
IMPERVIOUS AREA (EX. TEMPORARY PAD)	0.29 AC (PARCEL D)
IMPERVIOUS AREA (PRIOR APPROVED CONFORMANCE - SP 17-00002)	0.43 AC
LOD	0.43 AC
BUILDING AREA	2,090 SF (PARCEL D)

ZONING TABULATIONS

TAX MAP NUMBER	47-4-23-000-0, 47-4-23-000-A (NO MODIFICATIONS ARE PROPOSED TO PARCEL A AND ALL EXISTING IMPROVEMENTS ARE TO REMAIN)
PROPERTY AREA	0.66 AC (PARCEL D)
EXISTING ZONING	CR (COMMERCIAL RETAIL)
EXISTING USE	VACANT (PARCEL D)
PROPOSED USE	FAST FOOD RESTAURANT WITH DRIVE THROUGH (PARCEL D)
COMP PLAN LAND USE	CC (COMMERCIAL CORRIDOR)
BUILDING AREA	2,090 SF (PARCEL D)

ZONING COMPLIANCE (PARCEL D)

	ALLOWED/REQUIRED	PROVIDED
LOT AREA, MINIMUM	20,000 SF	28,921 SF
YARD REQUIREMENTS		
FRONT SETBACK, STREET (FAIRFAX BLVD)	93' MAXIMUM, 20' MINIMUM	73.0'
SIDE SETBACK (EAST)	10'	88.6'
SIDE SETBACK (WEST)	10'	24.5'
REAR SETBACK (NORTH)	0'	47.4'
BULK PLANE REQUIREMENTS	N/S	N/S
LOT WIDTH MINIMUM	N/S	N/S
BUILDING HEIGHT	5 STORES, 60 FT	1 STORY, 25 FT
BUILDING COVERAGE, MAXIMUM	60%	7.80%
LOT COVERAGE, MAXIMUM	85%	39.31%
FLOOR AREA, MAXIMUM	N/S	N/S
PARKING AND LOADING REQUIREMENTS (1 SPACE / 200 SF OF FLOOR AREA)	11	20
LOADING	NONE FOR BUILDINGS UNDER 10,000 SF	NONE
STACKING REQUIREMENT	10	13

STORMWATER MANAGEMENT NARRATIVE

THE EXISTING PARCEL IS THE EASTERN PORTION OF A LARGER OVERALL COMMERCIAL DEVELOPMENT, "BOULEVARD MARKETPLACE," IN THE CURRENT CONDITION, A VACANT GRASS COVERED BUILDING PAD IS SURROUNDED BY EXISTING PAVING, PARKING AREAS AS WELL AS LANDSCAPING ON ALL SIDES OF THE DEVELOPMENT. THERE IS AN EXISTING RESOURCE PROTECTION AREA (RPA) BOUNDARY TO THE IMMEDIATE NORTH OF THE SITE THAT IS NOT CURRENTLY BEING IMPACTED, OR PROPOSED TO BE IMPACTED BY DEVELOPMENT.

AS A PART OF THE PREVIOUS SHOPPING CENTER CONSTRUCTION, AN EXISTING UNDERGROUND STORM FILTER AND DETENTION FACILITY WAS INSTALLED (2011 SITE PLAN AMENDMENT NO. 1190131) AND CURRENTLY TREATS THE PARCEL OF INTEREST, IN ADDITION TO THE NEIGHBORING PARCELS TO THE WEST, THE UNDERGROUND FILTER DEVICES IN PLACE MEET / EXCEED ALL UPDATED 2024 VIRGINIA DEPARTMENT OF ENVIRONMENTAL QUALITY STANDARDS, SPECIFICALLY THE VIRGINIA RUNOFF REDUCTION METHOD (VRM VERSION 4.1).

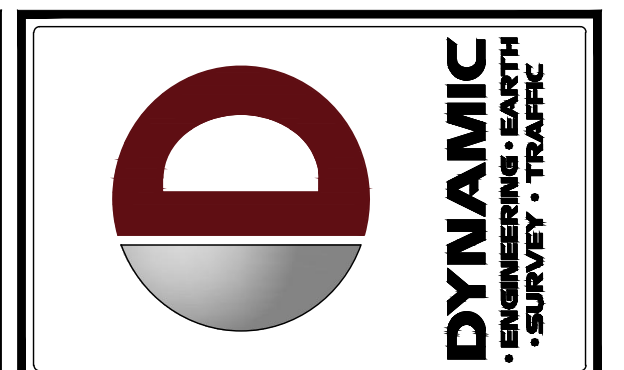
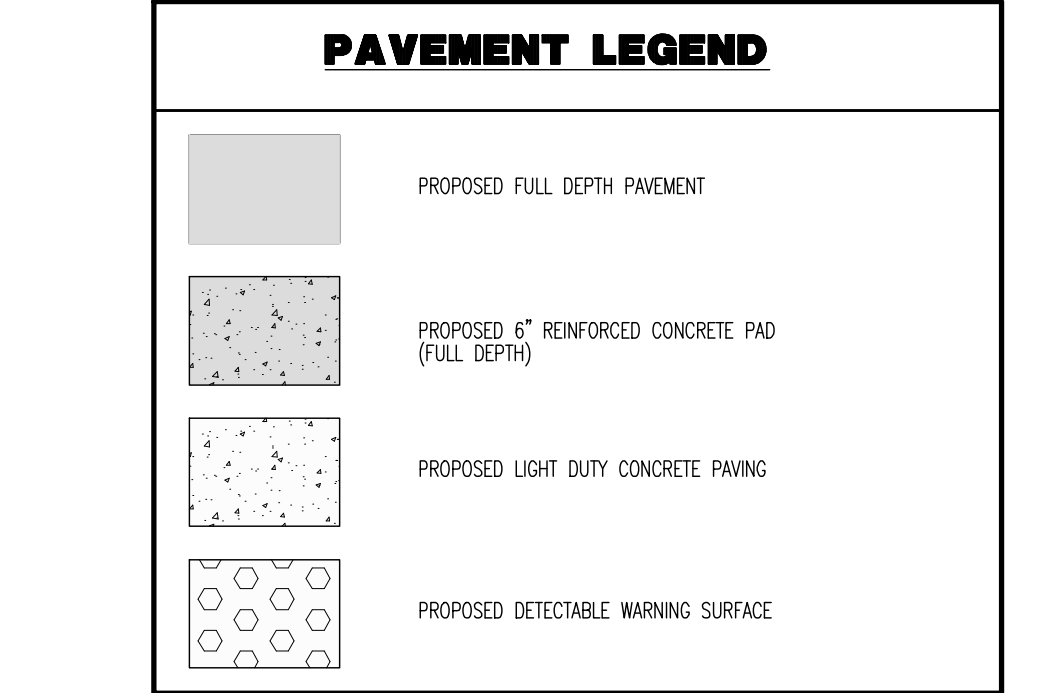
CONFIRMED THROUGH SURVEY AND PER THE PREVIOUS SITE PLAN SP-1704063, BMP REQUIREMENTS ARE MET THROUGH THE INSTALLED CONTECH STORMFILTER STRUCTURE, AS WELL AS PROVIDING THE NECESSARY STORM DETENTION TO RESTORE RUNOFF VALUES TO PRE-DEVELOPMENT RATES. THE EXISTING SITE DRAINAGE OUTFALLS THROUGH STORM DRAIN TO ACCOTINK CREEK. MOST OF ALL SITE DRAINAGE IS CONTAINED TO ON-SITE STORM DRAIN WITH LITTLE SHEET FLOW OFF SITE. NO MODIFICATIONS TO THIS EXISTING STRUCTURE ARE PROPOSED, AND THE PROPOSED SITE CONSTRUCTION/GRADING FOR THE NEW DRIVE THROUGH RESTAURANT WILL UTILIZE THE EXISTING STORMWATER INFRASTRUCTURE WITH LITTLE MODIFICATION TO THE EXISTING GRADING AND DRAINAGE PATTERNS.

PER THE PREVIOUS DESIGN, THE CONTECH DEVICE ON SITE WAS INSTALLED IN ORDER TO TREAT IN EXCESS OF APPROXIMATELY 13,633 SQUARE FEET OF IMPERVIOUS AREA. THE NEW DESIGN, WITH A SMALLER PROPOSED BUILDING FOOTPRINT AND ADDITIONAL GREENSPACE, CREATES 11,370 SQUARE FEET OF IMPERVIOUS AREA WITH A REDUCTION OF CLOSE TO 2,000 SF OF TOTAL IMPERVIOUS AREA. THE EXISTING CONTECH DEVICE ON SITE WILL STILL MEET AND EXCEED BMP AND STORMWATER STORAGE REQUIREMENTS PER THE PREVIOUS APPROVAL CRITERIA. IN ADDITION, THE SITE LIMITS DISTURBANCE TO THE ESTABLISHED VEGETATION OUTSIDE THE EXISTING CURB LINE AND CREATES NO ADDITIONAL GRADING OR MODIFICATION TO AREAS INFINGING ON THE EXISTING RPA.

WATER AND SEWER NARRATIVE

THE SITE PRESENTLY HAS AN EXISTING WATER SERVICE CONNECTION AND OUTSIDE WATER METER SERVED VIA THE EXISTING 6" WATER LATERAL ON THE NEIGHBORING PROPERTY TO THE WEST. THE SITE SIMILARLY HAS AN EXISTING SANITARY SERVICE CONNECTION ALSO SERVED VIA AN EXISTING 6" SANITARY LATERAL ON THE NEIGHBORING PROPERTY TO THE WEST. PROPOSED WATER AND SEWER SERVICE CONNECTIONS TO THE NEW RESTAURANT BUILDING WILL BE PROVIDED AS PART OF THIS DEVELOPMENT, UTILIZING THE EXISTING CONNECTION POINTS.

FINAL DESIGN COORDINATION WILL BE DONE WITH THE APPROPRIATE WATER AND SEWER AGENCIES AS PART OF THE SITE PLAN PROCESS.



NO.	DATE	REVISIONS
1	07/22/24	CDP SET SECOND SUBMITTAL
0	07/18/24	CDP SET FIRST SUBMISSION
		COMMENTS

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PROJECT: **SOUTHPIK**
 PROPOSED TACO BELL FAST FOOD RESTAURANT W/ DRIVE-THRU
 BOULEVARD MARKETPLACE, PARCEL D
 10120 FAIRFAX BOULEVARD
 CITY OF FAIRFAX, FAIRFAX COUNTY, VIRGINIA

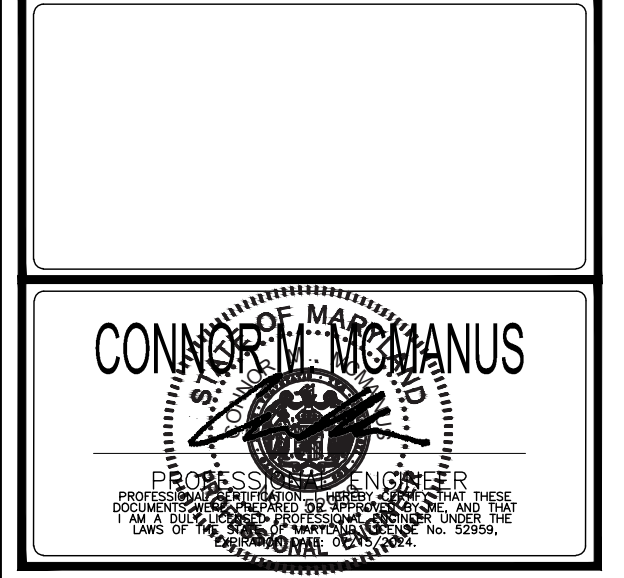
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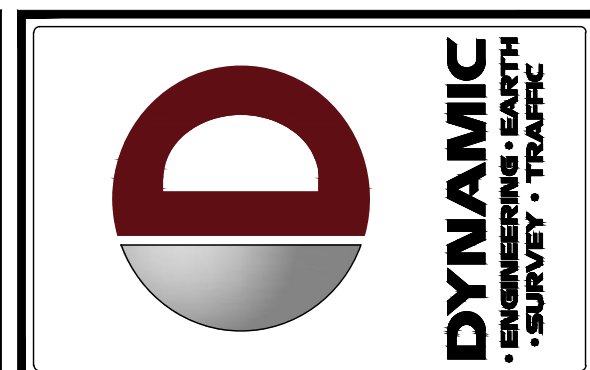


TITLE: **GENERAL DEVELOPMENT PLAN & SPECIAL USE PERMIT PLAN**

SCALE: (H) AS NOTED (V) --- DATE: 01/18/2024

PROJECT No: 3486-22-01538

SHEET No: **3** OF 16



REV.	DATE	COMMENTS
1	07/22/24	CDP SET SECOND SUBMITTAL
0	01/18/24	CDP SET FIRST SUBMISSION

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PROJECT: **SOUTHPAW**
PROPOSED TACO BELL FAST FOOD RESTAURANT W/ DRIVE-THRU
 BOULEVARD MARKETPLACE, PARCEL D
 10120 FAIRFAX BOULEVARD
 CITY OF FAIRFAX, FAIRFAX COUNTY, VIRGINIA

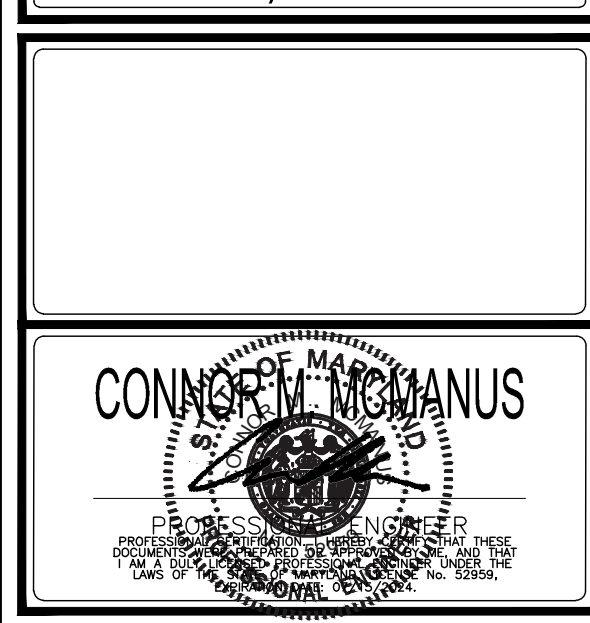
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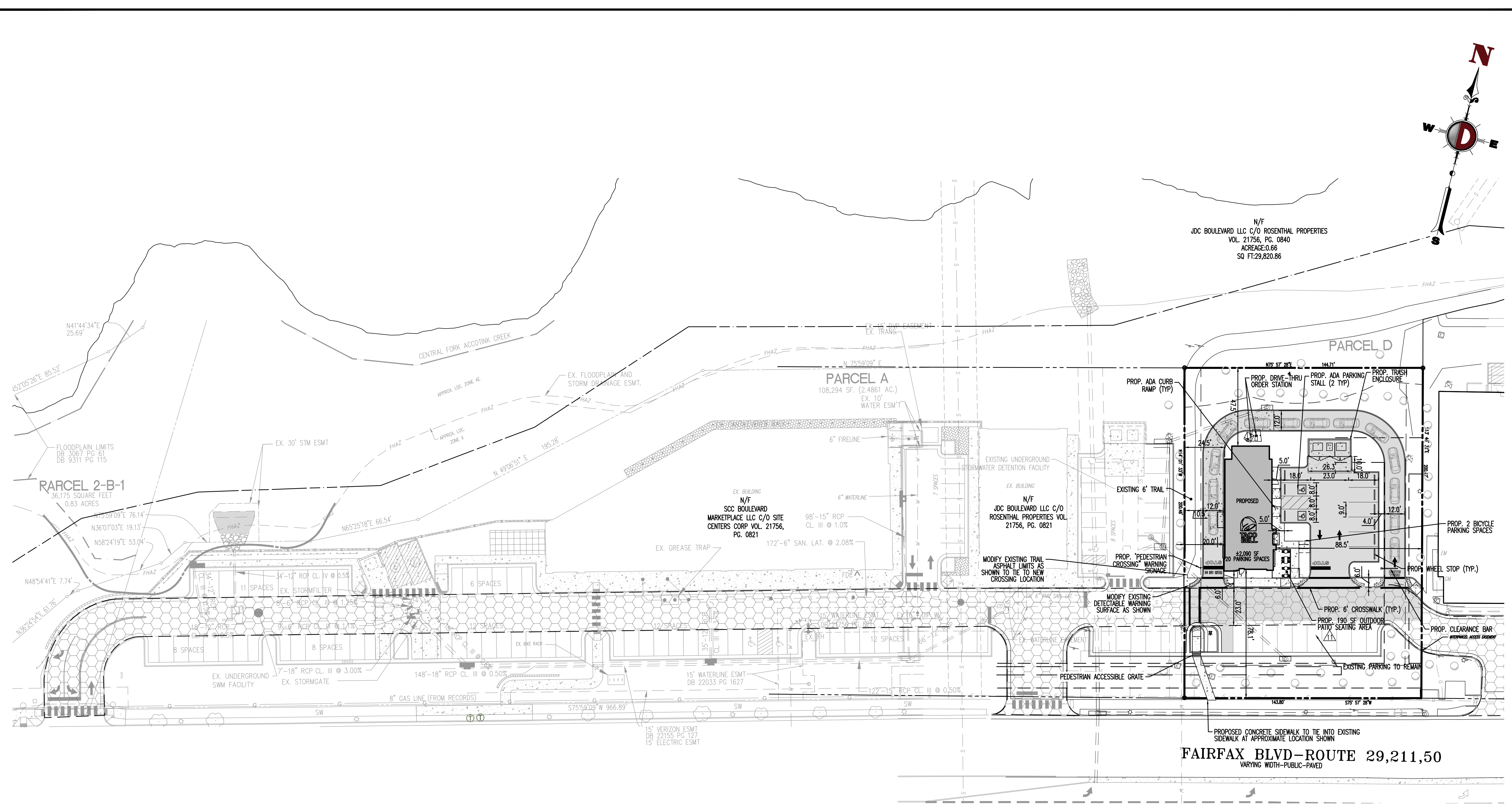
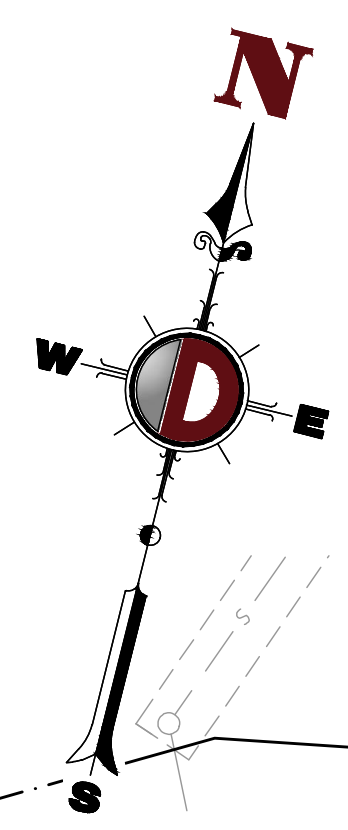


TITLE: **OVERALL GENERAL DEVELOPMENT PLAN & SPECIAL USE PERMIT PLAT**

SCALE: (H) AS NOTED (V) --- DATE: 01/18/2024

PROJECT NO: 3486-22-01538

SHEET NO: **4** OF 16



PARCEL 2-B-1
 36,175 SQUARE FEET
 0.83 ACRES

FLOODPLAIN LIMITS
 DB 3067 PG 61
 DB 9311 PG 115

N41°44'34"E
 25.69'

N75°09'09"E 76.14'
 N36°07'03"E 19.13'
 N58°24'19"E 53.04'

N48°54'41"E 7.74'

N72°42'41"E 61.76'

N49°05'51"E 195.28'

N65°25'18"E 66.54'

N75°59'09"E

N72°57'28"E 144.71'

N72°57'28"E 144.71'

N72°57'28"E 144.71'

ZONING TABULATIONS

TAX MAP NUMBER	47-4-23-000-D, 47-4-23-000-A (NO MODIFICATIONS ARE PROPOSED TO PARCEL A AND ALL EXISTING IMPROVEMENTS ARE TO REMAIN)
PROPERTY AREA	0.66 AC (PARCEL D)
EXISTING ZONING	CR (COMMERCIAL RETAIL)
EXISTING USE	VACANT (PARCEL D)
PROPOSED USE	FAST FOOD RESTAURANT WITH DRIVE THROUGH (PARCEL D)
COMP PLAN LAND USE	CC (COMMERCIAL CORRIDOR)
BUILDING AREA	2,090 SF (PARCEL D)

ZONING COMPLIANCE (PARCEL A & D)

	ALLOWED/REQUIRED	PROVIDED	
		PARCEL D	PARCEL A & D
LOT AREA, MINIMUM	20,000 SF	28,921 SF	137,211
YARD REQUIREMENTS			
FRONT SETBACK, STREET (FAIRFAX BLVD)	93' MAXIMUM, 20' MINIMUM	78.1'	78.3'
SIDE SETBACK (EAST)	10'	88.5'	9'
SIDE SETBACK (WEST)	10'	24.5'	9'
REAR SETBACK (NORTH)	0'	47.5'	26'
BULK PLANE REQUIREMENTS	N/S	N/S	N/S
LOT WIDTH MINIMUM	N/S	N/S	N/S
BUILDING HEIGHT	5 STORIES, 60 FT	1 STORY, 25 FT	25 FT
BUILDING COVERAGE, MAXIMUM	60%	7.23%	7.80%
LOT COVERAGE, MAXIMUM	85%	39.51%	39.51%
FLOOR AREA MAXIMUM	N/S	N/S	N/S
PARKING AND LOADING REQUIREMENTS			
PARKING (1 SPACE / 200 SF OF FLOOR AREA)	11	20	120
INTERIOR PARKING LOT LANDSCAPING	1 ISLAND/10 SPACES	1 ISLAND/10 SPACES	1 ISLAND/12 SPACES
LOADING	NONE FOR BUILDINGS UNDER 10,000 SF	NONE	NONE
STACKING REQUIREMENT	10	13	10

STORMWATER MANAGEMENT NARRATIVE

THE EXISTING PARCEL IS THE EASTERN PORTION OF A LARGER OVERALL COMMERCIAL DEVELOPMENT "BOULEVARD MARKETPLACE" IN THE CURRENT CONDITION, A VACANT GRASS COVERED BUILDING PAD IS SURROUNDED BY EXISTING PAVING, PARKING AREAS AS WELL AS LANDSCAPING ON ALL SIDES OF THE DEVELOPMENT. THERE IS AN EXISTING RESOURCE PROTECTION AREA (RPA) BOUNDARY TO THE IMMEDIATE NORTH OF THE SITE THAT IS NOT CURRENTLY BEING IMPACTED, OR PROPOSED TO BE IMPACTED BY DEVELOPMENT.

AS A PART OF THE PREVIOUS SHOPPING CENTER CONSTRUCTION, AN EXISTING UNDERGROUND STORM FILTER AND DETENTION FACILITY WAS INSTALLED (2011 SITE PLAN AMENDMENT NO. 1190131) AND CURRENTLY TREATS THE PARCEL OF INTEREST, IN ADDITION TO THE NEIGHBORING PARCEL TO THE WEST, THE UNDERGROUND FILTER DEVICES IN PLACE MEET / EXCEED ALL UPDATED 2024 VIRGINIA DEPARTMENT OF ENVIRONMENTAL QUALITY STANDARDS, SPECIFICALLY THE VIRGINIA RUNOFF REDUCTION METHOD (VRRM VERSION 4-1).

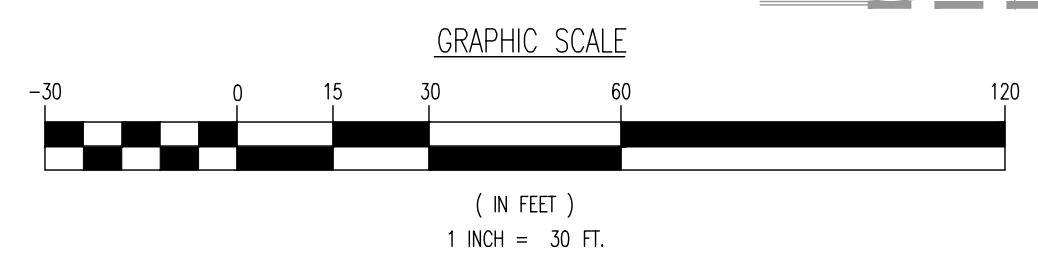
CONFIRMED THROUGH SURVEY AND PER THE PREVIOUS SITE PLAN SP-17040063, BMP REQUIREMENTS ARE MET THROUGH THE INSTALLED CONTEXT STORMFILTER STRUCTURE, AS WELL AS PROVIDING THE NECESSARY STORM DETENTION TO RESTORE RUNOFF VALUES TO PRE-DEVELOPMENT RATES. THE EXISTING SITE DRAINAGE OUTFALLS THROUGH STORM DRAIN TO ACCOTINK CREEK; MOST OF ALL SITE DRAINAGE IS CONTAINED TO ON-SITE STORM DRAIN WITH LITTLE SHEET FLOW OFF SITE. NO MODIFICATIONS TO THIS EXISTING STRUCTURE ARE PROPOSED, AND THE PROPOSED SITE CONSTRUCTION/GRADING FOR THE NEW DRIVE THROUGH RESTAURANT WILL UTILIZE THE EXISTING STORMWATER INFRASTRUCTURE WITH LITTLE MODIFICATION TO THE EXISTING GRADING AND DRAINAGE PATTERNS.

PER THE PREVIOUS DESIGN, THE CONTECH DEVICE ON SITE WAS INSTALLED IN ORDER TO TREAT IN EXCESS OF APPROXIMATELY 13,833 SQUARE FEET OF IMPERVIOUS AREA. THE NEW DESIGN, WITH A SMALLER PROPOSED BUILDING FOOTPRINT AND ADDITIONAL GREENSPACE, CREATES 11,370 SQUARE FEET OF IMPERVIOUS AREA, WITH A REDUCTION OF CLOSE TO 3,900 SF OF TOTAL IMPERVIOUS AREA BASED ON THE MOST RECENT APPROVED DESIGN. THE EXISTING CONTECH DEVICE ON SITE WILL STILL MEET AND EXCEED BMP AND STORMWATER STORAGE REQUIREMENTS PER THE PREVIOUS APPROVAL CRITERIA. IN ADDITION, THE SITE LIMITS DISTURBANCE TO THE ESTABLISHED VEGETATION OUTSIDE THE EXISTING CURB LINE AND CREATES NO ADDITIONAL GRADING OR MODIFICATION TO AREAS INFRRING ON THE EXISTING RPA.

WATER AND SEWER NARRATIVE

THE SITE PRESENTLY HAS AN EXISTING WATER SERVICE CONNECTION AND OUTSIDE WATER METER SERVICED VIA THE EXISTING 6" WATER LATERAL ON THE NEIGHBORING PROPERTY TO THE WEST. THE SITE SIMILARLY HAS AN EXISTING SANITARY SERVICE CONNECTION ALSO SERVICED VIA AN EXISTING 6" SANITARY LATERAL ON THE NEIGHBORING PROPERTY TO THE WEST. PROPOSED WATER AND SEWER SERVICE CONNECTIONS TO THE NEW RESTAURANT BUILDING WILL BE PROVIDED AS PART OF THIS DEVELOPMENT, UTILIZING THE EXISTING CONNECTION POINTS.

FINAL DESIGN COORDINATION WILL BE DONE WITH THE APPROPRIATE WATER AND SEWER AGENCIES AS PART OF THE SITE PLAN PROCESS.



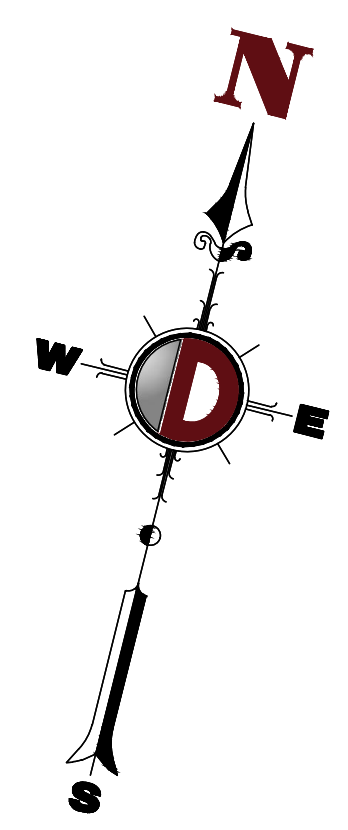
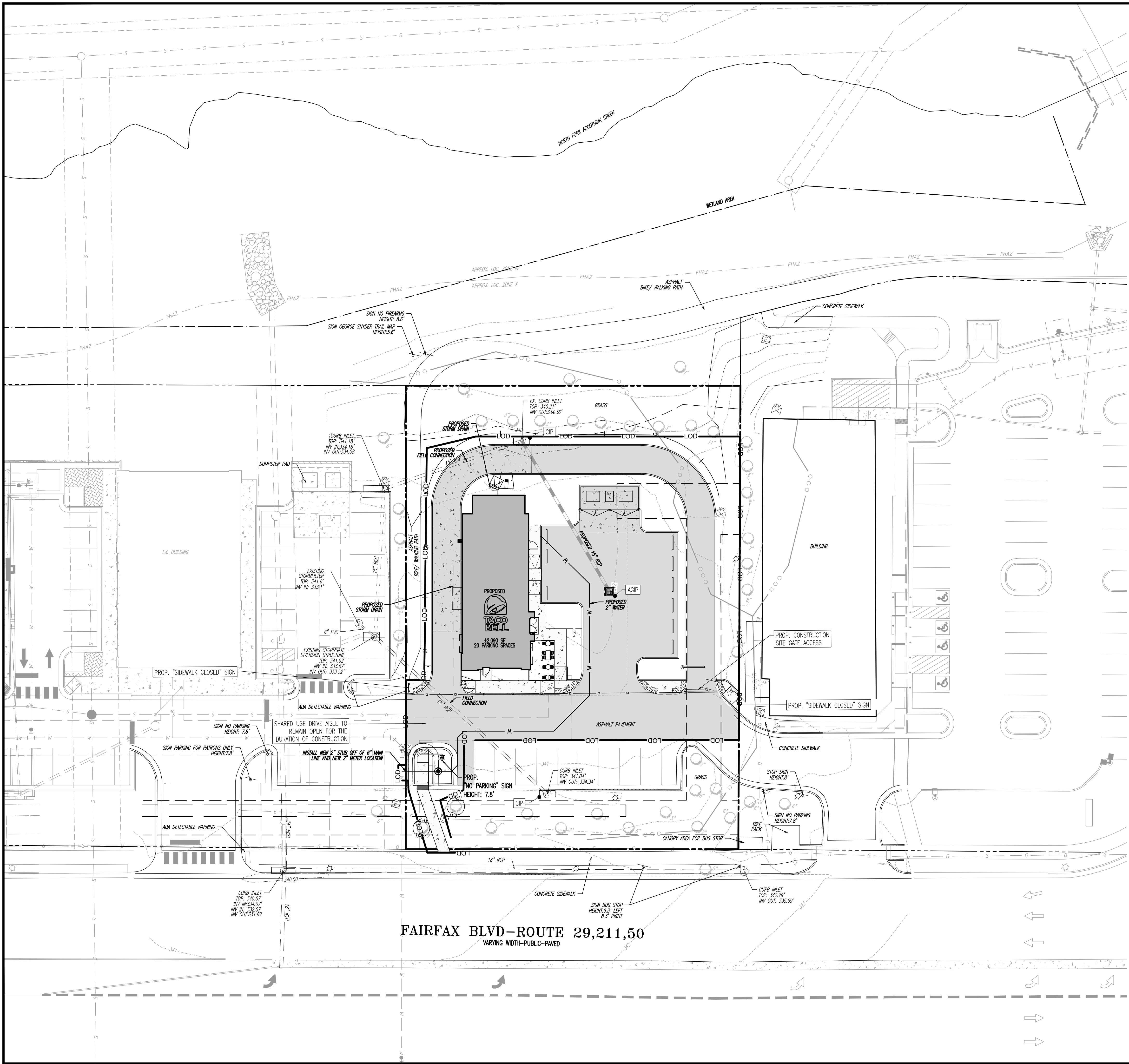
SEE SHEET 6 FOR SITE LEGEND

PAVEMENT LEGEND

	PROPOSED FULL DEPTH PAVEMENT
	PROPOSED 6" REINFORCED CONCRETE PAD (FULL DEPTH)
	PROPOSED LIGHT DUTY CONCRETE PAVING
	PROPOSED DETECTABLE WARNING SURFACE

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 File: \\despa-local\despa\data\VEPC\PROJECTS\486 ABD Capital\22-01538 Fairfax VA\Imp\Special Exception Plans\04482201538SSD.dwg, ----> OVERALL GENERAL DEVELOPMENT PLAN & SPECIAL USE PERMIT PLAT
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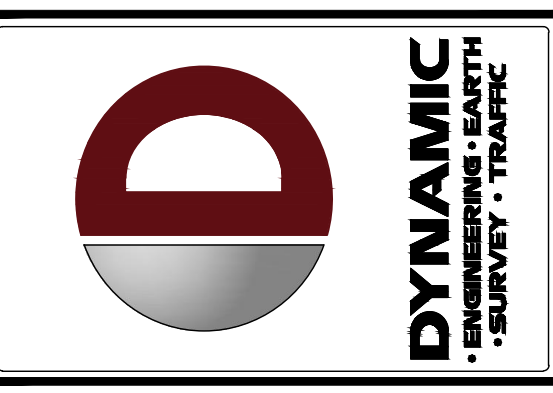
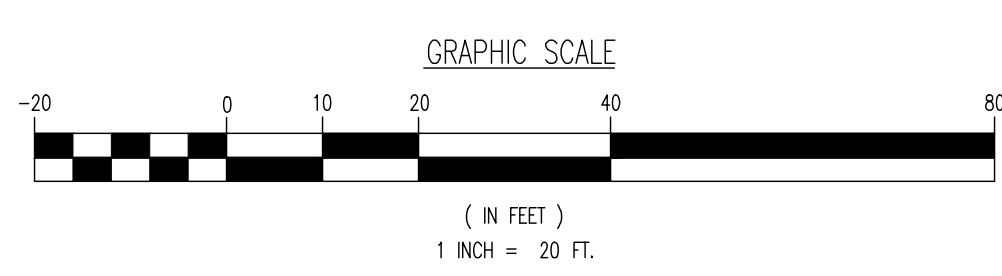


EROSION AND CONSTRUCTION MANAGEMENT LEGEND

---	PROPERTY LINES
---	LIMITS OF DISTURBANCE
-SF-	PROP. SILT FENCE
AGIP	AT-GRADE INLET PROTECTION
CIP	CURBSIDE INLET PROTECTION
-TPF-	PROP. TREE PROTECTION FENCE
-P-	PROP. CONSTRUCTION FENCE
---	PROP. CONSTRUCTION SITE GATE ACCESS
○	PROP. "SIDEWALK CLOSED" SIGN

LIMIT OF DISTURBANCE = 19,038 SF / 0.44 AC

SEE SHEET 6 FOR SITE LEGEND



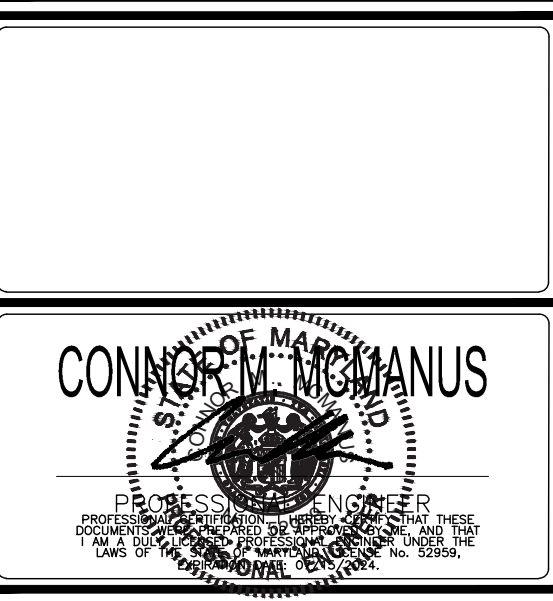
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PROJECT: SOUTHPAW PROPOSED TACO BELL FAST FOOD RESTAURANT W/ DRIVE-THRU
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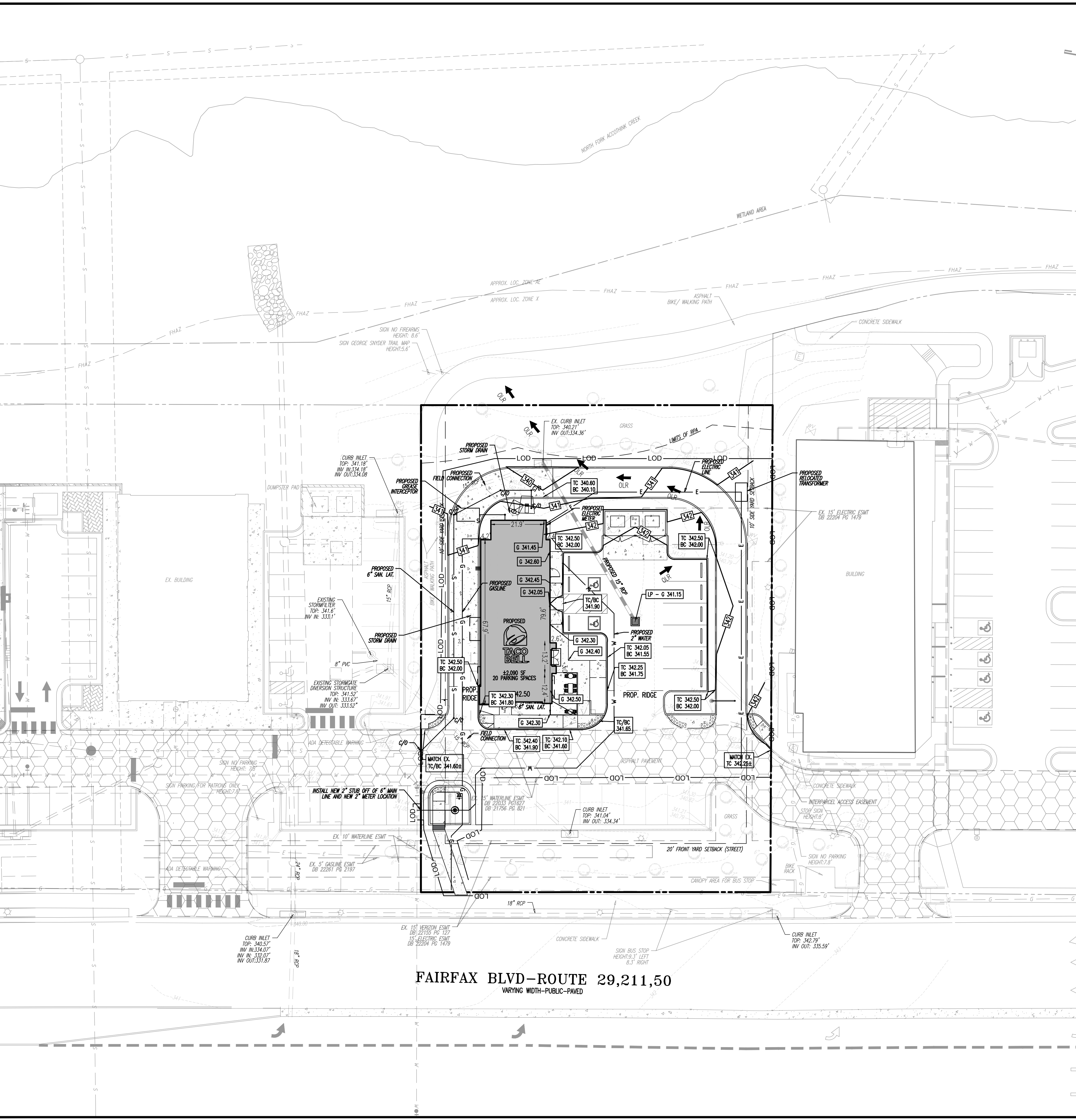


TITLE: EROSION AND SEDIMENT CONTROL & CONSTRUCTION MANAGEMENT

SCALE: (H) AS NOTED (V) --- DATE: 01/18/2024
 PROJECT No: 3486-22-01538

SHEET No: **5** OF 16
 Rev. #: 1

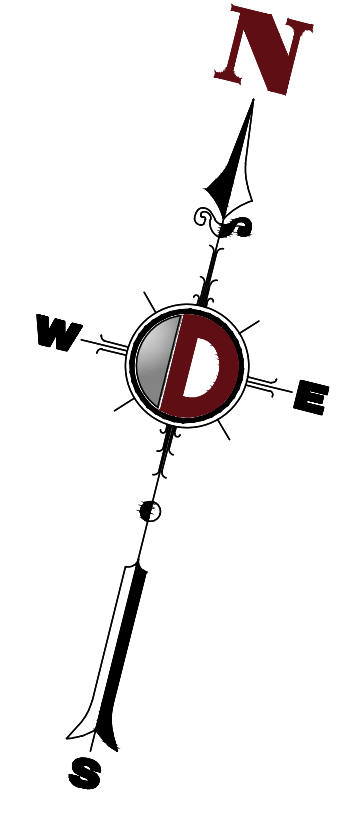
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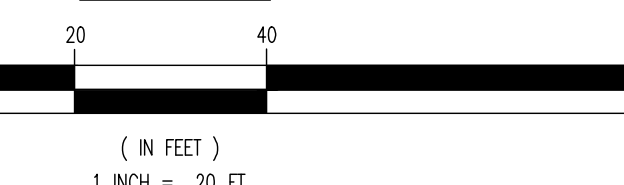
GRAPHIC LEGEND

[Symbol]	PROPERTY LINE (PARCEL IN QUESTION)
[Symbol]	OFF-SITE PROPERTY LINES
[Symbol]	EXISTING CURB
[Symbol]	EXISTING EDGE OF PAVEMENT
[Symbol]	PROPOSED CURB
[Symbol]	PROPOSED EDGE OF PAVEMENT
[Symbol]	PROPOSED FLUSH CURB SECTION
[Symbol]	PROPOSED SANITARY LINE
[Symbol]	EXIST. CABLE LINE
[Symbol]	PROP. CABLE LINE
[Symbol]	EXIST. ELECTRIC LINE
[Symbol]	PROP. ELECTRIC LINE
[Symbol]	EXIST. FIBER OPTIC LINE
[Symbol]	PROP. FIBER OPTIC LINE
[Symbol]	EXIST. GAS LINE
[Symbol]	PROP. GAS LINE
[Symbol]	EXIST. OVERHEAD WIRES
[Symbol]	PROP. OVERHEAD WIRES
[Symbol]	EXIST. TELEPHONE LINE
[Symbol]	PROP. TELEPHONE LINE
[Symbol]	EXIST. WATER LINE
[Symbol]	PROP. WATER LINE
[Symbol]	EXIST. SANITARY SEWER LINE
[Symbol]	PROP. SANITARY SEWER LINE
[Symbol]	EXIST. STORM DRAIN LINE
[Symbol]	PROP. STORM DRAIN LINE
[Symbol]	EXIST. MINOR CONTOUR & ELEVATION
[Symbol]	EXIST. MAJOR CONTOUR & ELEVATION
[Symbol]	PROP. FINISH GRADE CONTOUR & ELEVATION
[Symbol]	PROP. LIMIT OF DISTURBANCE
[Symbol]	PROP. DIRECTION OF DRAINAGE FLOW ARROW
[Symbol]	EXIST. SPOT ELEVATIONS
[Symbol]	EXIST. GUTTER ELEV.
[Symbol]	EXIST. TOP OF CURB ELEV.
[Symbol]	EXIST. FINISH FLOOR ELEV.
[Symbol]	EXIST. GARAGE FLOOR ELEV.
[Symbol]	PROP. GRADE SPOT ELEV.
[Symbol]	PROP. TOP OF CURB & FINISHED GRADE ELEV.
[Symbol]	PROP. FINISHED FLOOR ELEV.
[Symbol]	PROP. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
[Symbol]	PROP. TOP OF EXTENDED CURB, (OH) FINISHED GRADE @ HIGH SIDE OF EXTENDED CURB & (CL) FINISHED GRADE @ LOW SIDE OF EXTENDED CURB

- ### UTILITY NOTES
- LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY UTILITY "ONE-CALL" NUMBER 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER & SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.
 - REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS, WHERE CONFLICTS EXIST WITH THESE SITE PLANS, ENGINEER IS TO BE NOTIFIED PRIOR TO CONSTRUCTION TO RESOLVE SAME. SERVICE SIZES TO BE DETERMINED BY ARCHITECT.
 - WATER SERVICE MATERIALS SHALL BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTORS PRICE FOR WATER SERVICE SHALL INCLUDE ALL FEES AND APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE A COMPLETE WORKING SERVICE.
 - SEWER MAINS SHALL BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. WHERE THIS IS NOT POSSIBLE, THE PIPES SHALL BE IN SEPARATE TRENCHES WITH THE SEWER MAIN AT LEAST 18 INCHES BELOW THE WATER MAIN. ALL SEWER MAINS SHALL BE SDR-35 PVC PIPE UNLESS OTHERWISE DESIGNATED.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE STABILIZATION OF THE EXISTING SEWER MAIN, STRUCTURES AND APPURTENANCES DURING CONNECTION.
 - LOCATION & LAYOUT OF GAS, ELECTRIC & TELECOMMUNICATION UTILITY LINES AND SERVICES ARE TO BE PER THE APPROPRIATE UTILITY PROVIDER.
 - ROOF LEADER COLLECTION PIPING ARE CONCEPTUAL IN NATURE AND ARE NOT FOR CONSTRUCTION. ACTUAL ROOF LEADER COLLECTION PIPING IS TO BE COORDINATED BY ARCHITECTURAL PLANS FOR EACH INDIVIDUAL BUILDING. ALL ROOF LEADER COLLECTION PIPING SHALL BE SCHEDULE 40 PVC UNLESS OTHERWISE DESIGNATED.
 - ALL SEWER AND WATER FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATORY AUTHORITY'S RULES AND REGULATIONS.
 - ALL PROPOSED UTILITIES TO BE INSTALLED UNDERGROUND UNLESS OTHERWISE NOTED.
 - MANUFACTURED REINFORCED CONCRETE STORM PIPE TO CONFORM TO ASTM C-76, CLASS III, UNLESS OTHERWISE DESIGNATED. REINFORCED CONCRETE STORMWATER PIPE TO BE INSTALLED IN ACCORDANCE WITH AMERICAN CONCRETE PIPE ASSOCIATION INSTALLATION GUIDELINES AND MOTOR OR PERFORMANCE FLEXIBLE JOINT SEALANTS IN ACCORDANCE WITH ASTM C-900 TO BE UTILIZED TO PROVIDE A SLIP-TIGHT JOINT. WHERE SPECIALLY INDICATED, REINFORCED CONCRETE STORM PIPE JOINTS SHALL BE WATER-TIGHT AND CONFORM TO ASTM C-443.
 - HOPE DRAINAGE PIPE SHALL HAVE A SMOOTH WALL INTERIOR WITH ANNULAR EXTERIOR CORRUGATIONS AND CONFORM TO ASTM F2306. SOLID PIPE SHALL HAVE GASKETED WATER-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM F2306 AND ASTM D3212. PERFORATED PIPE SHALL HAVE GASKETED SLIP-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM F2306 AND ASTM F4477. HOPE PIPE SHALL BE FROM A MANUFACTURER WHO IS AN AMERICAN STATES CONSORTIUM (ESC) QUALIFIED MANUFACTURER OF HOPE PIPE AND INSTALLED IN ACCORDANCE WITH HOPE MANUFACTURER RECOMMENDATIONS.
 - PIPE LENGTHS ON THIS PLAN HAVE BEEN MEASURED AS THE DISTANCE BETWEEN THE CENTER POINT OF THE 2 CONNECTED STRUCTURES. ACTUAL PHYSICAL PIPE LENGTH FOR INSTALLATION IS EXPECTED TO BE LESS AND SHOULD BE ACCOUNTED FOR BY THE CONTRACTOR ACCORDINGLY.
 - THE PROPOSED SANITARY SEWER LATERAL SHALL MEET THE REQUIREMENTS OF THE NATIONAL STANDARD PLUMBING CODE 2018.
 - THE PROPOSED WATER SERVICE LATERAL SHALL MEET THE REQUIREMENTS OF THE NATIONAL STANDARD PLUMBING CODE 2018.
 - A FIRE ALARM SYSTEM WITH AN ADDRESSABLE PANEL SHALL BE INSTALLED NEXT TO THE MAIN ENTRANCE.
 - LOCATION OF THE FIRE SPRINKLER SHALL BE COORDINATED WITH THE APPLICANT'S ARCHITECT.



GRAPHIC SCALE



(IN FEET)
1 INCH = 20 FT.

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DRAWN BY: SRM	CHECKED BY: CM	DATE: 01/18/2024
DESIGNED BY: JJ	DATE: 01/18/24	REV. DATE

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CONCEPT INCORPORATED

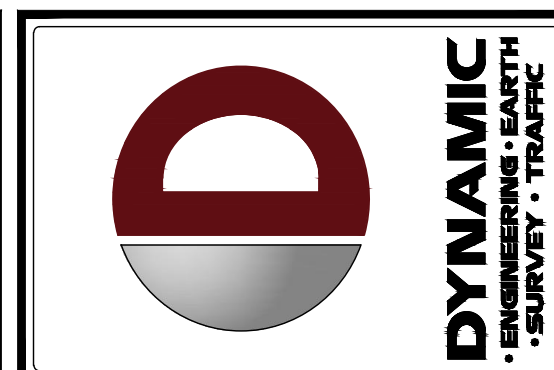
TITLE: **PRELIMINARY UTILITY AND GRADING PLAN**

SCALE: (H) AS NOTED DATE: 01/18/2024

PROJECT No: 3486-22-01538

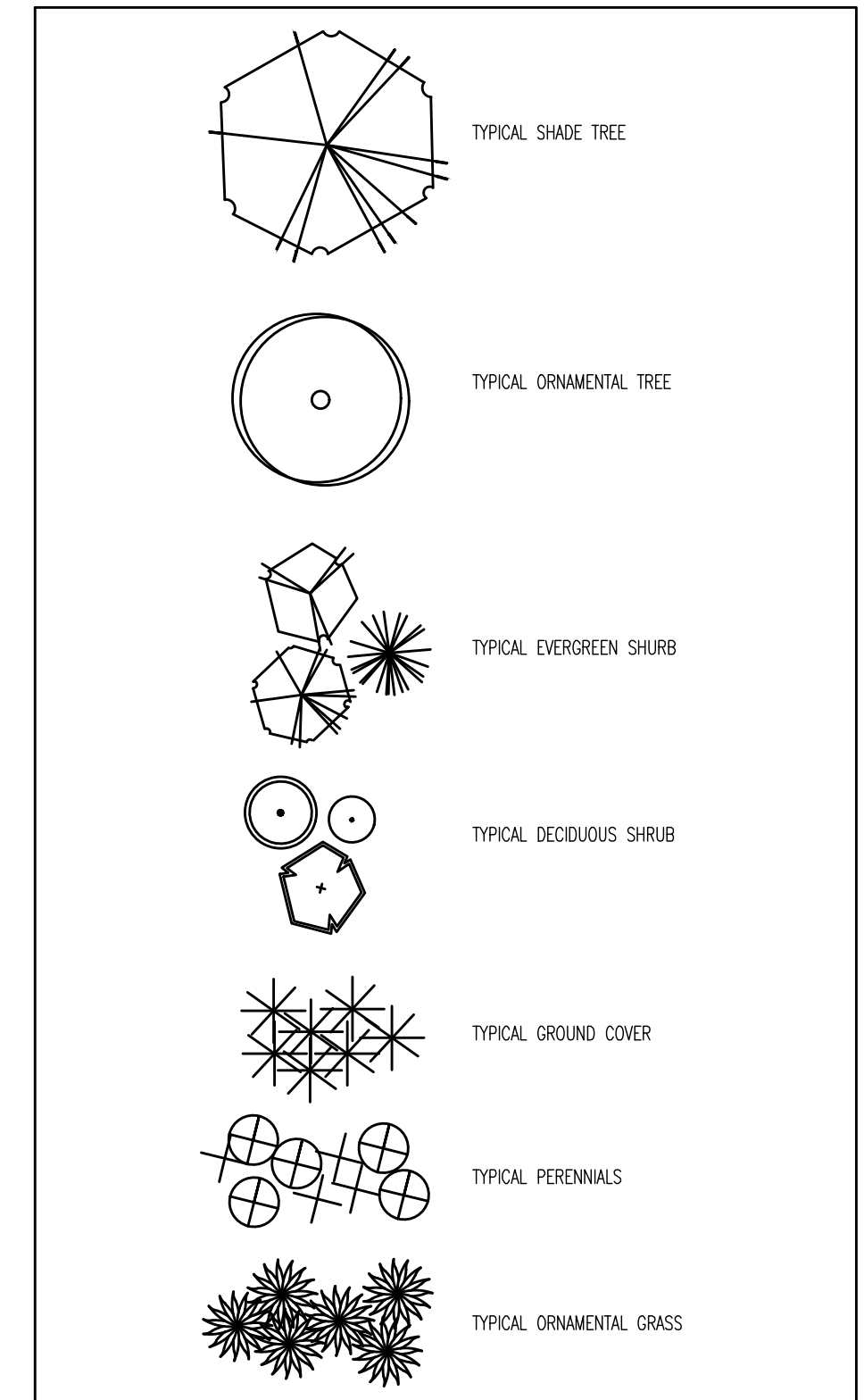
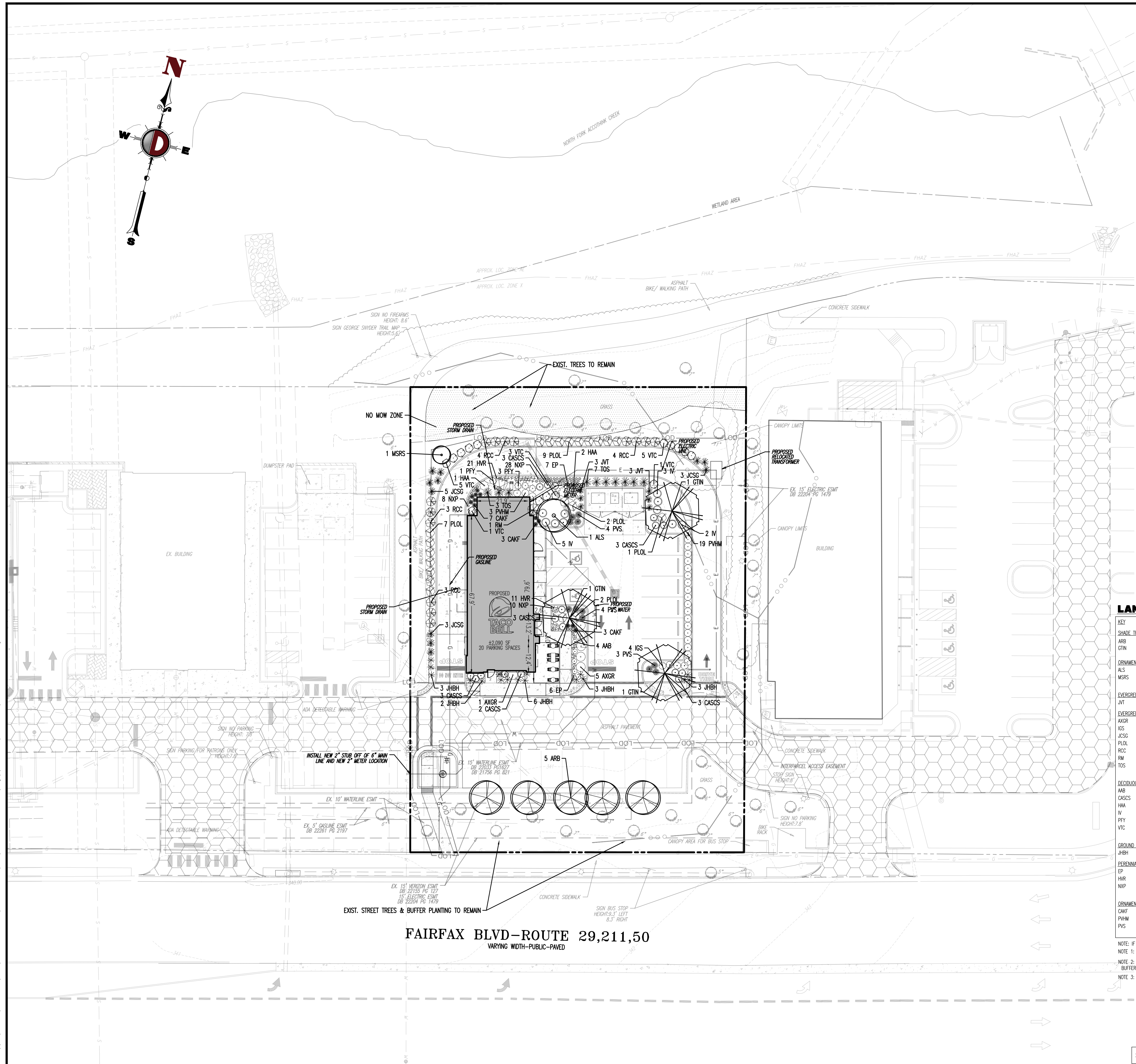
SHEET No: **6** Rev. #:

OF 16 1



REV.	DATE	COMMENTS
1	07/22/24	CDP SET SECOND SUBMITTAL
0	01/18/24	CDP SET FIRST SUBMISSION

Plotted: 07/22/24 - 3:55 PM, By: ezhang
 File: \\deepa\local\defenders\Data\DEFCP\PROJECTS\486\486\05 Conceptual Landscape Plan and Tabulations.dwg, ----> 05 Conceptual Landscape Plan and Tabulations



SITE TREE COVERAGE REQUIREMENTS

TREE CANOPY CALCULATIONS

TOTAL SITE AREA = 28,921 SF
 - TREE CANOPY REQUIRED (10%) = 2,892 SF
 - TREE CANOPY PROVIDED = 5,875 SF (21%)

- (A) PROPOSED EIGHT (8) SHADE TREES @ 250 SF OF EACH = 2,000 SF
- (B) EXISTING SEVEN (7) SHADE TREES @ 250 SF OF EACH = 1,750 SF
- (A) PROPOSED TWO (2) ORNAMENTAL TREES @ 125 SF OF EACH = 250 SF
- (B) EXISTING FIFTEEN (15) ORNAMENTAL TREES @ 125 SF OF EACH = 1,875 SF

STREET TREES

BOUNDARY	LENGTH	REQUIRED TREES	PROVIDED TREES
FAIRFAX BOULEVARD	143.8 LF	4 TREES	5 TREES

NOTE: PROPOSED TREES AND EXISTING TREES INCLUDED IN THE CALCULATIONS
NOTE: STREET TREES INSIDE FAIRFAX BOULEVARD RIGHT-OF-WAY BEHIND CURB WILL BE REPLACED IN KIND OR RELOCATED PER DIRECTION FROM THE CITY AS NEEDED.

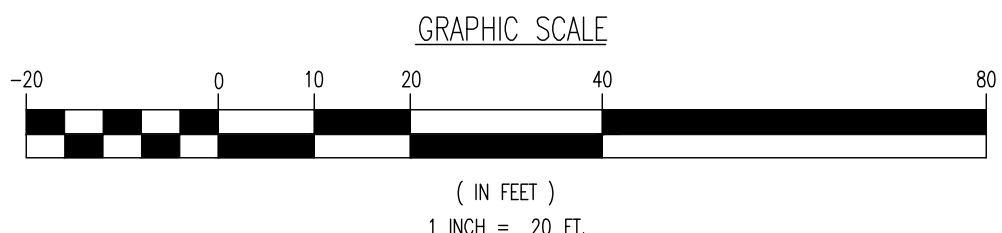
INTERIOR PARKING LOT

NUMBER OF PROVIDED SPACES	20 SPACES
REQUIRED TREES	2 (20/10 = 2)
PROVIDED TREES	3

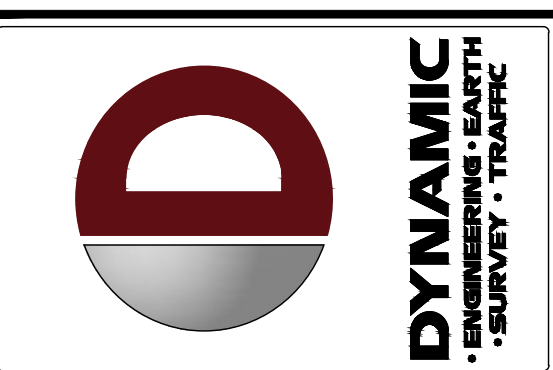
LANDSCAPE SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
SHADE TREE(S)					
ARB	5	ACER RUBRUM 'BOWHALL'	BOWHALL RED MAPLE	2 1/2-3" CAL	B+B
GTIN	8	CLEDISTIA TRICANTHOS 'SUNCOLE'	SUNBURST THORNLESS HONEYLOCUST	2 1/2-3" CAL	B+B
ORNAMENTAL TREE(S)					
ALS	1	AMELANCHIER LAEVIS 'SNOWCLOUD'	SNOWCLOUD SERVICEBERRY	8-10'	B+B
MSRS	2	MAGNOLIA STELLATA 'ROYAL STAR'	ROYAL STAR MAGNOLIA	5-6'	B+B
EVERGREEN TREE(S)					
JVT	6	JUNIPERUS VIRGINIANA 'TAYLOR'	TAYLOR JUNIPER	5-6'	B+B
EVERGREEN SHRUB(S)					
AXGR	6	ABELIA X GRANDIFLORA 'RADIANCE'	RADIANCE AELIA	24-30"	#3 CAN
IGS	4	ALEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY HOLLY	24-30"	#3 CAN
JCSG	11	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	24-30" SPRL	B+B
PLOL	21	PRUNUS LAUROCEARIS 'OTTO LUHKE'	OTTO LUHKE CHERRYLAUREL	24-30"	#3 CAN
RCC	14	RHOODENDRON CATAWBIENSE 'CHONIDES'	CHONIDES RHOODENDRON	24-30"	B+B
RM	1	RHOODENDRON MAXIMUM 'ROSEBAY'	ROSEBAY RHOODENDRON	30-36"	#5 CAN
TOS	10	THUJA OCCIDENTALIS 'SMARAGO'	EMERALD GREEN ARBORVITAE	5-6'	B+B
DECIDUOUS SHRUB(S)					
AAB	4	ARONIA MELANOCORPA 'UDONNAMI65'	LOW SCAPE MOUND CHOKEBERRY	18-24"	#3 CAN
CASC5	17	CLETHRA ALNIFOLIA 'SIXTEEN CANDLES'	SIXTEEN CANDLES SHAMERSWEET	24-30"	#3 CAN
HAA	3	HYDRANGEA ARBORESCENS 'ANNABELLE'	'ANNABELLE' HYDRANGEA	24-30"	#3 CAN
IV	10	TEA VIRGINICA 'HENRY'S GARNET'	GARNET SWEETSPIRE	30-36"	#5 CAN
PYF	4	POTENTILLA FRUTICOSA 'HAPPY FACE YELLOW'	HAPPY FACE YELLOW POTENTILLA	18-24"	#3 CAN
VTC	15	VIBURNUM TRELOBUM 'COMPACTUM'	COMPACT AMERICAN CRANBERRYBUSH	24-30"	#3 CAN
GROUND COVER					
JHBB	17	JUNIPERUS HORIZONTALIS 'BAR HARBOR'	BAR HARBOR CREEPING JUNIPER	15-18" SPRL	#3 CAN
PERENNIAL(S)					
EP	13	ECHINACEA PURPUREA	PURPLE CONEFLOWER	2 GAL	CONTAINER
HVR	32	HEMEROCALLIS VARIETIES	PEACH-RED-YELLOW DAYLILY	1 GAL	CONTAINER
NXP	46	NEPETA X 'PSYCHE'	LITTLE TROY CATMINT	1 GAL	#1
ORNAMENTAL GRASS(S)					
CAKF	13	CAULAGRASSIS ARUNDINACEA 'KARL FOERSTER'	FEATHER REED GRASS	2 GAL	CONTAINER
PRHM	22	PANICUM VIRGATUM 'HEAVY METAL'	HEAVY METAL SWITCH GRASS	2 GAL	CONTAINER
PVS	11	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	2 GAL	CONTAINER

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICATE.
NOTE 1: DETAILED LANDSCAPING PLANTINGS, HARDSCAPE DESIGN, AND LIGHTING INFORMATION WILL BE PROVIDED AT TIME OF SITE PLAN.
NOTE 2: DUMPSTER ENCLOSURE SHOULD BE CONSTRUCTED OF CONCRETE BLOCK W/ DUR-O-WALL FINISH AND INCLUDES AN EVERGREEN BUFFER AROUND THE EXTERIOR.
NOTE 3: PER ZONING ORDINANCE SECTION 4.5.5.C.1 NO TRANSITIONAL YARDS ARE REQUIRED TO ADJACENT OR AND/ OR IL DISTRICT LOTS.



SEE SHEET 08 OF 15 FOR LANDSCAPE PLAN NOTES



REV.	DATE	COMMENTS
1	07/22/24	CDP SET SECOND SUBMITTAL
0	07/18/24	CDP SET FIRST SUBMISSION

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PROJECT: **SOUTHPIK**
 PROPOSED TACO BELL FAST FOOD RESTAURANT W/ DRIVE-THRU
 BOULEVARD MARKETPLACE, PARCEL D
 10120 FAIRFAX BOULEVARD
 CITY OF FAIRFAX, FAIRFAX COUNTY, VIRGINIA

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MARLA A. ROLLER
 MARLA A. ROLLER
 Lic. No. 1806265
 LICENSED LANDSCAPE ARCHITECT
 VIRGINIA LICENSE NO. 1806265

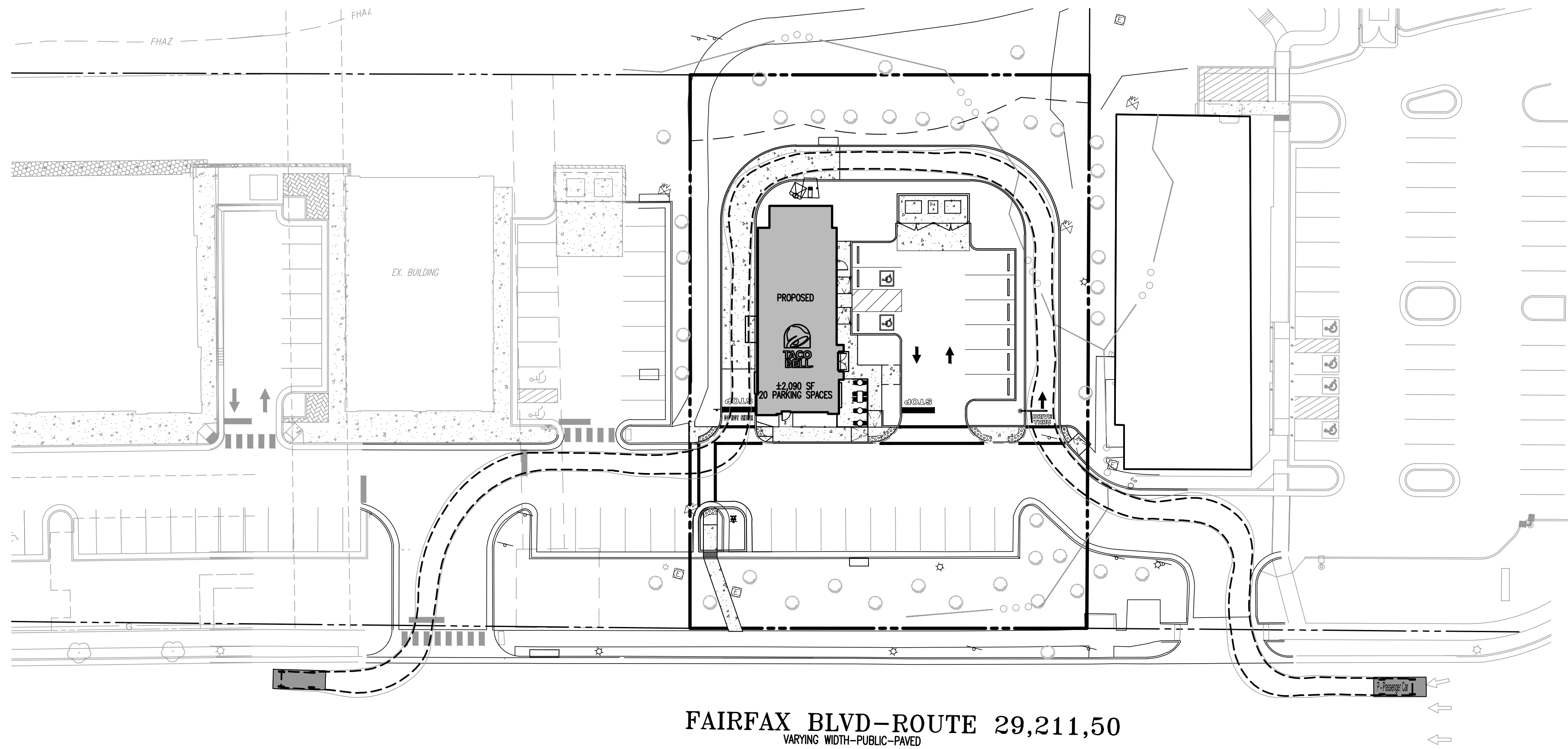
CONNOR M. MCMANUS
 PROFESSIONAL ENGINEER
 VIRGINIA LICENSE NO. 1806265

TITLE: CONCEPTUAL LANDSCAPE PLAN AND TABULATIONS

SCALE: (H) AS NOTED DATE: 01/18/2024
 PROJECT No: 3486-22-01538

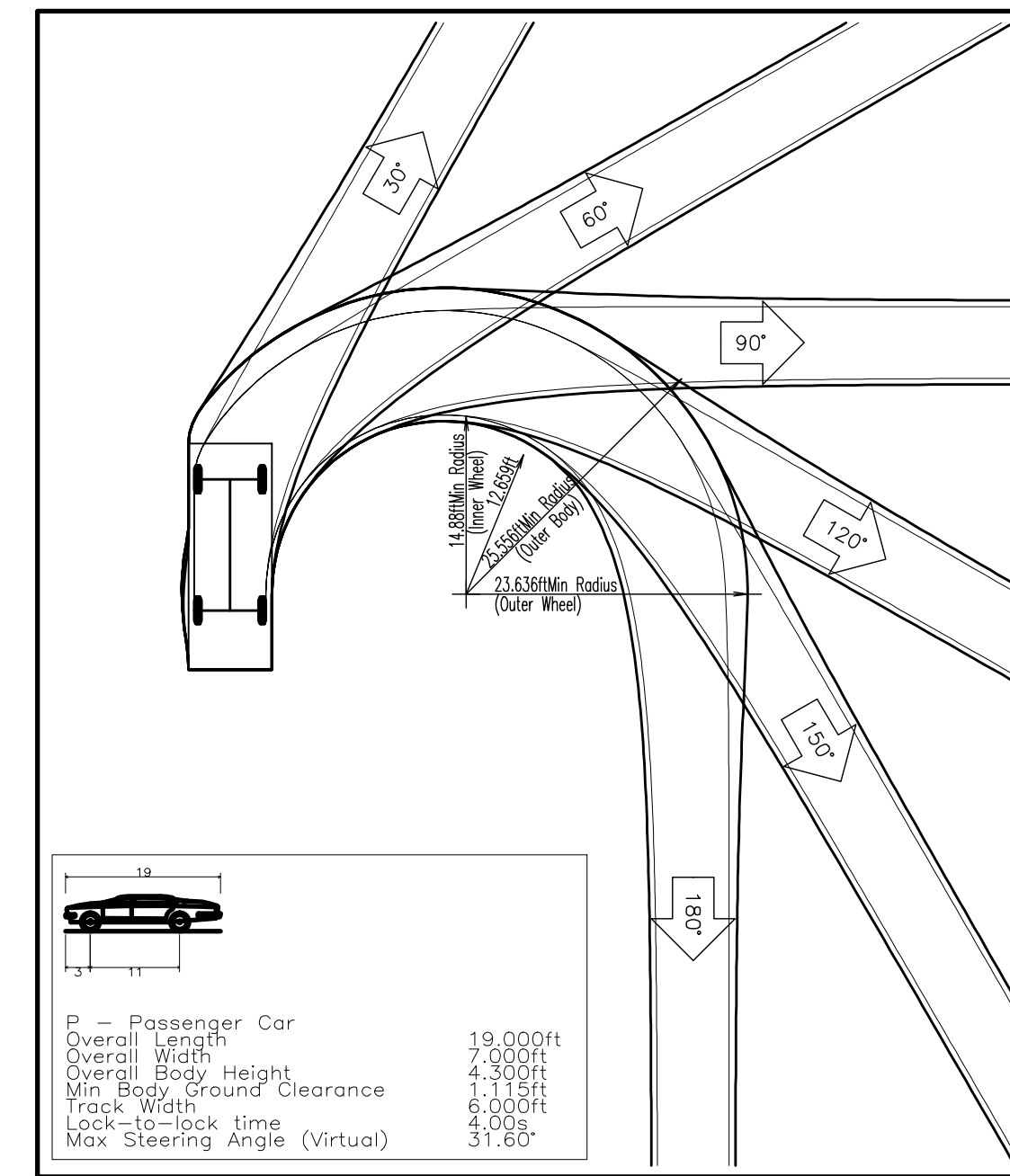
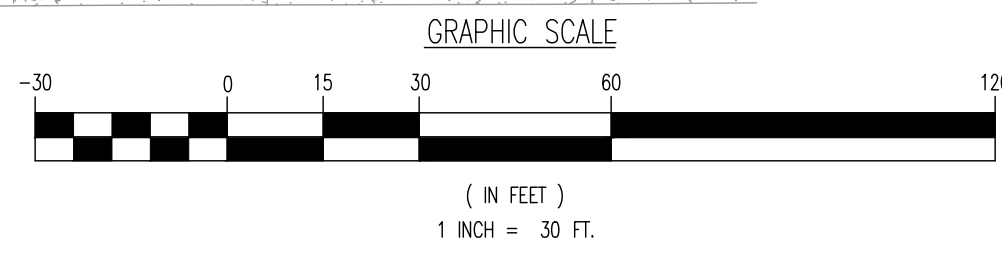
SHEET No: **7** Rev. #:
 OF 16 1

Plotted: 07/22/24 - 3:56 PM, By: ezhang
 File: \\deeplocal\defolders\Data\DEFC\PROJECTS\3486 ABD Capital\22-01538 Fairfax VA\DWG\Special Exception Plans\034862201538S00.dwg, ----> TRASH TRUCK AND PASSENGER CAR CIRCULATION EXHIBIT



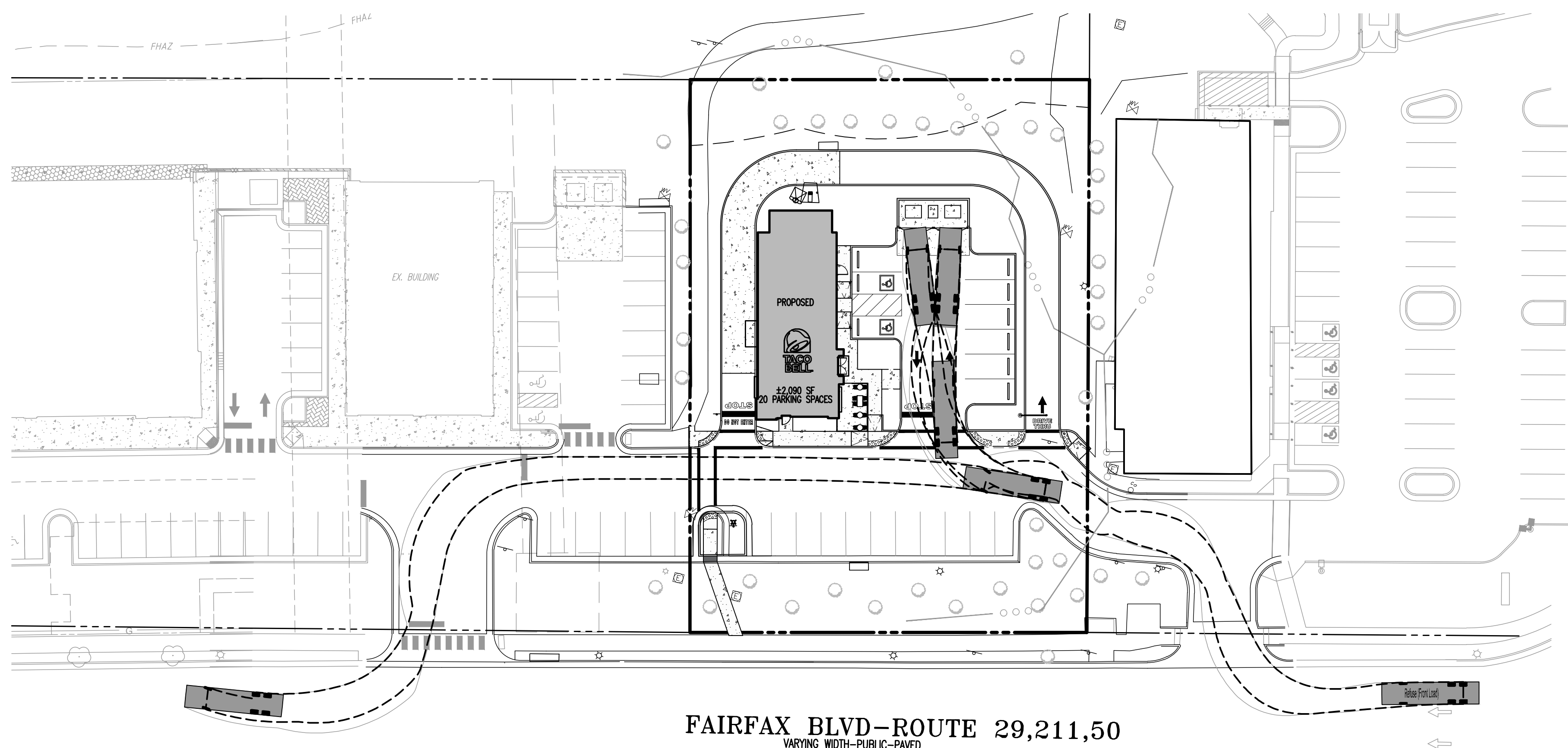
FAIRFAX BLVD-ROUTE 29,211,50
 VARYING WIDTH-PUBLIC-PAVED

PASSENGER CAR MOVEMENT



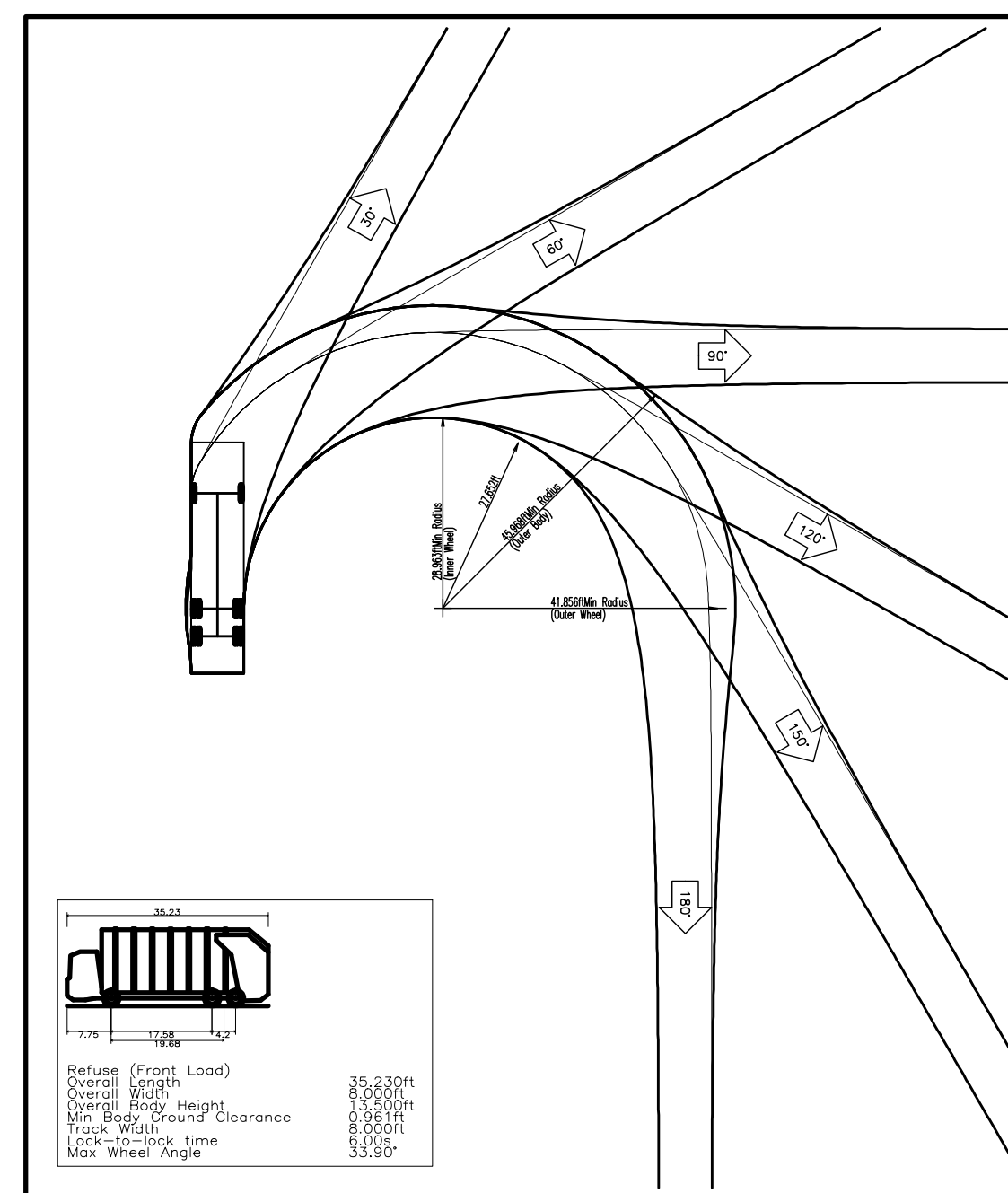
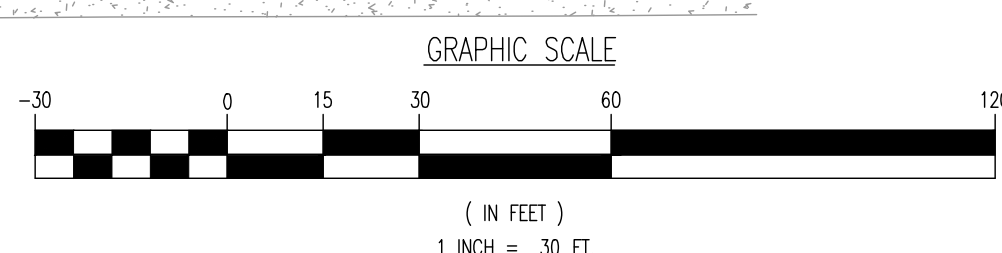
P - Passenger Car	19.000ft
Overall Length	7.000ft
Overall Width	4.500ft
Overall Body Height	1.115ft
Min Body Ground Clearance	6.000ft
Track Width	4.00s
Lock-to-lock time	31.60°
Max Steering Angle (Virtual)	

NOT TO SCALE



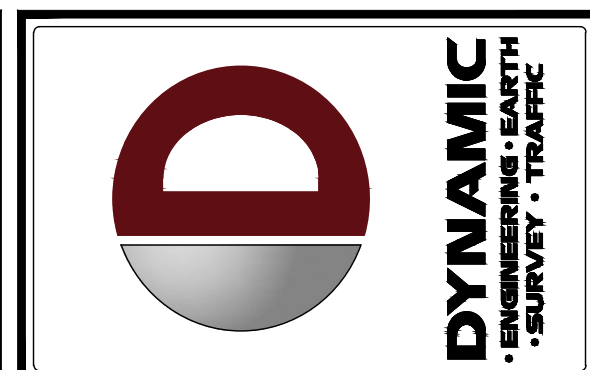
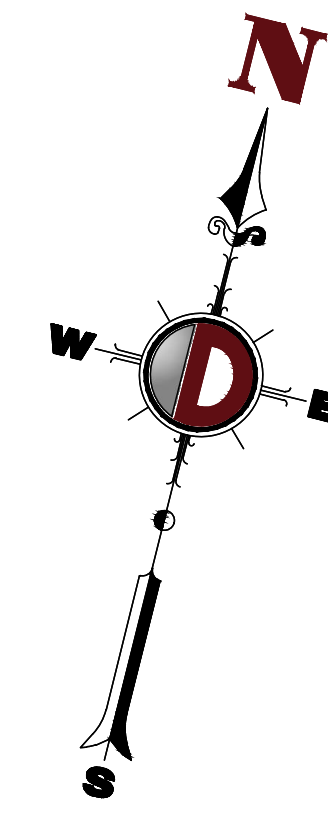
FAIRFAX BLVD-ROUTE 29,211,50
 VARYING WIDTH-PUBLIC-PAVED

REFUSE TRUCK MOVEMENT



Refuse (Front Load)	28.000ft
Overall Length	10.000ft
Overall Width	13.000ft
Overall Body Height	3.000ft
Min Body Ground Clearance	8.000ft
Track Width	6.00s
Lock-to-lock time	21.00°
Max Steering Angle (Virtual)	

NOT TO SCALE



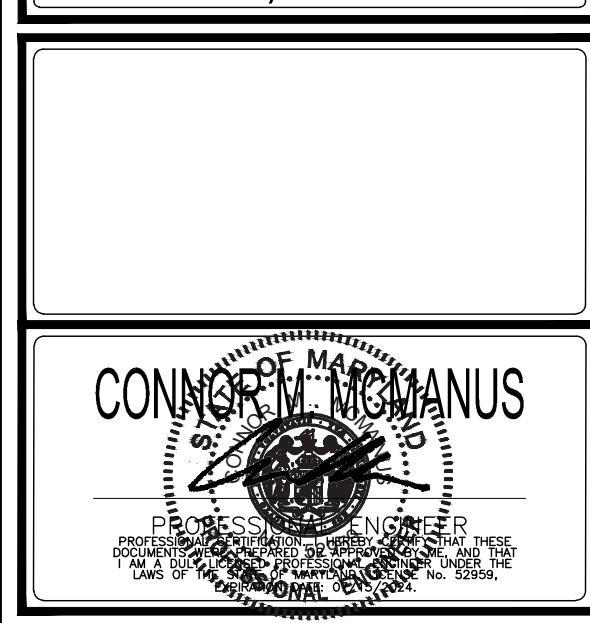
REV.	DATE	COMMENTS
1	07/22/24	GDP SET SECOND SUBMITTAL
0	07/18/24	GDP SET FIRST SUBMISSION

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DESIGNED BY: SRM
 CHECKED BY: JJJ
 C.M.
 PROJECT: SOUTHPAW PROPOSED TACO BELL FAST FOOD RESTAURANT W/ DRIVE-THRU BOULEVARD MARKETPLACE, PARCEL D 10120 FAIRFAX BOULEVARD CITY OF FAIRFAX, FAIRFAX COUNTY, VIRGINIA

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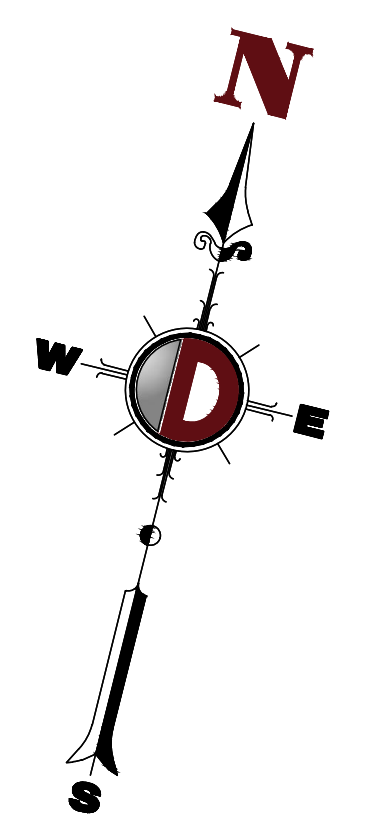
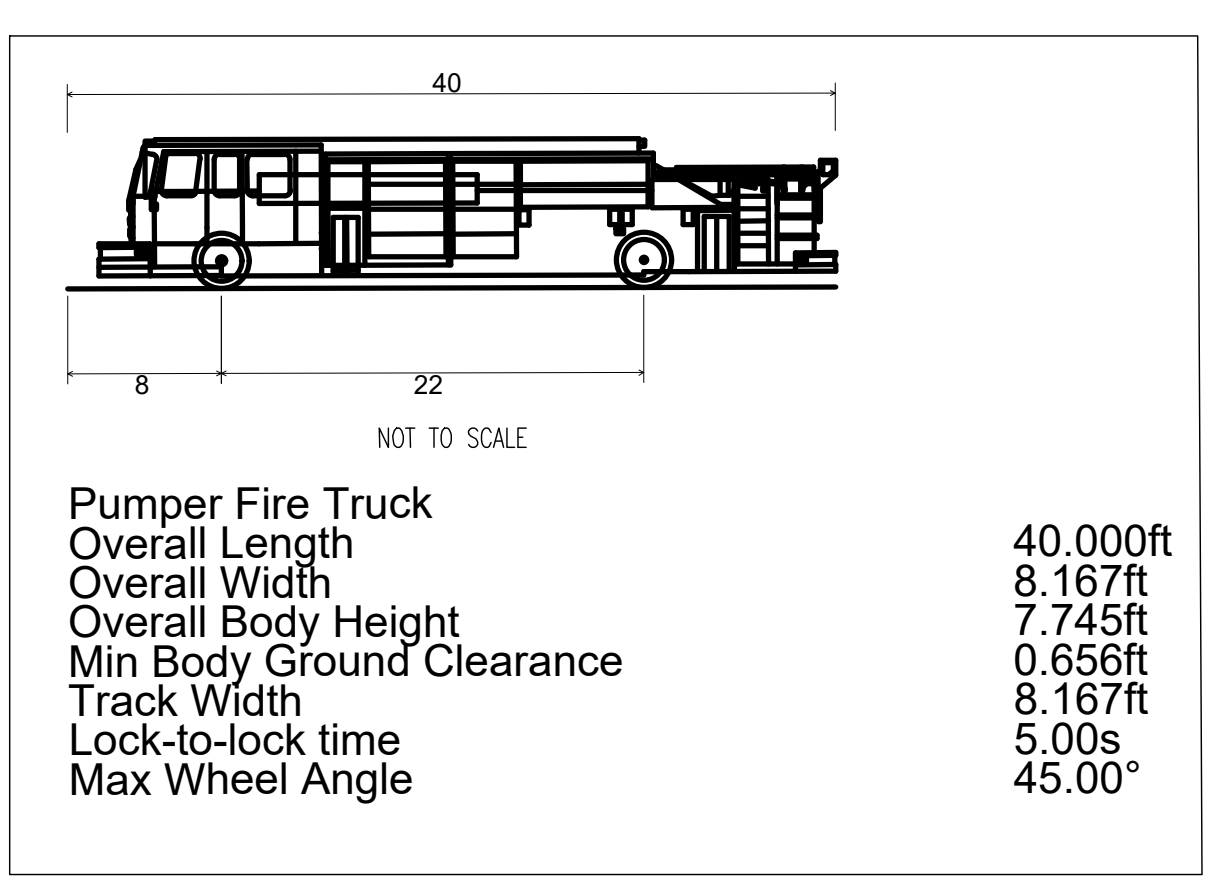
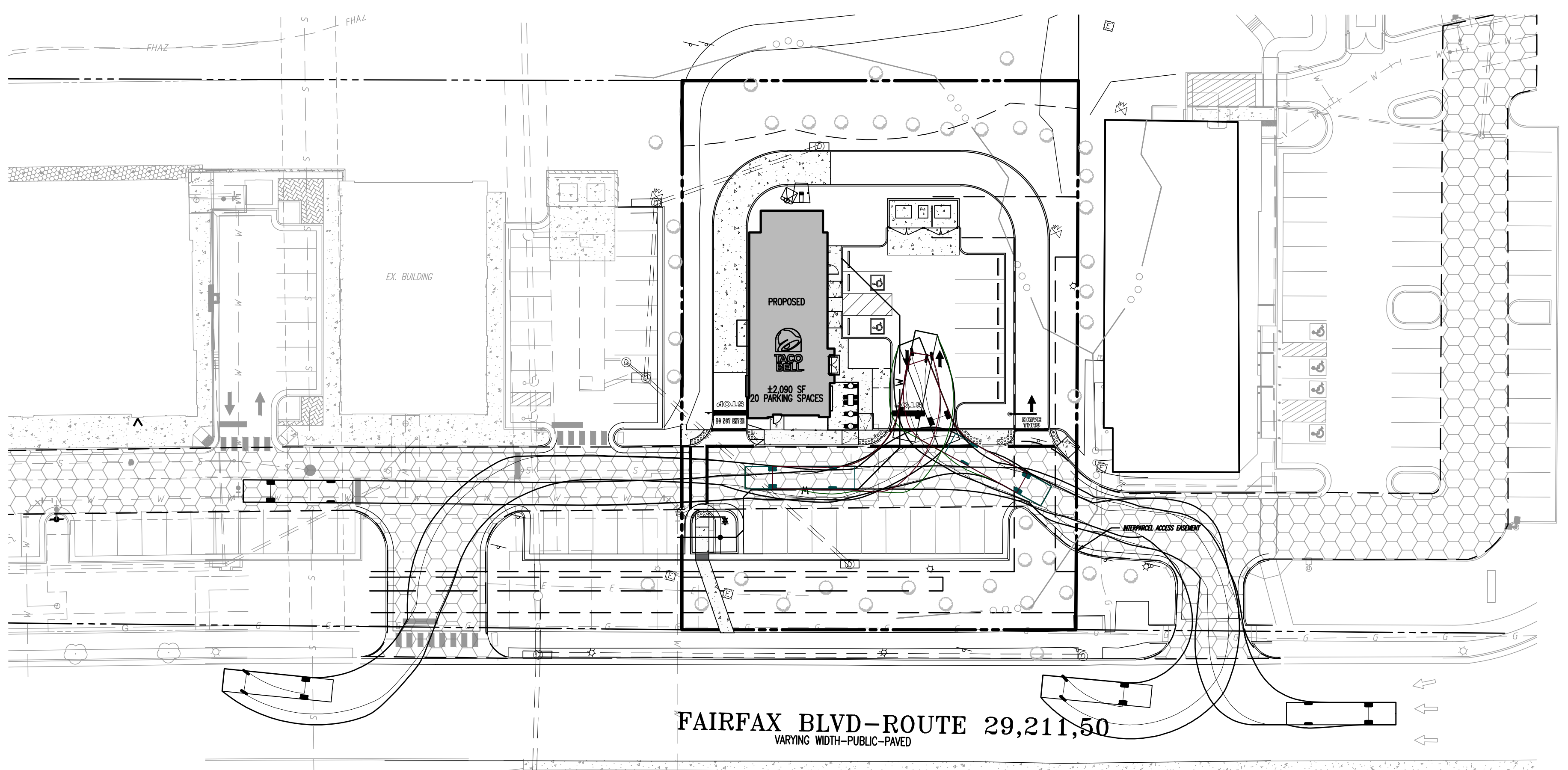


TITLE: TRASH TRUCK AND PASSENGER CAR CIRCULATION EXHIBIT

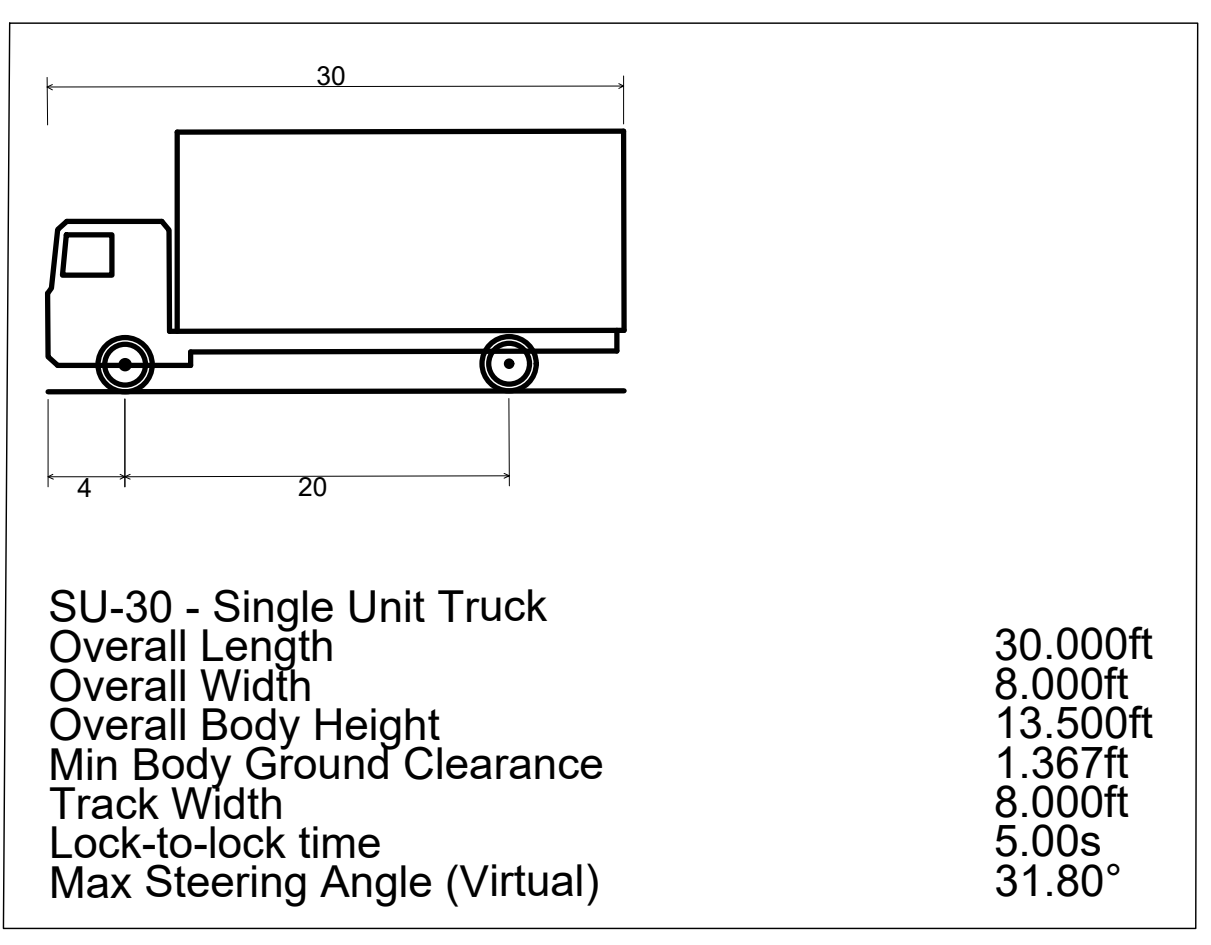
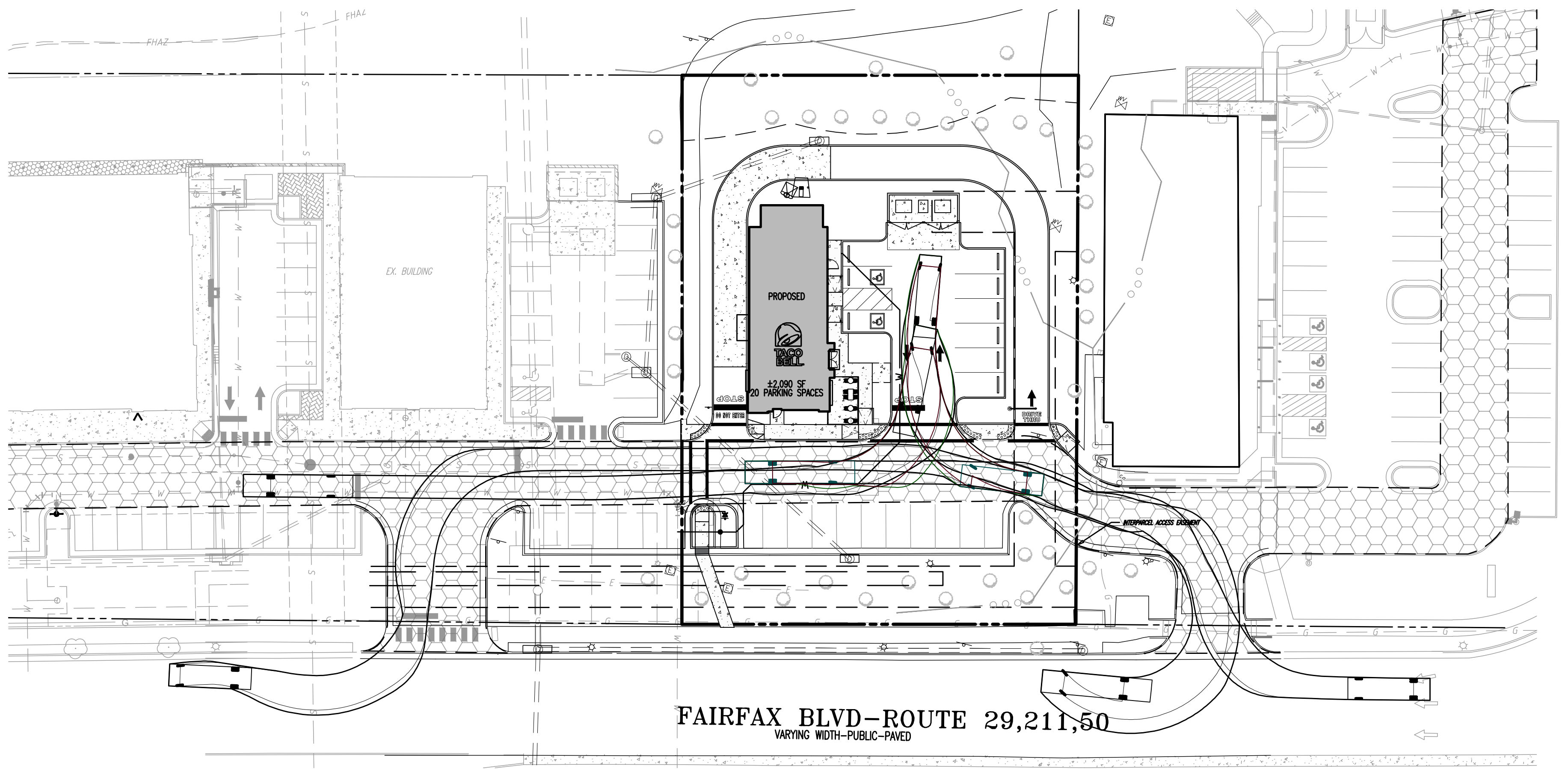
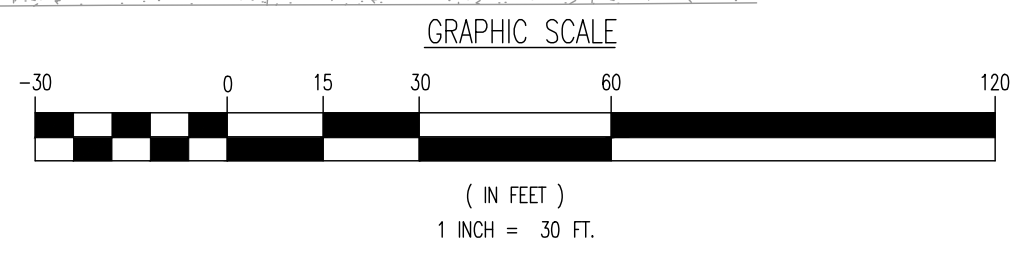
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 PROJECT No: 3486-22-01538

SHEET No: **9** OF 16 Rev. #: 1

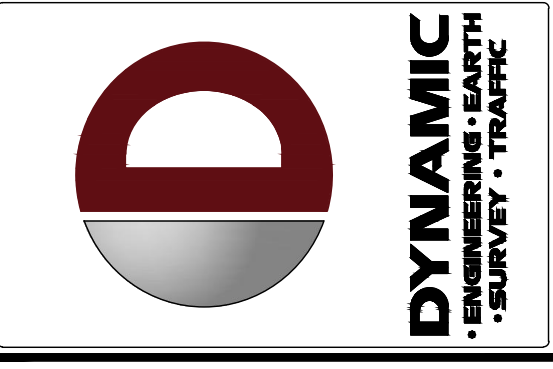
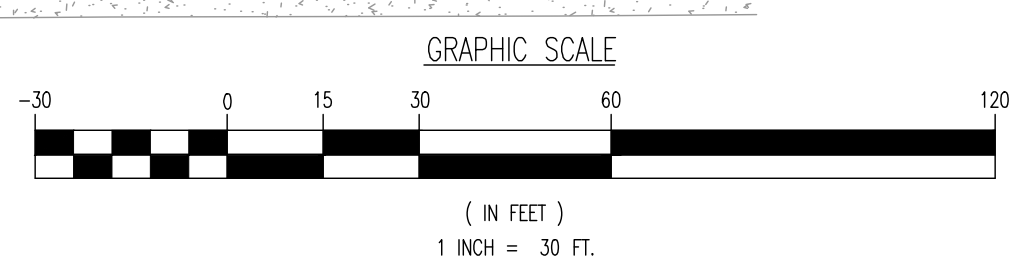
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 File: \\deeplocal\defolders\data\DEFC PROJECTS\486 ABD Capital\22-01538 Fairfax VA\Imp\Special Exception Plans\04462201538FMO.dwg, ----> FIRE TRUCK CIRCULATION EXHIBIT



FIRE TRUCK MOVEMENT



LOADING TRUCK MOVEMENT

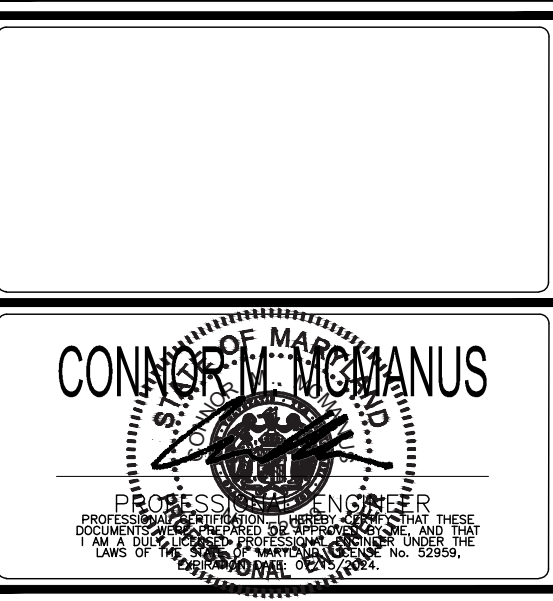


REV.	DATE	COMMENTS
1	07/22/24	GDP SET SECOND SUBMITTAL
0	07/18/24	GDP SET FIRST SUBMISSION

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 DRAWN BY: JAC
 CHECKED BY: JJJ
 CM
 PROJECT: **SOUTHPAW**
 PROPOSED TACO BELL FAST FOOD RESTAURANT W/ DRIVE-THRU
 BOULEVARD MARKETPLACE, PARCEL D
 10120 FAIRFAX BOULEVARD
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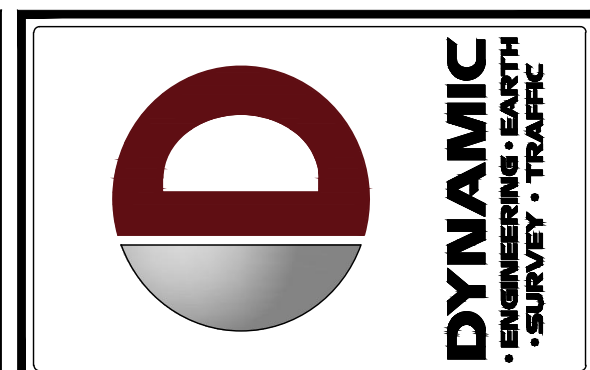
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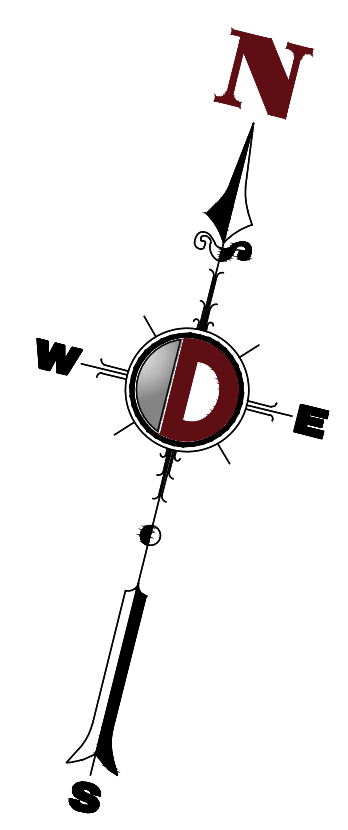
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SCALE: (H) AS NOTED DATE: 01/18/2024
 PROJECT No: 3486-22-01538

SHEET No: **10** OF 16
 Rev. #: 1



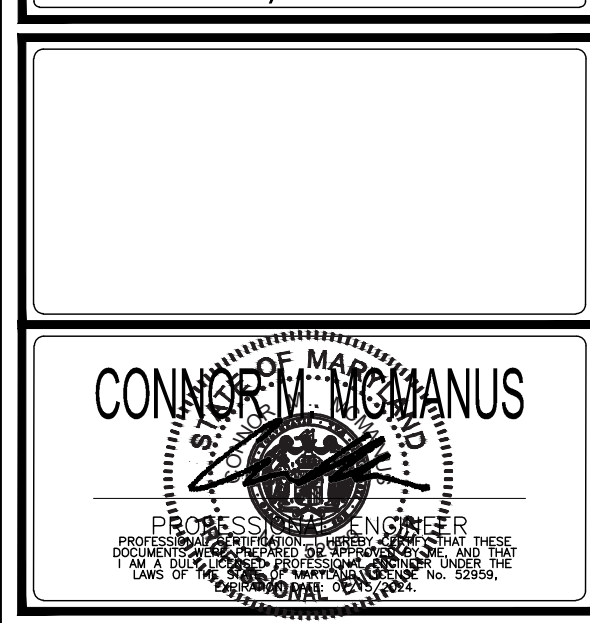
DATE	REVISION	BY	COMMENTS
01/18/2024	0		CDP SET FIRST SUBMISSION
07/22/24	1		CDP SET SECOND SUBMITTAL



DESIGNED BY:	CREATED BY:	PROJECT:
JAC	CM	SOUTHPAW PROPOSED TACO BELL FAST FOOD RESTAURANT W/ DRIVE-THRU BOULEVARD MARKETPLACE, PARCEL D 10120 FAIRFAX BOULEVARD CITY OF FAIRFAX, FAIRFAX COUNTY, VIRGINIA

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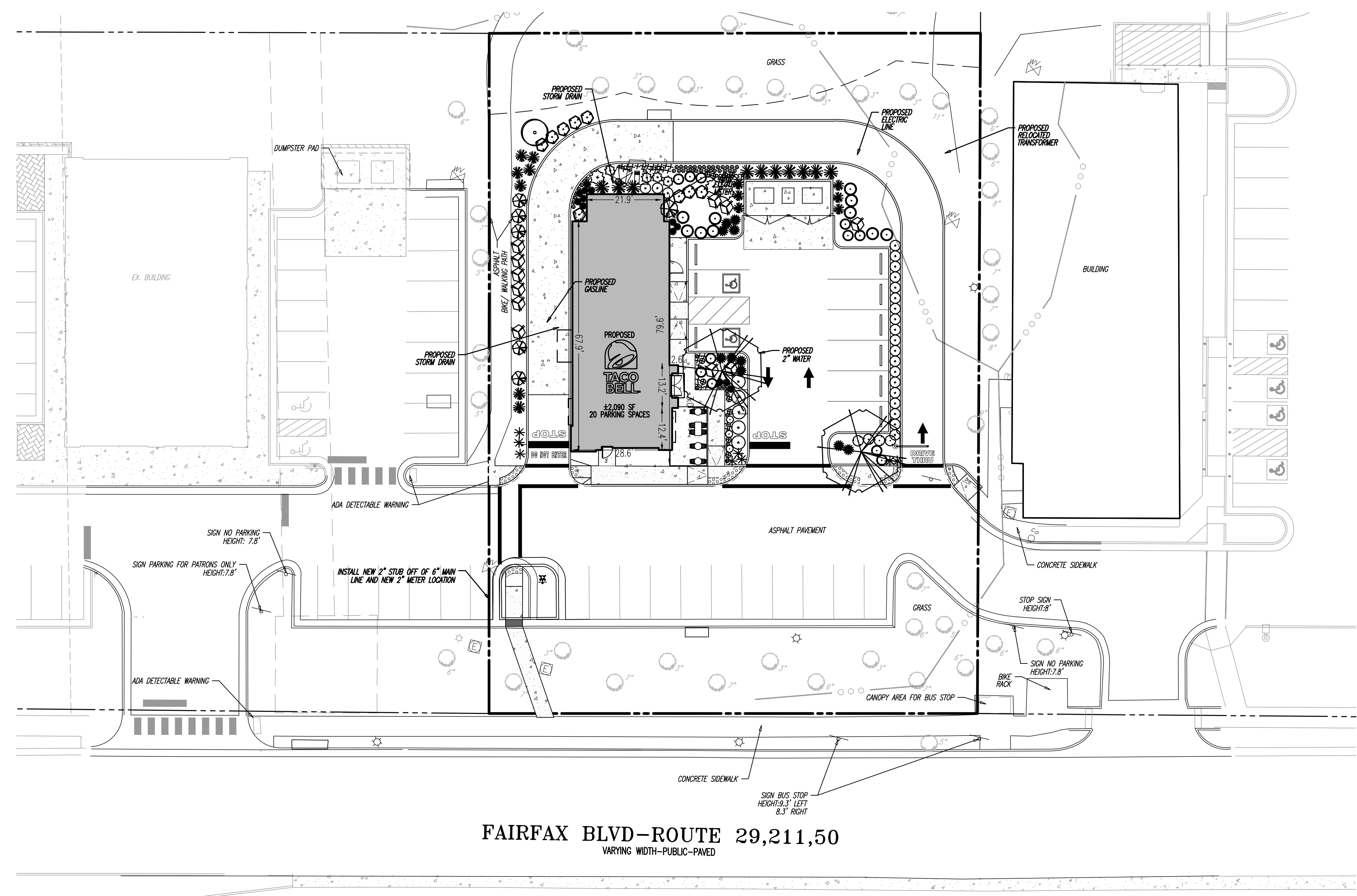
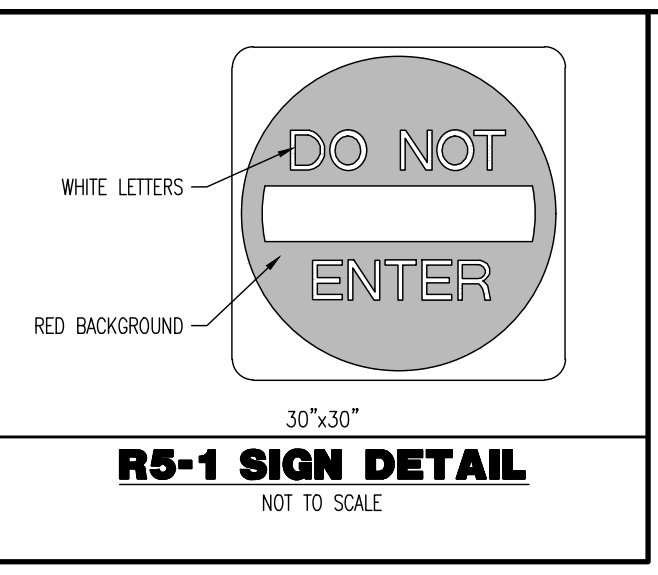
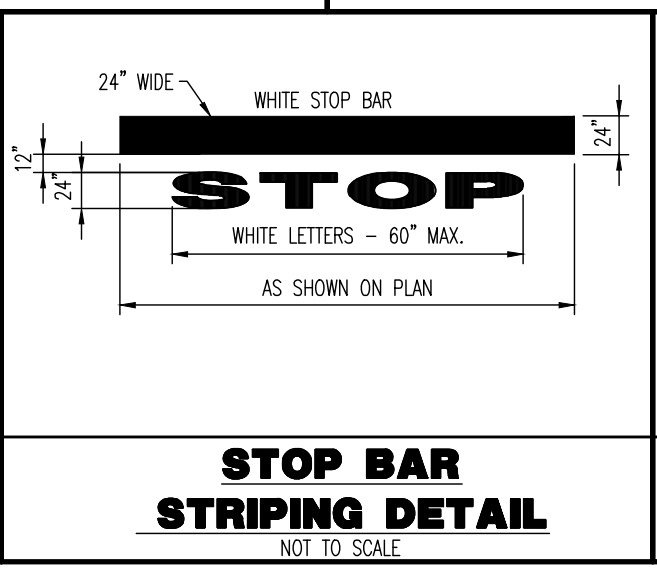
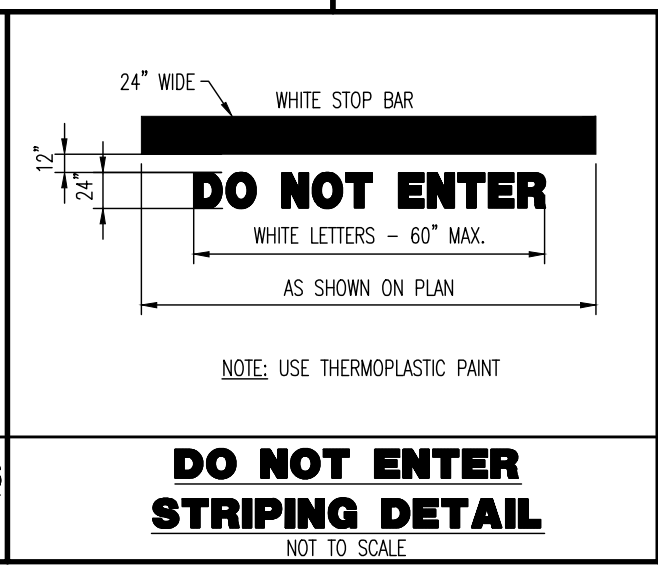
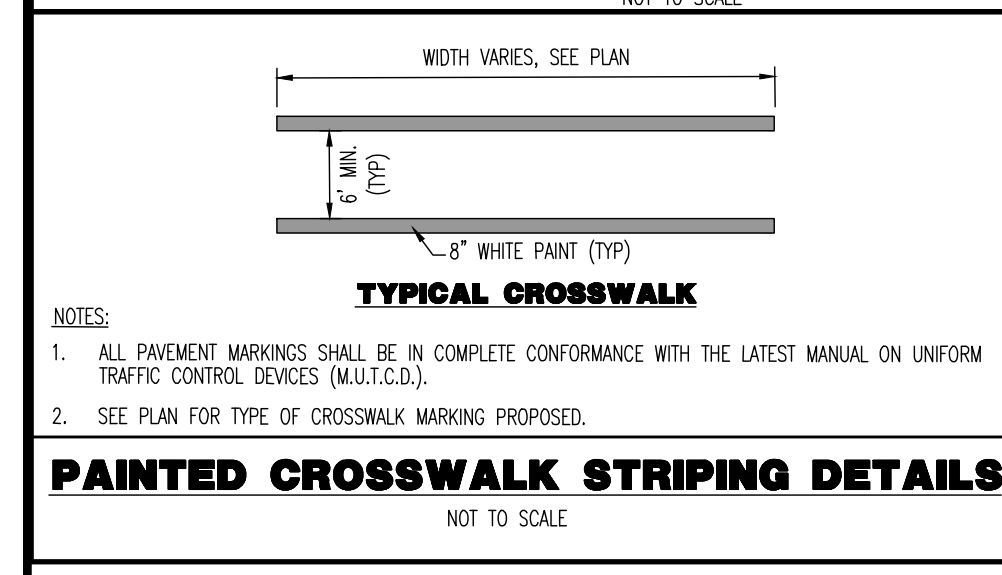
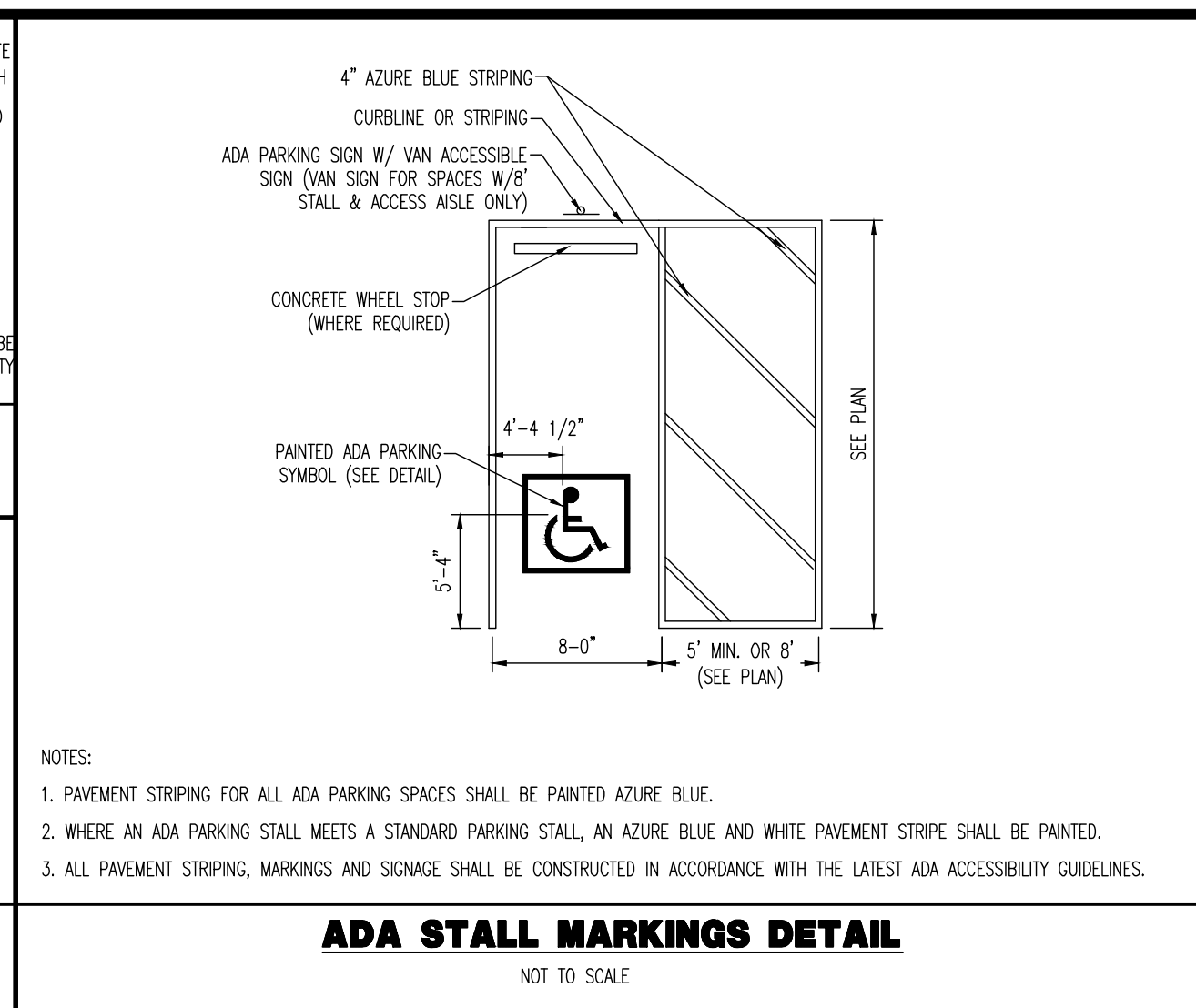
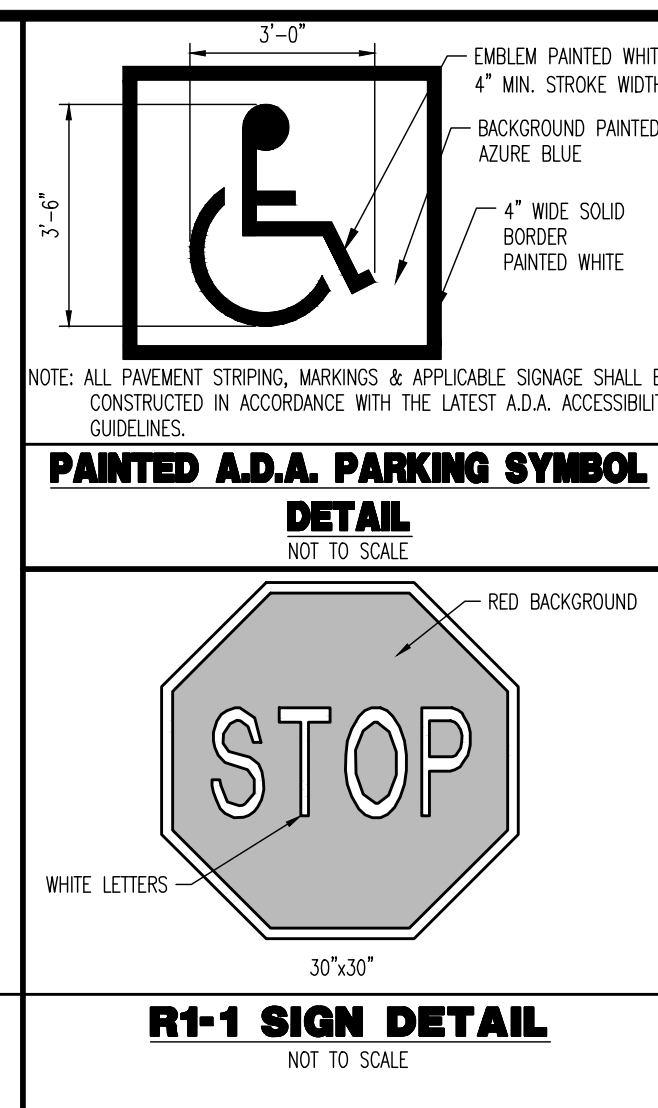
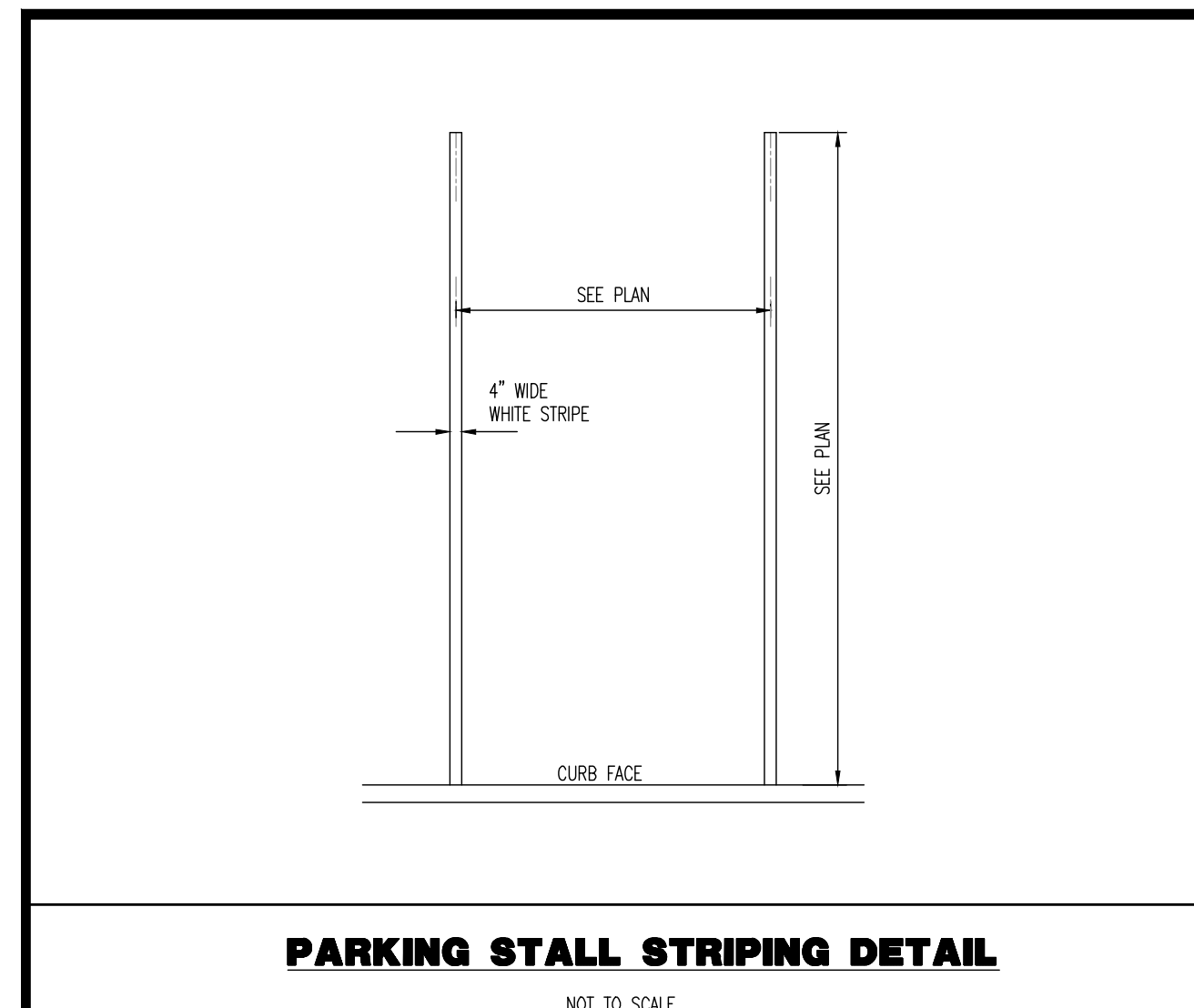
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TITLE: **SIGNAGE AND STRIPING DETAILS**

SCALE: (H) AS NOTED (V) --- DATE: 01/18/2024
PROJECT No: 3486-22-01538

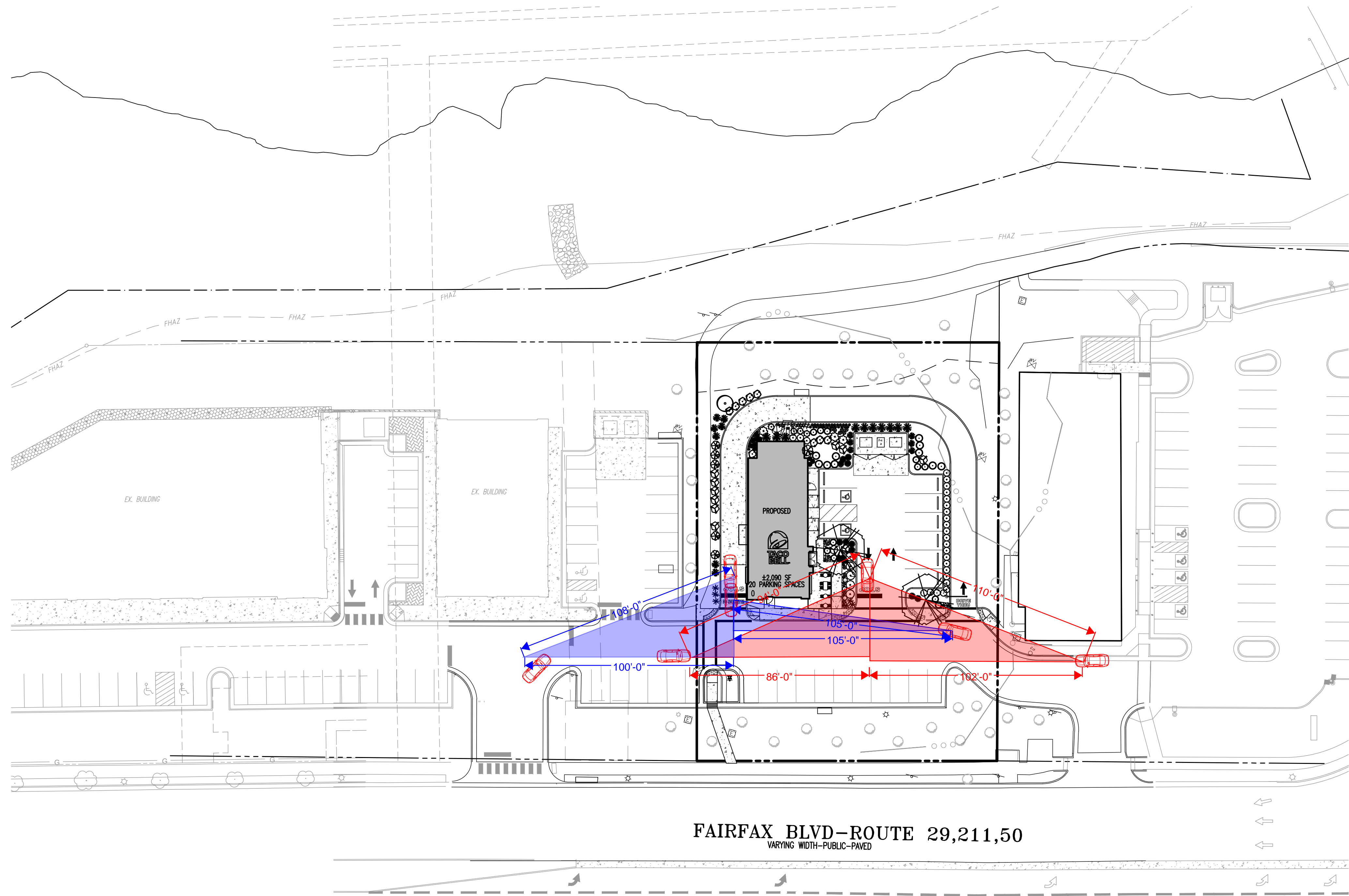
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FAIRFAX BLVD-ROUTE 29,211,50
VARYING WIDTH-PUBLIC-PAVED

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CLEAR OBSTRUCTION TRIANGLE - STOP CONTROLLED LOOKING LEFT/RIGHT FROM PARKING AREA

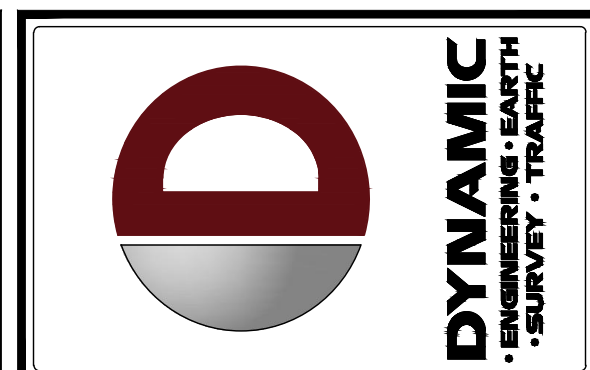
CLEAR OBSTRUCTION TRIANGLE - STOP CONTROLLED LOOKING LEFT/RIGHT FROM DRIVE-THROUGH*

ASSUMES DRIVER HAS ABILITY TO STOP AT STOP BAR AND THEN PULL UP TO CROSSWALK BEFORE PROCEEDING WITH TURNING MOVEMENT*

LANDSCAPING SELECTIONS AT DESIGNATED CORNERS TO BE DESIGNED AND MAINTAINED TO ENSURE NO VISUAL OBSTRUCTIONS IF WITHIN THE AREAS SHOWN

CLEAR VISION TRIANGLES SHOWN ALSO TAKE INTO ACCOUNT POSSIBLE STOPPED CARS TRAVELING IN THE OPPOSITE DIRECTION OR PARKED CARS ADJACENT TO THE DEVELOPMENT THAT MAY CAUSE OBSTRUCTIONS, AS WELL AS ADJACENT EXISTING BUILDINGS

FAIRFAX BLVD-ROUTE 29,211,50
VARYING WIDTH-PUBLIC-PAVED



REV.	DATE	COMMENTS
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DESIGNED BY: JAC
CHECKED BY: JJJ
CM: CM
PROJECT: **SOUTHPAW PROPOSED TACO BELL FAST FOOD RESTAURANT W/ DRIVE-THRU**
BOULEVARD MARKETPLACE, PARCEL D
10120 FAIRFAX BOULEVARD
CITY OF FAIRFAX, FAIRFAX COUNTY, VIRGINIA

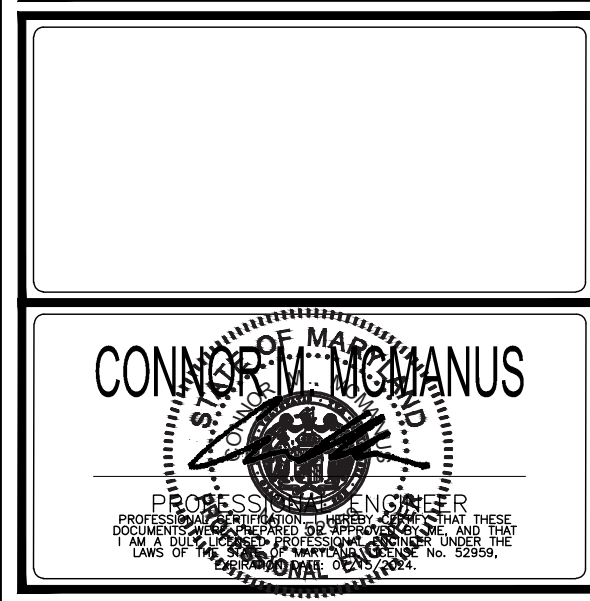
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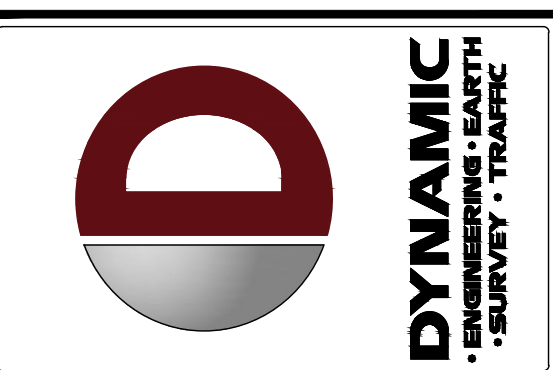
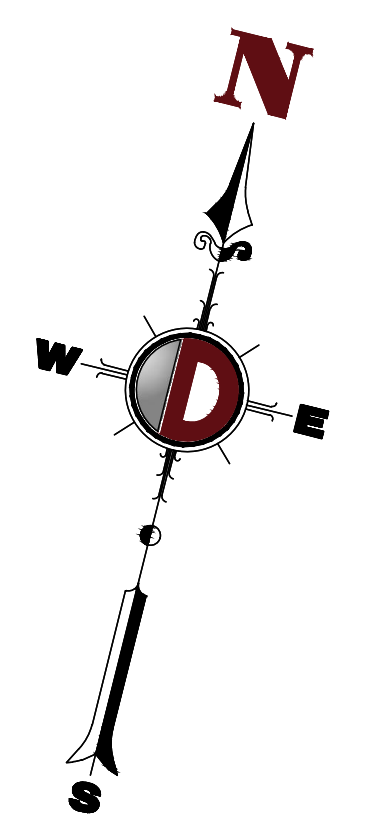
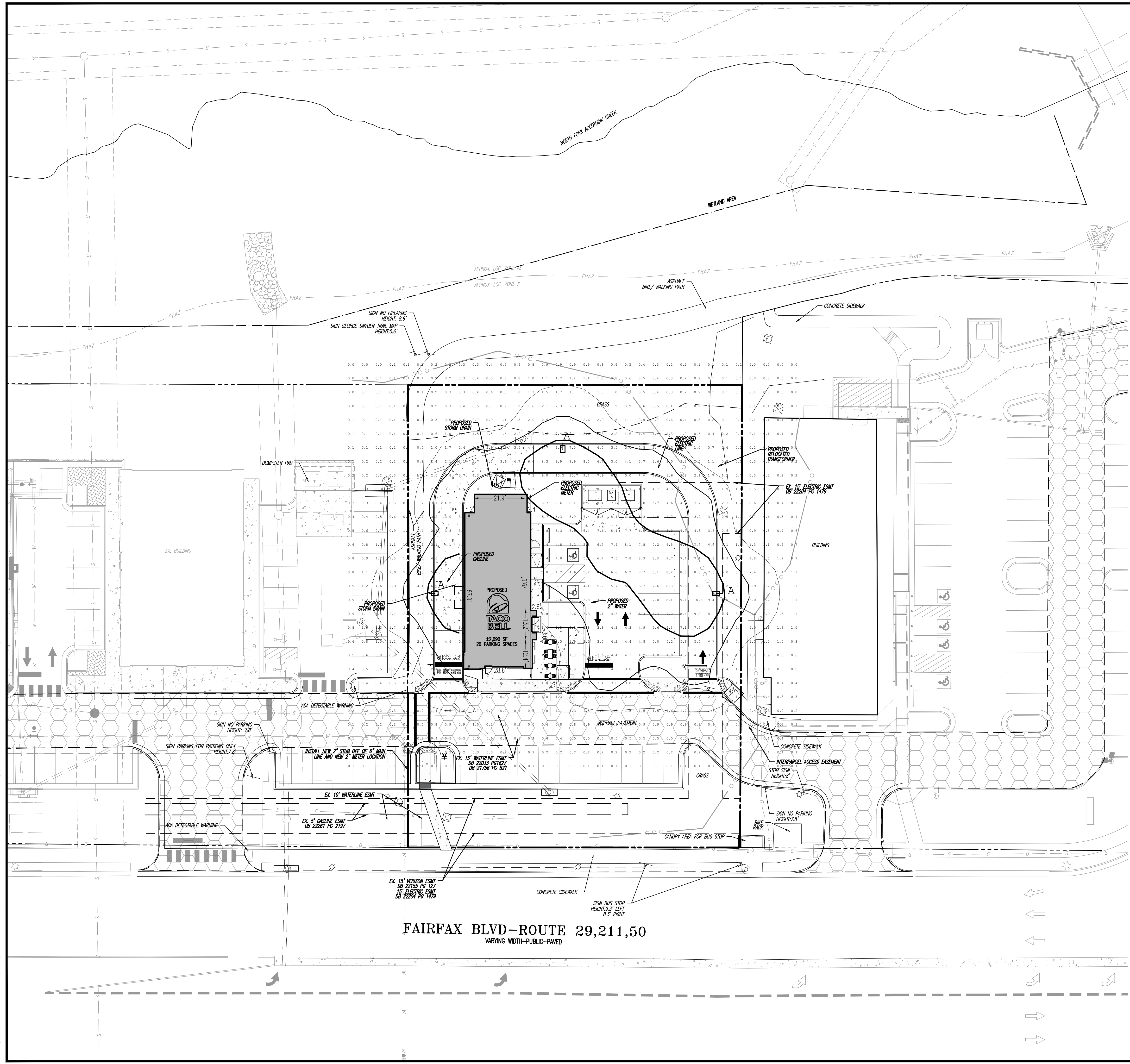


TITLE: **SIGHT DISTANCE EXHIBIT**

SCALE: (H) AS NOTED DATE: 01/18/2024
PROJECT No: 3486-22-01538

SHEET No: **12** OF 16 Rev. #: 1

Plotted: 07/22/24 - 3:57 PM, By: ezhang
 File: \\deeplocal\defenders\Data\DEFC\PROJECTS\486 ABD Capital\22-01538 Fairfax VA Dwg\Special Exception Plans\LIGHTING DETAILS.dwg. ---> 12 LIGHTING PLAN



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REV.	DATE	COMMENTS
1	07/22/24	CDP SET SECOND SUBMITTAL
0	07/18/24	CDP SET FIRST SUBMISSION

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DESIGNED BY: JAC
 CHECKED BY: JAC
 DRAWN BY: JAC

PROJECT: **SOUTHPIK**
 PROPOSED TACO BELL FAST FOOD RESTAURANT W/ DRIVE-THRU
 BOULEVARD MARKETPLACE, PARCEL D
 10120 FAIRFAX BOULEVARD
 CITY OF FAIRFAX, FAIRFAX COUNTY, VIRGINIA

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Calculation Summary

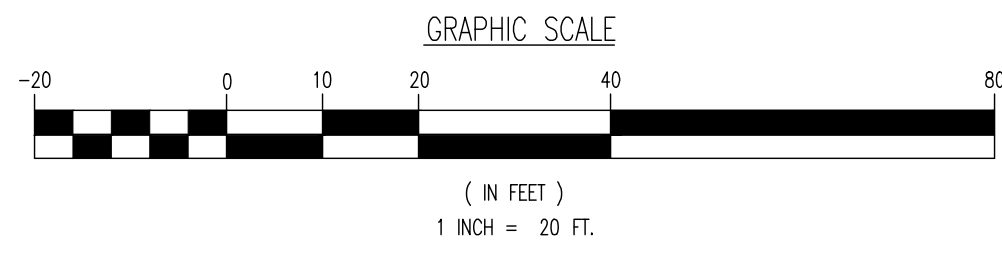
Line	Avg	Max	Min	Avg/Min	Max/Min
DRIVEWAY	2.23	11.7	0.10	8.2	10.6
DRIVE/THRU LANE SURFACE	3.43	12.7	2.1	2.60	3.10
PARKING LOT SURFACE	3.76	8.9	2.5	2.30	3.50

LIGHT LEVELS ARE MAINTAINED FOOT-CANDLES, INITIAL LEVELS ARE SLIGHTLY HIGHER

Luminaire Schedule

Symbol	Qty	Label	Arrangement	Luminaire Lumens	LLF	Watts	Calculation Description
□	3	A	SINGLE	40828	0.900	312	VF2-312E-315-87-41000-A-DBF / 800-22-40-01-P-04-DBF

FEATURES ARE 312W 4000K LED
 POLES ARE 25'-0" ON 2'-4" BASES FOR AN OVERALL FEATURE HEIGHT OF 27'-4" A.F.G.



FAIRFAX BLVD-ROUTE 29,211,50
 VARYING WIDTH-PUBLIC-PAVED



TITLE:
LIGHTING PLAN

SCALE: (H) AS NOTED (V) --- DATE: 01/18/2024

PROJECT No:
 3486-22-01538

SHEET No:
13 OF 16

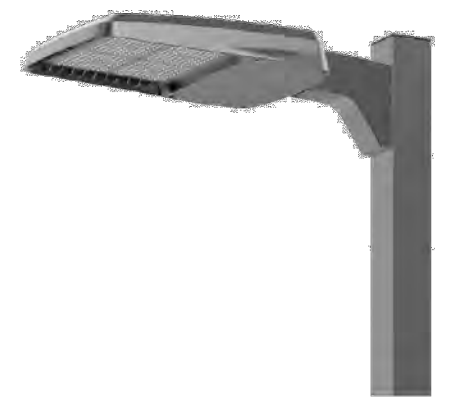
Rev. #:
 1

BEACON VIPER Area/Site VIPER LUMINAIRE

DATE: LOCATION: Fairfax, VA TYPE: A PROJECT: Taco Bell CATALOG #: VP-2-320L-315-4K7-4F-UNV-A-DBT

- FEATURES
- Low profile LED area/site luminaire with a variety ofIES distributions for lighting applications...
- Featuring two different optical technologies, Strike and Micro Strike Optics...

MICROSTRIKE STRIKE



UL us IP65 CONTROL TECHNOLOGY NX DISTRIBUTED INTELLIGENCE wISCAPE

- CONSTRUCTION
- Die-cast housing with hidden vertical heat fins are optimal for heat dissipation while keeping a clean smooth outer surface...
- Corrosion resistant, die-cast aluminum housing with 1000 hour powder coat paint finish...

- INSTALLATION (CONTINUED)
- Knockle arm filter option available for 2-3/8" OD tenon...
- For products with EPA less than 1 mounted to a pole greater than 20ft, a vibration damper is recommended...

- CONTROLS (CONTINUED)
- NX Distributed Intelligence™ available with In Fixture wireless control module...
- wISCAPE™ available with In Fixture wireless control module, features dimming and occupancy sensor...

- OPTICS
- Micro Strike Optics (60, 320, 480, or 720 LED counts) maximize uniformity in applications and come standard with mid-power LEDs which evenly illuminate the entire luminous surface area...

- ELECTRICAL
- Universal 120-277 VAC or 347-480 VAC input voltage, 50/60 Hz
- Ambient operating temperature -40°C to 40°C...
- Drivers have greater than 90% power factor and less than 29% THD...

- CERTIFICATIONS
- Meets the qualifications for DLC Premium
- Listed to UL 1598 and CSA C22.2 #2500-24 for wet locations and 40°C ambient temperatures...

KEY DATA table with columns for Lumen Range, Wattage Range, Efficacy Range, and Weight lbs. (kg).

BEACON VIPER Area/Site VIPER LUMINAIRE

DATE: LOCATION: Fairfax, VA TYPE: A PROJECT: Taco Bell CATALOG #: VP-2-320L-315-4K7-4F-UNV-A-DBT

DIMENSIONS

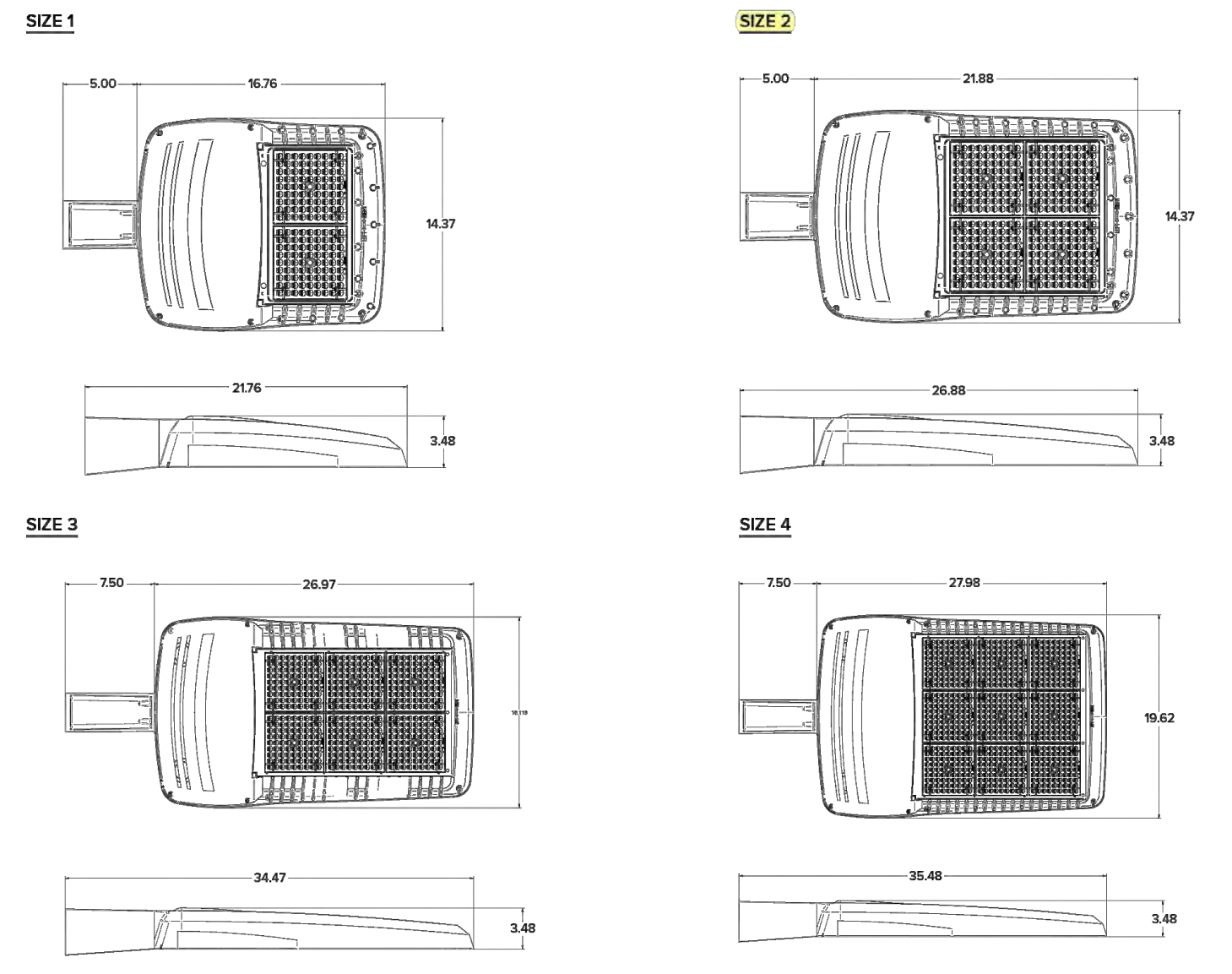


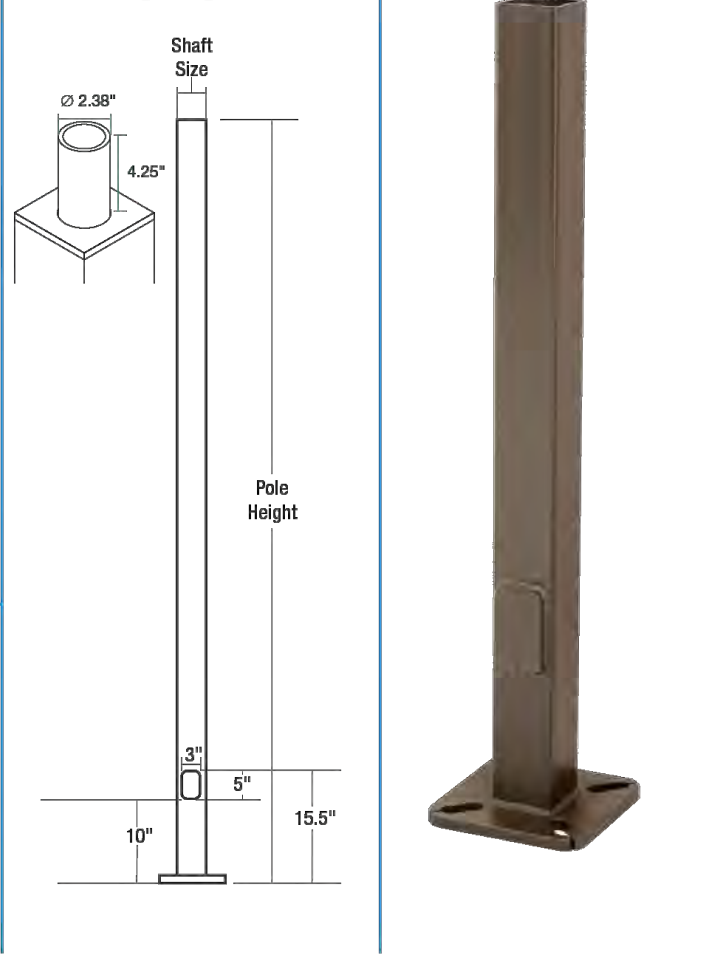
Table with columns for EPA (VP1-VP4), Weight (lbs, kgs), and Config. for different sizes and configurations.

SECURITY LIGHTING™ SES POLES SQUARE STEEL STRAIGHT POLES (SSP)

SES POLES SQUARE STEEL STRAIGHT POLES (SSP)

- Specifications
- The Square Steel Straight Pole has been successfully installed in projects of all types for over 30 years and has become the most popular and economical pole option...

Dimensions



Ordering Information section including a table for pole sizes (25, 40, 01), mounting options, drilling patterns, and colors.

BEACON VIPER Area/Site VIPER LUMINAIRE MICROSTRIKE OPTICS - ORDERING GUIDE

DATE: LOCATION: Fairfax, VA TYPE: A PROJECT: Taco Bell CATALOG #: VP-2-320L-315-4K7-4F-UNV-A-DBT Example: VP-2-320L-145-3K7-2-R-UNV-A3-BLT

Large ordering guide table with columns for Series, Optic Platform, Size, Light Engine, CCT/CRI, Distribution, Optic Rotation, and Voltage.

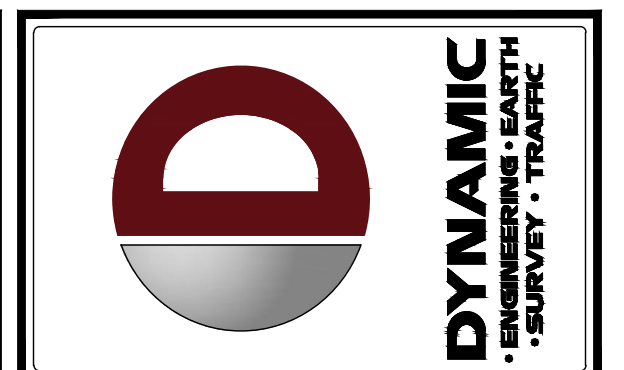
Options table with columns for Mounting, Color, Network Control Options, and Photocentrics.

BEACON VIPER Area/Site VIPER LUMINAIRE

DATE: LOCATION: PROJECT: CATALOG #:

MOUNTING

ASO-STRAIGHT ARM MOUNT, ASQU-UNIVERSAL ARM MOUNT, AAU-ADJUSTABLE ARM FOR POLE MOUNTING, ADU-DECORATIVE UPSWEPT ARM, MAF-MAST ARM FITTER, K-KNUCKLE, T-TRUNNION, WM-WALL MOUNT



Revision table with columns for Rev, Date, Description, and Comments.

Permitting and project information section including permit requirements and project details for Southpaw.

811 logo and text regarding utility location and protection requirements.

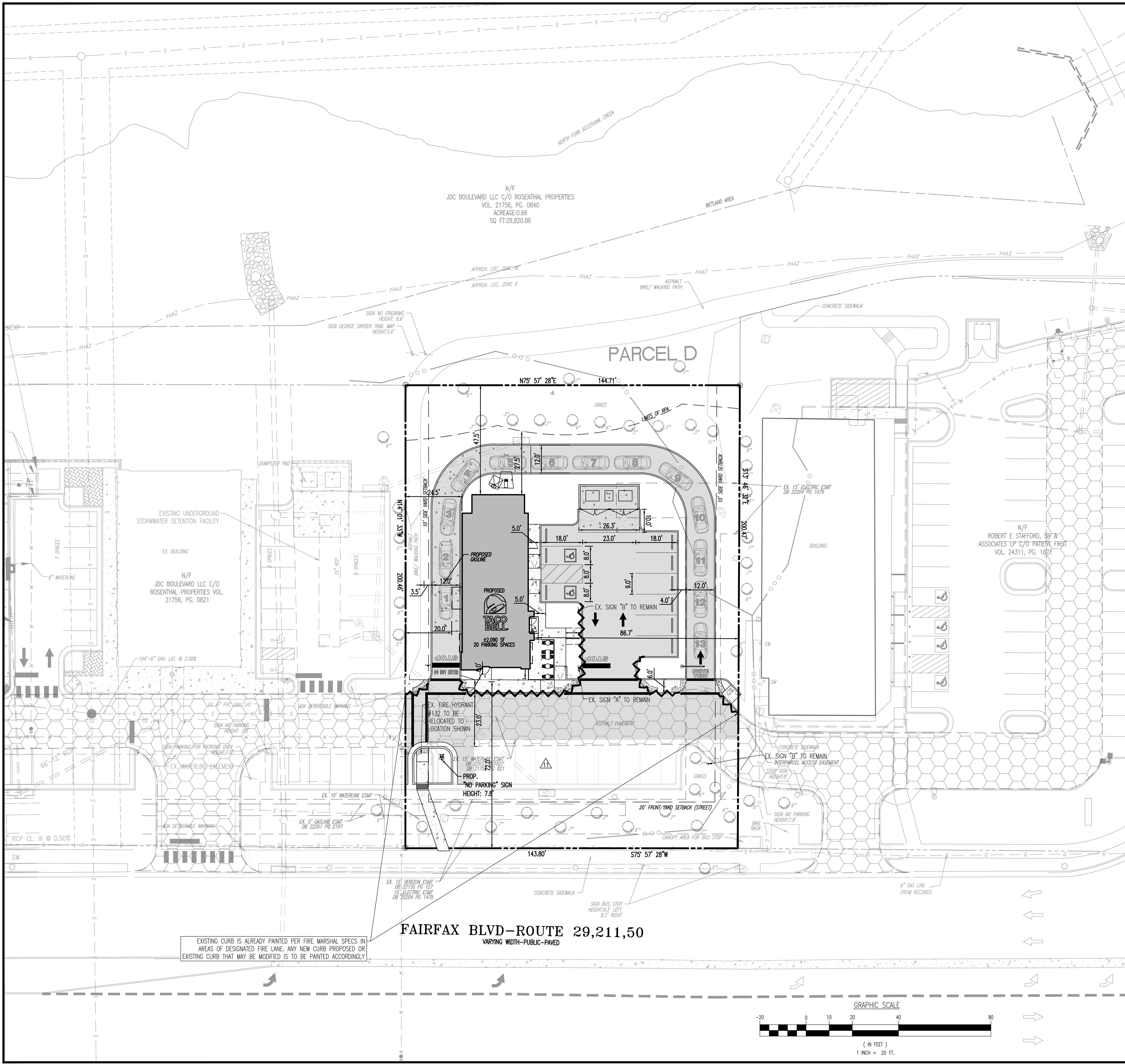
DYNAMIC ENGINEERING contact information including address, phone, and website.

CONNECT WITH US logo and social media information.

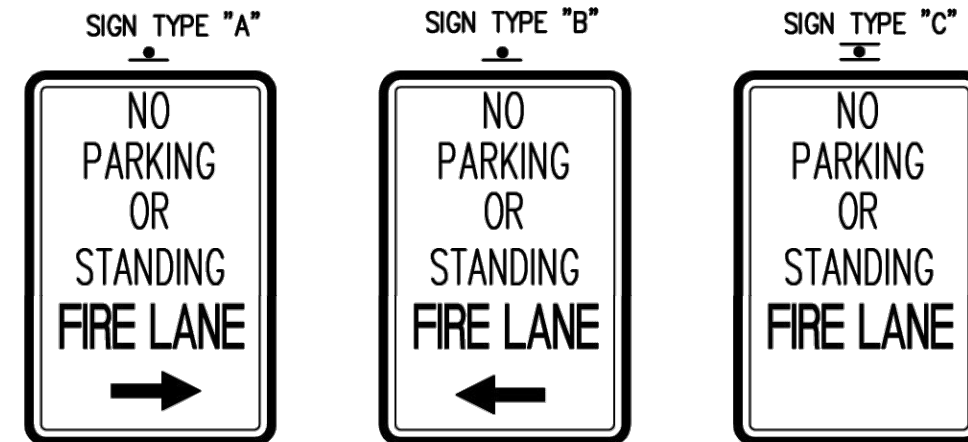
TITLE: LIGHTING DETAILS, SCALE, DATE: 01/18/2024, PROJECT No: 3486-22-01538, SHEET No: 14 OF 16.

Plotted: 07/22/24 File: \\d:\special\defenders\Data\DEFCP PROJECTS\4486 A8BD Capitol\22-01538 Fairfax, VA\Dwg\Special Exception Plans\LIGHTING DETAILS.dwg ->->-> 13 LIGHTING DETAILS

Plotted: 07/22/24 - 3:58 PM, By: esthang
File: \\depa\local\defolders\Data\DECPC\PROJECTS\466 ABE0\CD\Special\Exemption\Plns\0466220153BF50.dwg, ----> FIRE, MARSHAL PLAN



FIRE LANE NOTE:
FIRE MARSHAL FIELD INSPECTION NECESSARY FOR FINAL APPROVAL OF FIRE LANES. FIRE LANES MUST HAVE FINAL APPROVAL PRIOR TO REQUEST FOR OCCUPANCY PERMIT. OWNER SHALL NOTIFY FIRE PREVENTION DIVISION, FIRE LANE SECTION 4100 CHAIN BRIDGE ROAD SUITE 100, FAIRFAX, VIRGINIA 22030. WHEN FIRE LANES HAVE BEEN INSTALLED. (703) 246-4821.



SIGN TYPE "A"
STANDARD WORDING WITH AN ARROW AT BOTTOM POINTING TO THE RIGHT. ONE SIGN MOUNTED PARALLEL TO THE LINE OF CURBING OR PAVEMENT EDGE AT END OF PAINTED AREA.

SIGN TYPE "B"
STANDARD WORDING WITH AN ARROW AT BOTTOM POINTING TO THE LEFT. ONE SIGN MOUNTED PARALLEL TO THE LINE OF CURBING OR PAVEMENT EDGE AT END OF PAINTED AREA.

SIGN TYPE "C"
STANDARD WORDING WITH NO ARROW. TWO SIGNS, BACK TO BACK, MOUNTED PERPENDICULAR TO LINE OF CURBING OR PAVEMENT EDGE.

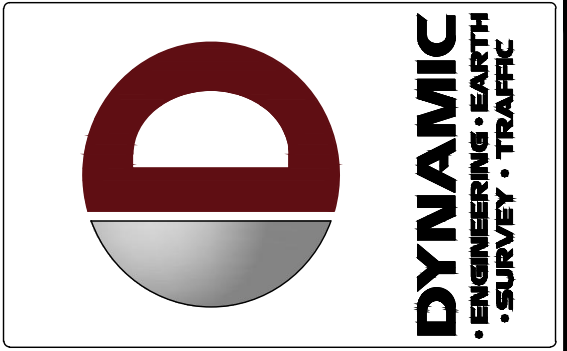
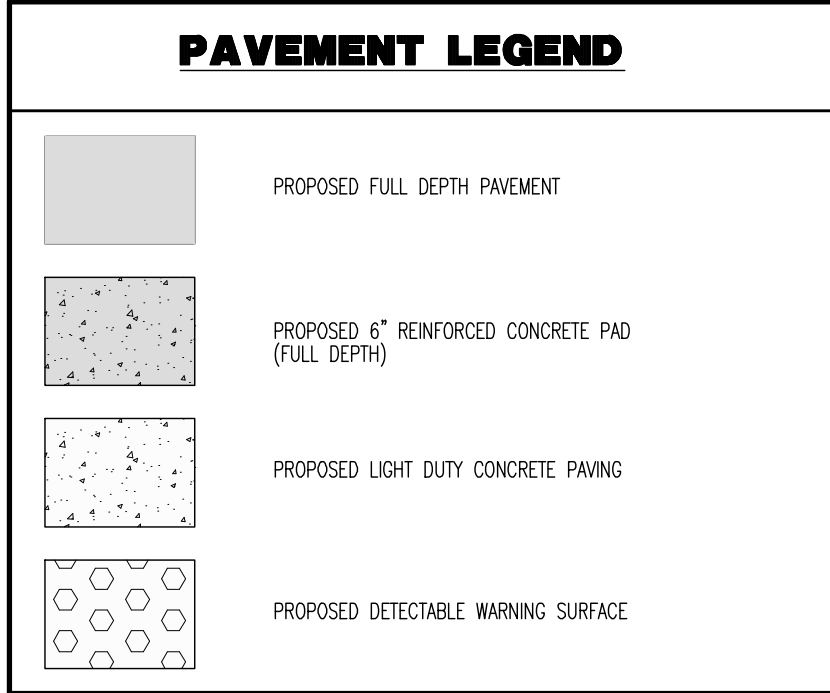
SIGN SPECIFICATIONS

1. METAL CONSTRUCTION, 12" X 18".
2. RED LETTERS ON WHITE REFLECTIVE BACKGROUND WITH 3/8" RED TRIM STRIP AROUND ENTIRE OUTER EDGE OF SIGN.
3. LETTERING ON SIGN TO BE: "NO PARKING" AND "STANDING" - 2".
4. LETTERING SIZE TO BE AS FOLLOWS: "NO PARKING" AND "STANDING" - 2", "OR" - 1", "FIRE LANE" - 2 1/2". ARROWS 1" X 6" SOLID SHAFT WITH A SOLID HEAD 1 1/2" WIDE AND 2" DEEP.
5. SIGNS ARE TO BE MOUNTED 7" FROM THE GROUND TO THE BOTTOM OF THE SIGN UNLESS OTHERWISE DIRECTED BY THE FAIRFAX COUNTY FIRE PREVENTION DIVISION, FIRE LANES SECTION.
6. POSTS FOR SIGNS, WHEN REQUIRED, SHALL BE METAL AND SECURELY MOUNTED, UNLESS WRITTEN PERMISSION FOR ALTERNATIVES IS OBTAINED PRIOR TO INSTALLATION FROM FAIRFAX COUNTY PREVENTION DIVISION, FIRE LANES SECTION.
7. OTHER SPECIAL SIGNS AS APPROVED BY THE FIRE PREVENTION DIVISION.
8. NORMAL SPACING BETWEEN SIGNS FOR LONG RUNS OF CURB OR PAVEMENT WITH NO BREAK IN CURB OR PAVEMENT IS 70'. THIS DISTANCE MAY VARY AS NEEDED. WRITTEN PERMISSION FROM THE FIRE PREVENTION DIVISION IS REQUIRED PRIOR TO PLACING SIGNS FURTHER THAN 70' APART.

FIRE FLOW DATA:

HYDRANT NUMBER: 47-4-132
STATIC PRESSURE: 86 PSI
RESIDUAL PRESSURE: 75 PSI AT 1000 gpm
FIRE FLOW Q20: 2,600 gpm
INFORMATION FURNISHED FROM FAIRFAX WATER, TELEPHONE #: 698-5600, EXT. 343

FIRE FLOW DATA WAS OBTAINED FROM PRIOR SITE PLAN AND FAIRFAX WATER.
CURB TO BE PAINTED YELLOW TO SIGNIFY FIRE LANE. IN AREAS SHOWN WITH NO CURB, A 6" WIDE YELLOW STRIPE SHALL BE APPLIED TO EDGE OF PAVEMENT

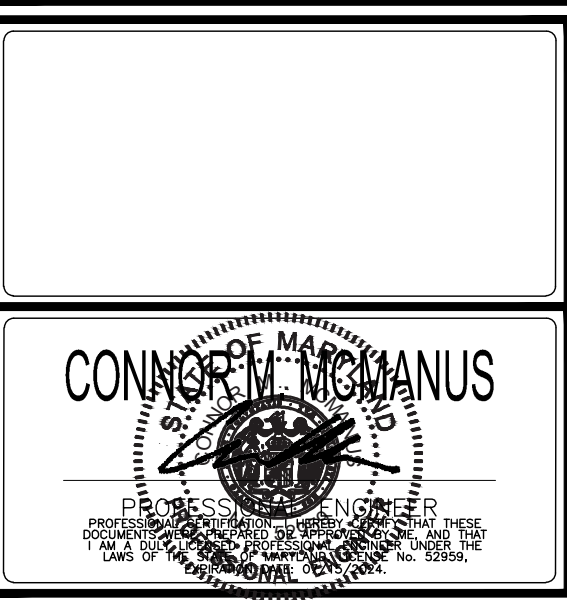


REV.	DATE	COMMENTS
1	07/22/24	CDP SET SECOND SUBMITTAL
0	07/18/24	CDP SET FIRST SUBMISSION

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	DESIGNED BY: JJ	CM: CM
	PROJECT: SOUTHPAW PROPOSED TACO BELL FAST FOOD RESTAURANT W/ DRIVE-THRU	BOULEVARD, MARKETPLACE, PARCEL D
	10120 FAIRFAX BOULEVARD, SUITE 100, FAIRFAX COUNTY, VIRGINIA	CITY OF FAIRFAX, FAIRFAX COUNTY, VIRGINIA

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TITLE: FIRE MARSHAL PLAN
SCALE: (H) AS NOTED (V) - - - - DATE: 01/18/2024
PROJECT No: 3486-22-01538
SHEET No: 15 OF 16 Rev. #:

Site Information

Post-Development Project (Treatment Volume and Loads)

Enter Total Disturbed Area (acres) → **0.43**

Maximum reduction required:	10%
The site's net increase in impervious cover (acres) is:	1.19
Post-Development TP Load Reduction for Site (lb/yr):	0.83

Pre-ReDevelopment Land Cover (acres)

	A Soils	B Soils	C Soils	D Soils	Totals
Forest (acres) -- undisturbed, protected forest or reforested land		0.58			0.58
Mixed Open (acres) -- undisturbed/inrequently maintained grass or shrub land				1.00	1.00
Managed Turf (acres) -- disturbed, graded for yards or other turf to be mowed/managed				1.03	1.03
Impervious Cover (acres)				0.55	0.55
					3.16

Post-Development Land Cover (acres)

	A Soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) -- undisturbed, protected forest or reforested land		0.58			0.58
Mixed Open (acres) -- undisturbed/inrequently maintained grass or shrub land					0.00
Managed Turf (acres) -- disturbed, graded for yards or other turf to be mowed/managed				0.84	0.84
Impervious Cover (acres)				1.74	1.74
Area Check	OK.	OK.	OK.	OK.	3.16

* Forest & Mixed Open areas must be protected in accordance with the Virginia Runoff Reduction Method or other applicable DEQ guidelines

Site Results (Water Quality Compliance) VRRM 4.1, 2024

Area Checks	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	AREA CHECK
FOREST (ac)	0.00	0.00	0.00	0.00	0.00	OK.
MIXED OPEN (ac)	0.00	0.00	0.00	0.00	0.00	OK.
MIXED OPEN AREA TREATED (ac)	0.00	0.00	0.00	0.00	0.00	OK.
MANAGED TURF AREA (ac)	0.18	0.02	0.00	0.00	0.00	OK.
MANAGED TURF AREA TREATED (ac)	0.18	0.02	0.00	0.00	0.00	OK.
IMPERVIOUS COVER (ac)	0.70	1.04	0.00	0.00	0.00	OK.
IMPERVIOUS COVER TREATED (ac)	0.70	1.04	0.00	0.00	0.00	OK.
AREA CHECK	OK.	OK.	OK.	OK.	OK.	

Site Treatment Volume (ft³) **6,825**

Runoff Reduction Volume and TP By Drainage Area

	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	TOTAL
RUNOFF REDUCTION VOLUME ACHIEVED (ft ³)	0	0	0	0	0	0
TP LOAD AVAILABLE FOR REMOVAL (lb/yr)	0.75	0.91	0.00	0.00	0.00	1.66
TP LOAD REDUCTION ACHIEVED (lb/yr)	0.38	0.45	0.00	0.00	0.00	0.83
TP LOAD REMAINING (lb/yr)	0.38	0.45	0.00	0.00	0.00	0.83
NITROGEN LOAD REDUCTION ACHIEVED (lb/yr)	0.00	0.00	0.00	0.00	0.00	0.00

Total Phosphorus

FINAL POST-DEVELOPMENT TP LOAD (lb/yr)	2.24
TP LOAD REDUCTION REQUIRED (lb/yr)	0.83
TP LOAD REDUCTION ACHIEVED (lb/yr)	0.83
TP LOAD REMAINING (lb/yr)	1.41
REMAINING TP LOAD REDUCTION REQUIRED (lb/yr):	0.00 **

**No further TP load reduction required (Required - Achieved < 0.005 lb/yr)

Total Nitrogen (For Information Purposes)

POST-DEVELOPMENT LOAD (lb/yr)	29.63
NITROGEN LOAD REDUCTION ACHIEVED (lb/yr)	0.00
REMAINING POST-DEVELOPMENT NITROGEN LOAD (lb/yr)	29.63

STORMFILTER (BMP) SIZING COMPUTATIONS

(FROM MANUFACTURER, CONTECH STORMWATER SOLUTIONS, www.contech-cpl.com)



Boulevard Marketplace Stormwater Treatment System/Design Summary

Fairfax City, VA

Information provided:

- West Side -- Area 2
 - Total Area = 1.3 acres
 - Rational C Factor = 0.79
- East Side
 - Total Area = 0.77 acres
 - Rational C Factor = 0.80
- Presiding agency = VDCR

Assumptions:

- Design storm = Modified Rational method
- Rainfall intensity = 0.35in/hr (currently accepted by the VDCR)
- Media = Zeolite/Perlite/GAC (50% TP removal credit)
- Drop required from inlet to outlet = 1.75' for 12", 2.3' for 18", 3.05' for 27" cartridge heights
- Depth required from rim to outlet = 5.5' minimum

Size estimates:

The Stormwater Management StormFilter® is a passive, siphon-actuated, flow-through stormwater filtration system consisting of a structure that houses rechargeable, media-filled filter cartridges. The StormFilter works by passing stormwater through the media-filled cartridges, which trap particulates and adsorb pollutants such as dissolved metals, nutrients, and hydrocarbons. Depending on site constraints, CONTECH offers three different StormFilter cartridge sizes: 12", 18", and 27" tall. The StormFilter system is VDCR verified and as a result has received approval for 80% TSS and 50% TP removal.

The StormFilter is a flow-based system utilizing cartridges flowing at 2 gpm/ft² of filter media. The system is sized by calculating the peak water quality flow rate associated with the design storm. The water quality flow rate was calculated using the Modified Rational Method assuming a rainfall intensity of 0.35 inches per hour.

West Side -- Area 2:

Given the information above the treatment flow rate was determined to be:

$$Q_{max} = CIA = 0.79 \times 0.35 \times 1.3 = 0.36 cfs$$

$$N_{cartridges} = \frac{Q_{max} \times 449 \frac{cm^3}{ft^3}}{SA_{cartridge} \times Q_{operating}} = \frac{0.36 cfs \times 449 \frac{cm^3}{ft^3}}{7.5 ft^2 \times 2 \frac{gpm}{ft^2}} = 10.8 \rightarrow \text{use (11) 18" cartridges}$$

To accommodate a treatment flow rate of 0.38 cfs, CONTECH Stormwater Solutions recommends using a 96" Precast Manhole StormFilter system with (11) 18" tall cartridges (see attached detail). The 18" tall cartridge contains 7.5 square feet of media surface and a radial media flow depth of seven inches. The

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521 Progress Drive, Suite H, Linthicum, MD 21090
Tel: 666.966.4400 Fax: 666.376.8511

TS-8025



Sizing Summary

Estimated cost of this system, complete and delivered to the job site, is available upon request. The contractor is responsible for setting the StormFilter vault and all external piping.

East Side:

Given the information above the treatment flow rate was determined to be:

$$Q_{max} = CIA = 0.80 \times 0.35 \times 0.77 = 0.22 cfs$$

$$N_{cartridges} = \frac{Q_{max} \times 449 \frac{cm^3}{ft^3}}{SA_{cartridge} \times Q_{operating}} = \frac{0.22 cfs \times 449 \frac{cm^3}{ft^3}}{7.5 ft^2 \times 2 \frac{gpm}{ft^2}} = 6.6 \rightarrow \text{use (7) 18" cartridges}$$

To accommodate a treatment flow rate of 0.21 cfs, CONTECH Stormwater Solutions recommends using a 72" Precast Manhole StormFilter system with (7) 18" tall cartridges (see attached detail). The 18" tall cartridge contains 7.5 square feet of media surface and a radial media flow depth of seven inches. The estimated cost of this system, complete and delivered to the job site, is available upon request. The contractor is responsible for setting the StormFilter vault and all external piping.

Online / Offline

The Precast StormFilter is designed as an offline system to reduce the chances of sediment washout during higher intensity storms. CONTECH Stormwater Solutions offers a high-flow bypass, the StormGate, which provides a combination weir-orifice control structure to limit the flow to the StormFilter.

Maintenance

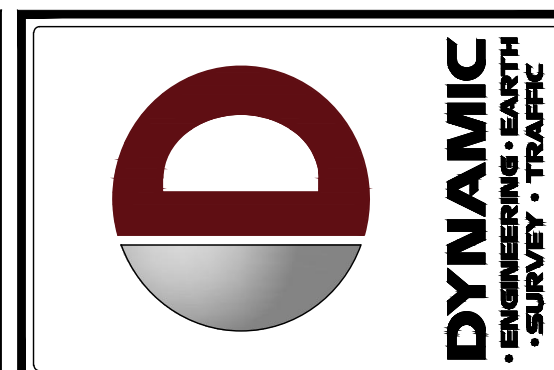
The StormFilter requires regular maintenance to operate effectively. The expected maintenance interval for systems in Virginia is 12-24 months, but may vary depending on weather and site conditions. CONTECH Stormwater Solutions Inc. offers full maintenance services to all of our clients, as well as a cartridge exchange program to facilitate owner provided maintenance. Please contact CONTECH Stormwater Solutions or navigate to contechstormwater.com for more information in this regard.

Thank you for the opportunity to present this to you and your client.

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Tel: 666.966.4400 Fax: 666.376.8511

TS-8025



REV.	DATE	COMMENTS
1	07/22/24	CDP SET SECOND SUBMITTAL
0	07/18/24	CDP SET FIRST SUBMISSION

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PROJECT: **SOUTHPAW PROPOSED TACO BELL FAST FOOD RESTAURANT W/ DRIVE-THRU**
BOULEVARD, MARKETPLACE, PARCEL D
10120 FAIRFAX BOULEVARD
CITY OF FAIRFAX, FAIRFAX COUNTY, VIRGINIA

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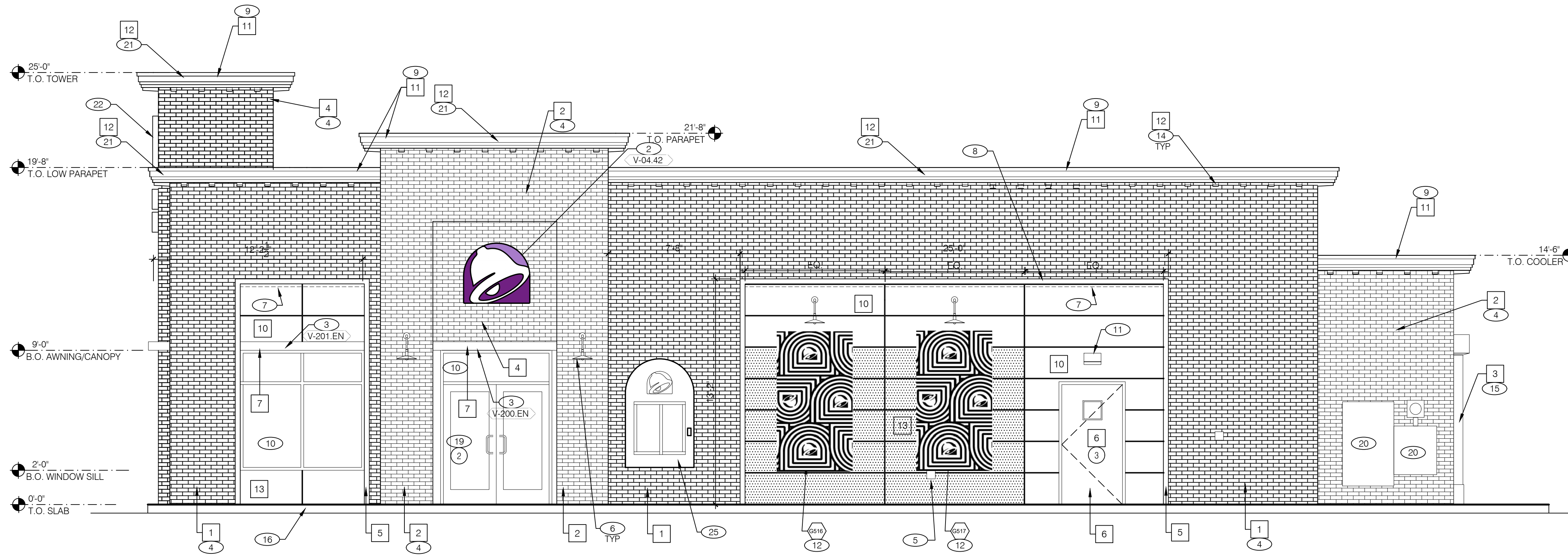
CONTECH SOLUTIONS
STORMWATER SOLUTIONS

TITLE: **SWM AND BMP ANALYSIS**

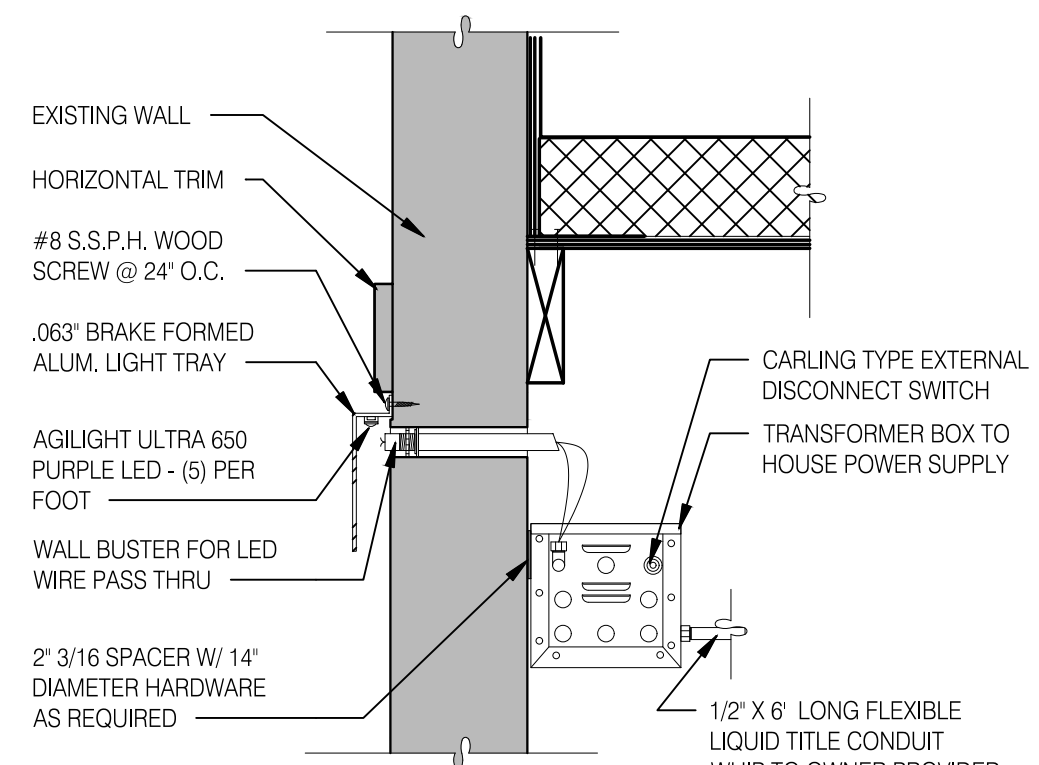
SCALE: (H) AS NOTED DATE: 01/18/2024
PROJECT No: 3486-22-01538

SHEET No: **16** OF 16
Rev. #: 1

Plotted: 07/22/24 - 3:58 PM, By: ezhenng
File: \\deppcal\local\defolders\Data\DECPC\PROJECTS\3486 ABD Capital\22-01538 Fairfax VA\DWG\Special Exception Plans\034862201538SWM.dwg, ----> SWM BMP ANALYSIS



RIGHT SIDE ELEVATION 1/4"=1'-0" **1**



LED WALL WASHER DETAIL **F**

NOTE: SIGNAGE UNDER SEPARATE PERMIT

V-XXX	QTY	ITEM DESCRIPTION	ELEC
TOWER			
V-04.42	2	42" SWINGING BELL PURPLE LOGO FACE LIT	A4.1
V-09.14W	2	14" WHITE CHANNEL LETTERS VERTICAL	A4.1
SIDE ENTRY			
V-04.42	1	42" SWINGING BELL PURPLE LOGO FACE LIT	A4.0
V-200.EN	1	6'-4" x 6'-3" SIDE ENTRY CANOPY, BLACK	A4.0
DRIVE THRU			
V-101.DT	1	4'-0" x 9'-0" DT CANOPY, BLACK	A4.1
V-XX.PP	1	4'-0" x 6'-0" PP WINDOW CANOPY, BLACK	A4.1
REAR			
V-04.24	1	24" SWINGING BELL PURPLE LOGO FACE LIT	A4.1
V-09.14W	1	14" WHITE CHANNEL LETTERS VERTICAL	A4.1
EYEBROW AWNINGS			
V-202.EN	1	16'-10"L x 6"H x 1'-4"D, FRONT EYEBROW, BLACK	A4.1
V-203.EN	1	7'-9"L x 6"H x 1'-4"D, DT EYEBROW, BLACK	A4.1
V-201.EN	1	12'-3"L x 6"H x 1'-4"D, SIDE ENTRY EYEBROW, BLACK	A4.0

SIGNAGE / AWNING SCHEDULE **E**

MISCELLANEOUS
A. SEE SHEET A1.1 'WINDOW TYPES' FOR WINDOW ELEVATIONS.

SEALERS (REFER TO SPECS):
A. SEALANT AT ALL WALL AND ROOF PENETRATIONS.
B. SEALANT AT ALL WINDOW AND DOOR FRAMES AT HEAD AND JAMB. DO NOT SEAL SILL @ WINDOWS.
C. APPLY NEOPRENE GASKET (CONT.) BETWEEN BUILDING & CANOPY.

CRITICAL DIMENSIONS:
A. REQUIRED CLEAR OPENING WIDTH TO ENSURE COORDINATION WITH STANDARD SIGNAGE/ BUILDING ELEMENTS DIMENSIONS.

NOTE: NO EXTERIOR SIGNS ARE WITHIN THE SCOPE OF WORK COVERED BY THE BUILDING PERMIT APPLICATION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE INSTALLATION OF ALL EXTERIOR SIGNS AND INSTALLATION OF REQUIRED BLOCKING AND ELECTRICAL CONNECTIONS FOR FINAL APPROVED SIGNS.

GENERAL NOTES **C**

(X)	NAME	FAMILY	FRAME OR MURB	SIZE	LOCATION
(6516)	HYPNOTIZE ME BELL	D	M02	48x96	A4.0
(6517)	HYPNOTIZE ME BELL	D	M02	48x96	A4.0
(6518)	HYPNOTIZE ME BELL	D	M02	48x96	A4.1

PAINTING

- A. APPLICATOR MUST DO THEIR DUE DILIGENCE WITH PREPARATION.
B. PRIMER: 1 COAT SW A24W8300, LOXON CONCRETE & MASONRY PRIMER
FINISH: 2 COATS SW A82-100 SERIES, MATCH COLORS FROM MATERIAL SCHEDULE.
A-100 EXTERIOR LATEX SEMI-GLOSS

PAINT NOTES **A**

SYMBOL	AREA	MANUFACTURER	MATERIAL SPEC.	COLOR	CONTACT INFORMATION
1	FIELD BRICK	GLEN GERY	BRICK	BURN ALMOND	
2	ACCENT BRICK	GLEN GERY	BRICK	RED CLIFF	
3	DOWNSPOUTS	-	-	SHERWIN WILLIAMS SW7043 "WORLDLY GRAY", SEMI-GLOSS	
4	ACCENT BRICK	TAYLOR	BRICK	ROYAL SALISBURY	
5	HARDIE TRIM	JAMES HARDIE	HARDIE TRIM 5/4 SMOOTH 1" x 5 1/2"	SHERWIN WILLIAMS SW7076 "CYBERSPACE", SEMI-GLOSS	
6	HOLLOW METAL DOOR	-	-	CYBERSPACE (SW7076), SEMI-GLOSS	
7	AWNINGS	SIGNAGE VENDOR	-	BLACK BY THE SIGNAGE VENDOR	
8	CORNER TOWER	TAYLOR	BRICK	ROYAL SALISBURY	
9	RECESS OF SIDE ENTRY PORTAL	TAYLOR	BRICK	ROYAL SALISBURY	
10	HARDIE PANEL	JAMES HARDIE	PANEL SYSTEM SMOOTH	SW PURPLE TB2603C, SEMI-GLOSS	
11	METAL PARAPET CAP	-	24GA GALVANIZED	SHERWIN WILLIAMS SW7076 "CYBERSPACE" KYNAR 500 COATING	
12	CORNICE TRIM	-	-	SHERWIN WILLIAMS SW7043 "WORLDLY GRAY", SEMI-GLOSS	
13	HARDIE PANEL	JAMES HARDIE	PANEL SYSTEM SMOOTH	SHERWIN WILLIAMS SW7076 "CYBERSPACE", SEMI-GLOSS	

NOTE: FOR CONTACT INFORMATION, SEE C/A7.2 **EXTERIOR FINISH SCHEDULE** **D**

- 1 MECHANICAL UNIT BEYOND. PAINT TO MATCH MAIN BUILDING COLOR. SEE ROOF PLAN.
- 2 BUILDING SIGNAGE BY VENDOR. CONTRACTOR TO COORDINATE WITH VENDOR FOR RELATED REQUIREMENTS.
- 3 METAL CANOPY / AWNING BY VENDOR. CONTRACTOR TO COORDINATE WITH VENDOR FOR RELATED REQUIREMENTS.
- 4 BRICK.
- 5 HOSE BIB BOX AT 18" A.F.F. REFER TO PLUMBING. SEE DETAIL 12/A6.1
- 6 LIGHT SCONCE. REFER. ELEC. DRAWINGS. SEE DETAIL F/A4.0
- 7 PURPLE LIGHT WALL WASHER, PROVIDED BY SIGNAGE VENDOR.
- 8 DASHED LINE INDICATES ROOF PLANE.
- 9 METAL PARAPET CAP. SEE DETAIL 12/A6.6.
- 10 DRIVE THRU / STOREFRONT WINDOW. SEE SHEET A1.0 & A1.1.
- 11 WALL PACK LIGHT FIXTURE. REF. ELEC. DRAWINGS
- 12 EXTERIOR EXPRESSION PANEL.
- 13 ASSUME D/T LANE SURFACE IS 6" BELOW THE FINISH FLOOR. REFER TO GRADING & SITE PLAN
- 14 PREFABRICATED DECORATIVE DENTILS
- 15 SCUPPER, COLLECTOR, AND VERTICAL DOWNSPOUT 6" MIN. PAINT TO MATCH ADJACENT WALL.
- 16 CONCRETE CURB. REF. CIVIL
- 17 OVERFLOW SCUPPER, SEE ROOF PLAN

- 18 BOLLARD, PAINT CAUTION YELLOW; REF CIVIL
- 19 STOREFRONT DOOR. REFER TO DOOR SCHEDULE.
- 20 ELECTRICAL GEAR. RE: ELECTRICAL DRAWINGS
- 21 PREFABRICATED CORNICE TRIM
- 22 TOWER BEYOND
- 23 PATIO RAIL. BY G.C.
- 24 PATIO UMBRELLA
- 25 PICK UP WINDOW

KEY NOTES **B**



GLMV ARCHITECTURE
1525 E. Douglas, Wichita, KS 67211
Tel: (316) 265-9367

4.19.23

22772R23001

CONTRACT DATE: XX.XX.XXXX
BUILDING TYPE: SMALL EN
PLAN VERSION:
BRAND DESIGNER: -
SITE NUMBER:
STORE NUMBER:

TACO BELL
10120 FAIRFAX BLVD.
FAIRFAX, VA



EXTERIOR ELEVATION:

A4.0

22772R23001

CONTRACT DATE: XX.XX.XXXX
 BUILDING TYPE: SMALL END
 PLAN VERSION:
 BRAND DESIGNER:
 SITE NUMBER:
 STORE NUMBER:

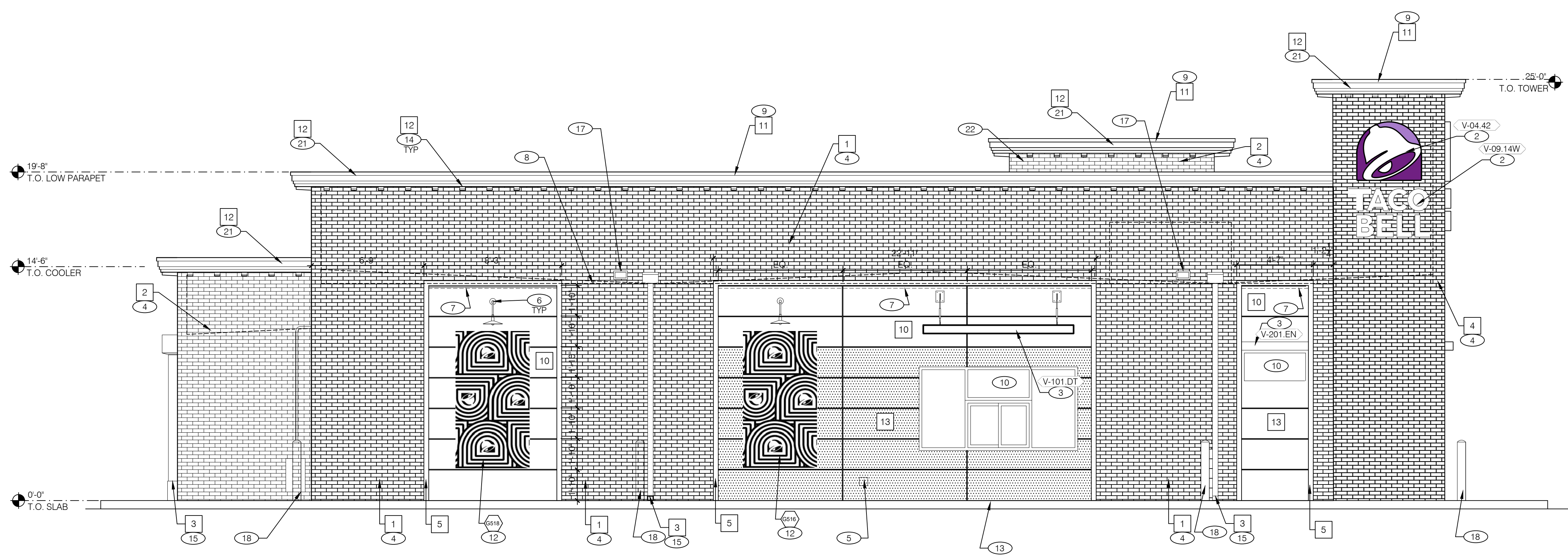
TACO BELL
 10120 FAIRFAX BLVD.
 FAIRFAX, VA



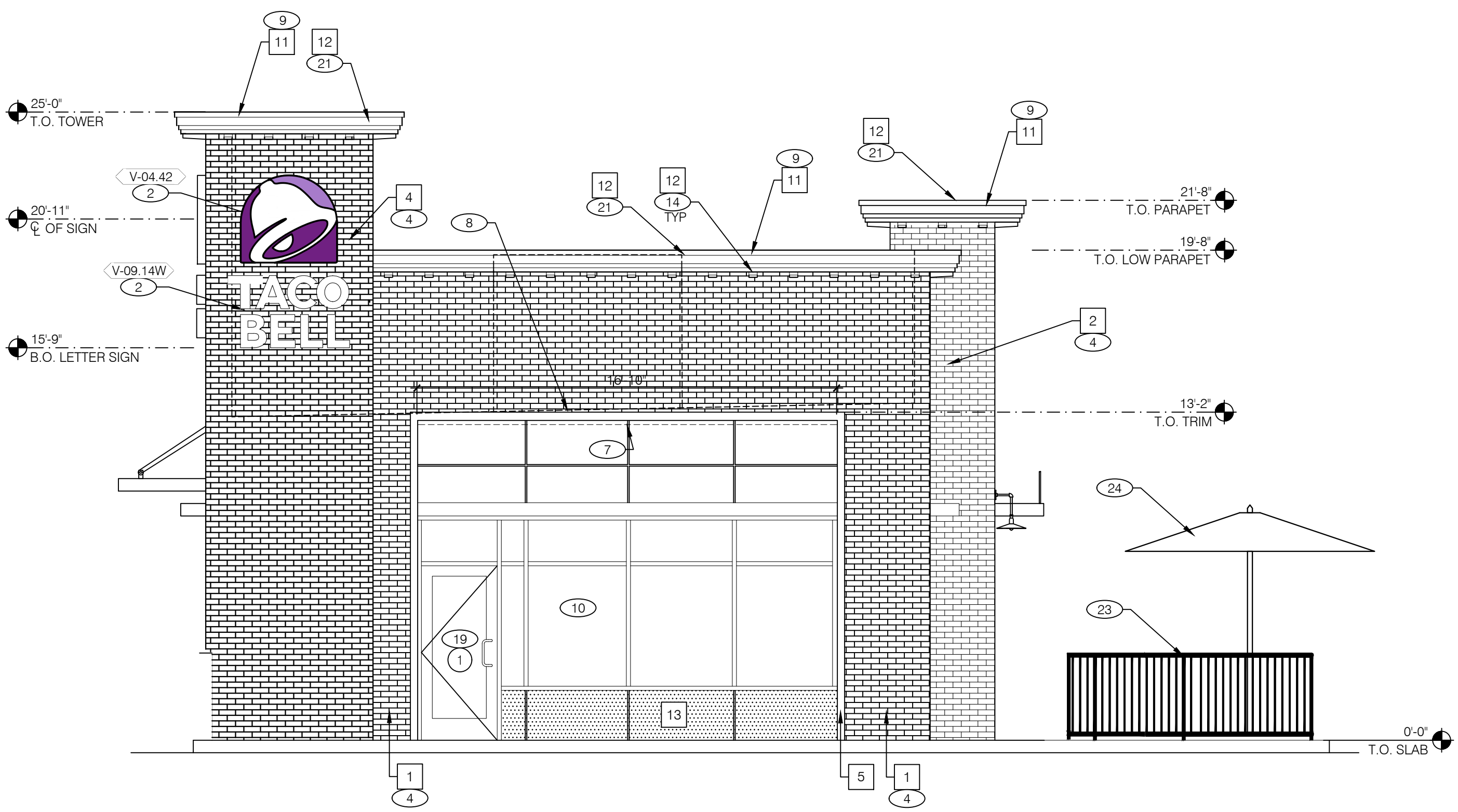
ENDEAVOR 2.0

EXTERIOR ELEVATIONS
A4.1

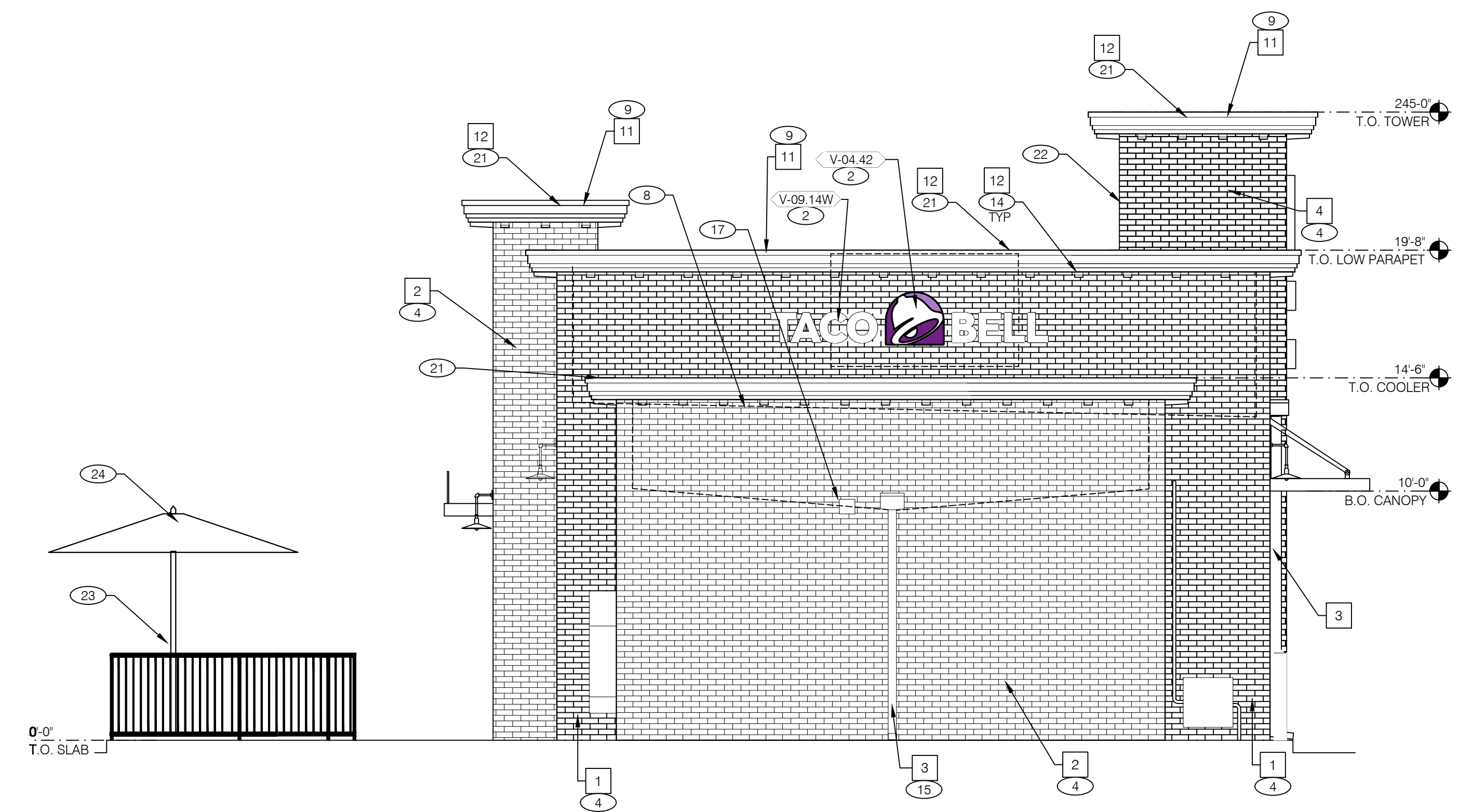
RP



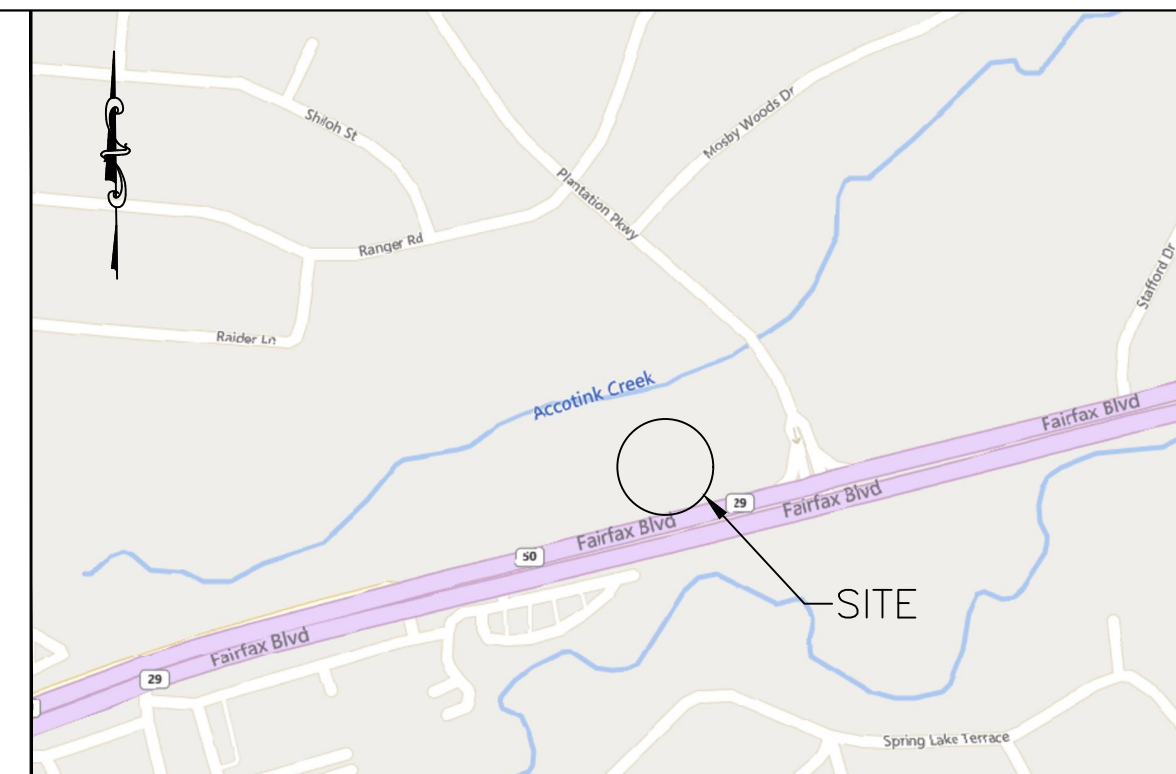
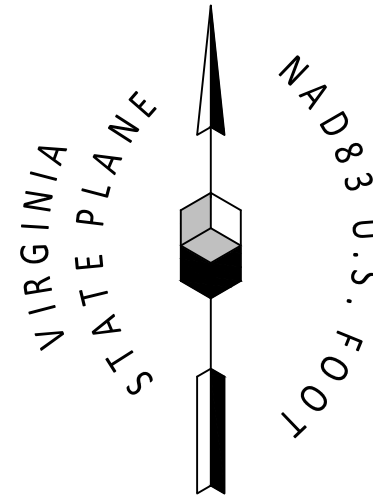
LEFT SIDE ELEVATION 1/4" = 1'-0" **1**



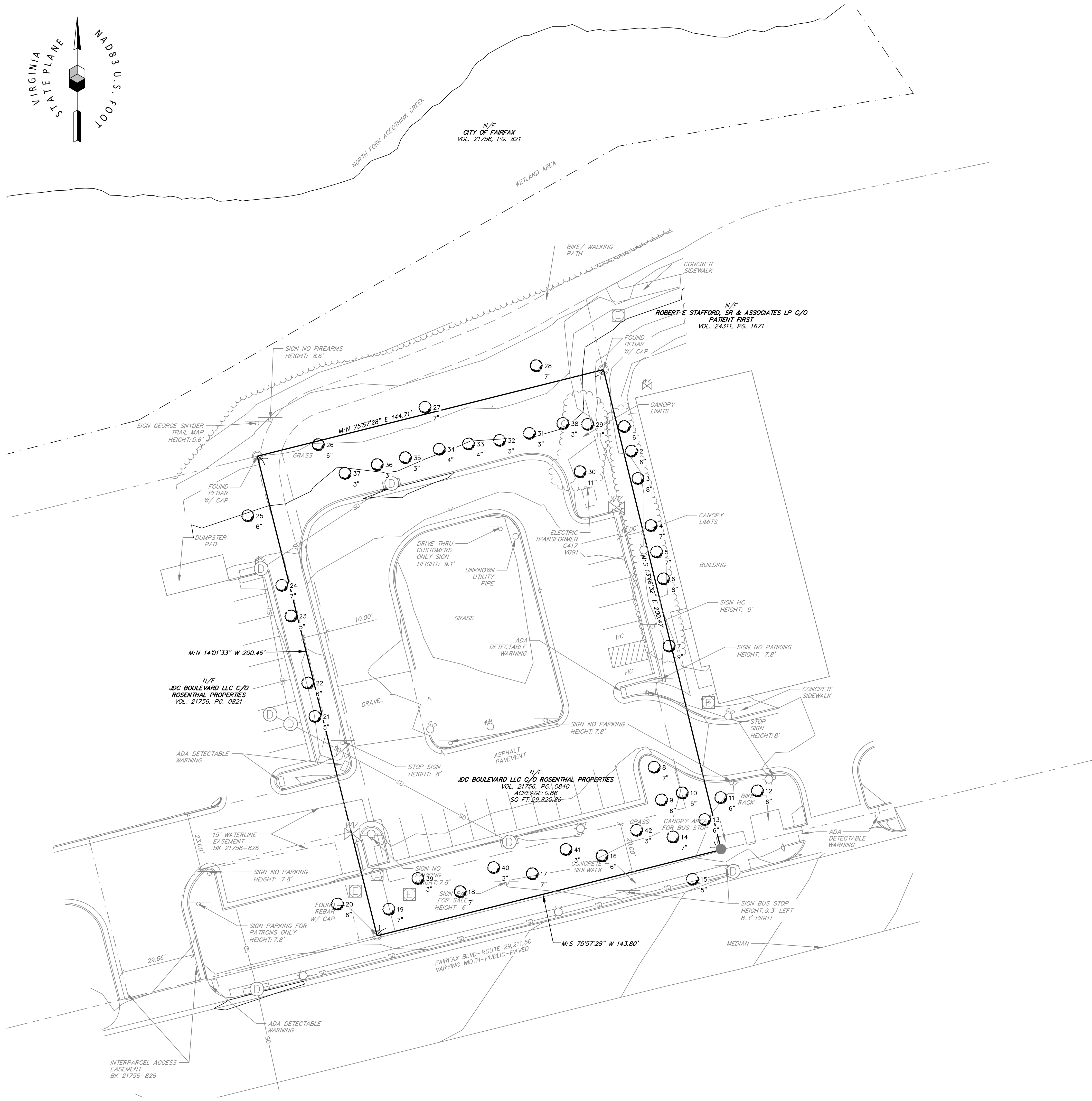
FRONT ELEVATION 1/4" = 1'-0" **2**



REAR ELEVATION 1/4" = 1'-0" **3**



LOCATION MAP

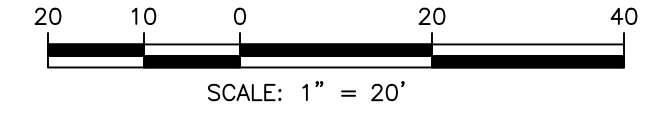


Tree Inventory			
Tree No.	Caliper	Name	Notes
1	6"	REDBUD	
2	6"	REDBUD	
3	8"	REDBUD	
4	7"	REDBUD	
5	7"	REDBUD	
6	8"	REDBUD	
7	9"	OAK	
8	7"	OAK	
9	6"6"5"4"	BIRCH	Mult-stem
10	5"5"5"4"	BIRCH	Mult-stem
11	6"	MAPLE	
12	6"	MAPLE	
13	6"6"6"5"	BIRCH	Mult-stem
14	7"	LINDEN	
15	5"	CHERRY	
16	6"	LINDEN	
17	7"	LINDEN	
18	7"	LINDEN	
19	7"	LINDEN	
20	6"	PERSIMMON	
21	5"3"	BIRCH	Mult-stem
22	6"5"5"4"	BIRCH	Mult-stem
23	5"5"4"	BIRCH	Mult-stem
24	7"6"5"	BIRCH	Mult-stem
25	6"5"4"	BIRCH	Mult-stem
26	6"	OAK	
27	7"	OAK	
28	7"	OAK	
29	11"	OAK	
30	11"	OAK	
31	3"3"3"2"	SERVICEBERRY	Mult-stem
32	3"3"3"2"	SERVICEBERRY	Mult-stem
33	4"3"3"2"	SERVICEBERRY	Mult-stem
34	4"3"3"2"2"2"2"	SERVICEBERRY	Mult-stem
35	3"3"2"2"2"	SERVICEBERRY	Mult-stem
36	3"3"2"2"2"	SERVICEBERRY	Mult-stem
37	3"3"2"2"2"	SERVICEBERRY	Mult-stem
38	3"3"2"2"2"	SERVICEBERRY	Mult-stem
39	3"3"2"2"2"	SERVICEBERRY	Mult-stem
40	3"3"2"2"2"	MAGNOLIA MULTI	Mult-stem
41	3"3"2"2"2"2"2"	MAGNOLIA MULTI	Mult-stem
42	3"2"2"1"1"	MAGNOLIA MULTI	Mult-stem

GENERAL NOTES:
 TREE IDENTIFICATION IS THE OPINION OF THE SURVEYOR ONLY AND HAS NOT BEEN CONFIRMED BY A CERTIFIED ARBORIST.



Raymond Bruce Chamber



1 1/8 5/8/23 SHEET 2 TREE SURVEY ADDED

REV: BY: DATE: STATUS:

THIS PLAN SHALL NOT BE MOVED WITHOUT WRITTEN PERMISSION. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK.

111 CHINGHAM ROAD
ANNAPOLIS, MD 21401
410-220-5615

TREE SURVEY
OF:
10120 FAIRFAX BLVD
FAIRFAX, VA

FOR:
SOUTH PAW-DAVID PANELLA
354 AMITY ROAD, SUITE 200
WOODBRIIDGE, CT 06525

RECORD OWNER:
JDC BOULEVARD, LLC
C/O ROSENTHAL PROPERTIES

DRAWN: NP/MG/AR
CHECKED: RD

PROJECT NO.: 22320.10
DATE: 5/04/22

SHEET SIZE: 24" x 36"
SCALE: 1" = 20'

SHEET 2 OF 2