



City of Fairfax

GATEWOOD PLAZA

#10201 FAIRFAX BOULEVARD

REZONING / SPECIAL USE PLAT / SPECIAL EXCEPTION PLAT

NOTES

- OWNER/APPLICANT:
10201 FAIRFAX BOULEVARD LLC
C/O GEORGE HONG
PO BOX 8890
FALLS CHURCH, VA 22041
- THE PROPERTY SHOWN HEREON IS DESIGNATED BY THE CITY OF FAIRFAX COUNTY AS PARCEL IDENTIFICATION NUMBER 57-2-02-034 AND IS SPLIT ZONED CR AND RM (PER CITY OF FAIRFAX RECORDS).
- THE APPLICANT PROPOSES TO REZONE THE PROPERTY FROM SPLIT CR AND RM ZONING DISTRICTS TO THE CR DISTRICT, AND DEVELOP THE PROPERTY WITH A MULTI-FAMILY BUILDING WITH GROUND FLOOR RETAIL, WHICH REQUIRES A SPECIAL USE PERMIT AND SPECIAL EXCEPTIONS LISTED ON THIS SHEET. A COMPREHENSIVE PLAN AMENDMENT IS ALSO REQUESTED WITH THIS APPLICATION.
- THIS PLAT AND THE SURVEY UPON WHICH IT IS BASED SHOWS ONLY THOSE IMPROVEMENTS THAT ARE OBSERVABLE AND CAN BE LOCATED USING NORMAL SURVEY METHODS. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION, MISS UTILITY MARKINGS, AND EXISTING RECORDS. THERE ARE NO GUARANTEES, EITHER EXPRESS OR IMPLIED, THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED, OR THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THE UNDERGROUND UTILITIES HAVE NOT BEEN PHYSICALLY LOCATED. WATER AND GAS LINE SIZES ARE FROM RECORD INFORMATION.
- THE DEPICTION OF OVERHEAD WIRES SHOWN HEREON REPRESENT THE PRESENCE OF OVERHEAD UTILITIES BUT DOES NOT REFLECT ACTUAL WIRE LOCATIONS OR SERVICES THAT MAY EXIST BETWEEN INDIVIDUAL POLES OR STRUCTURES.
- TOTAL AREA OF THE PROPERTY IS 130,547 SQUARE FEET OR 2.9969 ACRES.
- THIS PLAN IS BASED ON A CURRENT FIELD SURVEY BY THIS FIRM. CONTOUR INTERVALS ARE 2 FEET.
- THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP FOR THE CITY OF FAIRFAX, VIRGINIA, MAP NUMBER 5155240002E, VERSION 2.6.4.6 X, REVISED NOVEMBER 16, 2023, DESIGNATES THE PROPERTY AS BEING IN ZONES A,V,A99, AREAS WITHOUT BASE FLOOD ELEVATION, AND ZONE X, AREAS OF MINIMAL FLOOD HAZARD.
- THE RESOURCE PROTECTION AREA (RPA) AND FLOOD ZONE DELINEATIONS ARE PER INFORMATION PROVIDED BY WSSI.

SPECIAL EXCEPTIONS

THE FOLLOWING SPECIAL EXCEPTIONS ARE REQUESTED WITH THIS APPLICATION:

- SPECIAL EXCEPTION TO MODIFY Z.O. SECTION 3.6.2. TO ALLOW UP TO 111.5 DWELLING UNITS PER ACRE.
- SPECIAL EXCEPTION TO MODIFY Z.O. SECTION 3.6.2 TO ALLOW UP TO 85 FT / 7 STORIES IN BUILDING HEIGHT.
- SPECIAL EXCEPTION TO MODIFY Z.O. SECTION 3.6.2 TO ALLOW A 20 DEGREE ANGLE BULK PLANE ADJACENT TO A RESIDENTIAL DISTRICT.
- SPECIAL EXCEPTION TO MODIFY Z.O. SECTION 3.6.2 TO ALLOW ENCRoACHMENT INTO THE 10 FT SIDE YARD TO PERMIT A DRIVE AISLE.
- SPECIAL EXCEPTION TO MODIFY Z.O. SECTION 3.6.2 TO ALLOW ENCRoACHMENT INTO THE 25 FT REAR YARD TO PERMIT A DRIVE AISLE.
- SPECIAL EXCEPTION TO MODIFY Z.O. SECTION 4.5.7.D.2 REQUIRING A TERMINAL ISLANDS IN FAVOR OF THE PARKING CONFIGURATION SHOWN.
- SPECIAL EXCEPTION TO MODIFY Z.O. SECTION 4.18.11 FOR ENCRoACHMENT INTO THE LANDWARD 50 FT BUFFER COMPONENT OF THE RPA.
- SPECIAL EXCEPTION TO MODIFY Z.O. SECTION 4.2.3 TO PERMIT A REDUCTION IN PARKING.
- SPECIAL EXCEPTION TO MODIFY Z.O. SECTION 4.5.5.C.3.(b) TO PERMIT A MODIFICATION OF THE TRANSITIONAL SCREENING YARD TO ALLOW EXISTING CONDITIONS TO WITHIN THE RPA TO REMAIN UNDISTURBED.

SPECIAL USE PERMITS

THE FOLLOWING SPECIAL USE PERMIT IS REQUESTED WITH THIS APPLICATION:

- SPECIAL USE PERMIT TO ALLOW MULTI-FAMILY DWELLINGS IN THE CR ZONE. (Z.O. SECTION 3.3.1 PRINCIPAL USE TABLE)

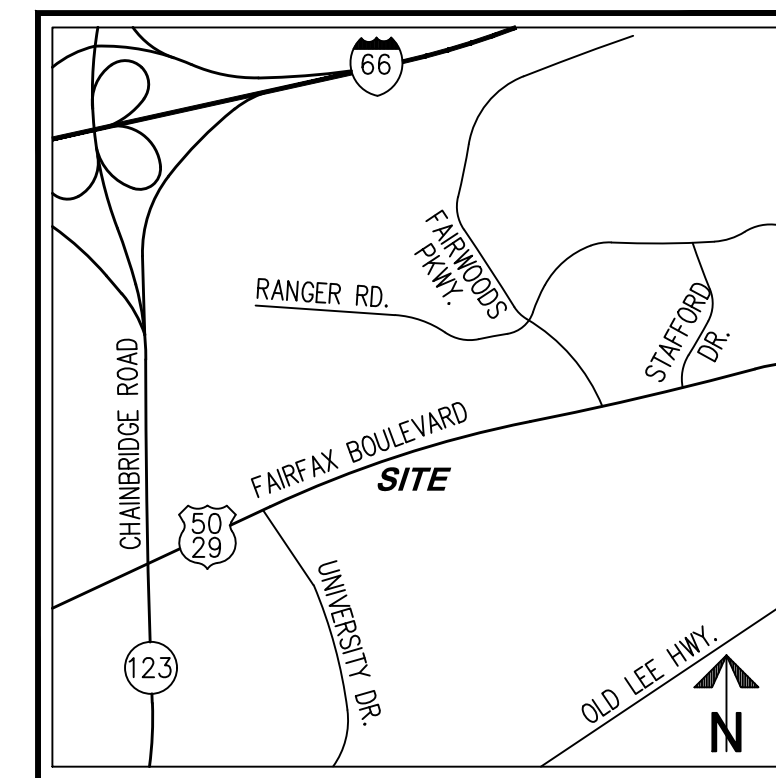
ZONING TABULATION

	PERMITTED	PROVIDED
EXISTING ZONE: CR, COMMERCIAL RETAIL SITE AREA: 130,547 SF OR 2.9969 AC		
MAXIMUM DENSITY	24 DU/AC	±111.5 DU/AC*
MINIMUM LOT AREA	20,000 SF	130,547 SF
MINIMUM LOT WIDTH	N/A	N/A
MAXIMUM BUILDING HEIGHT	60 FT/5 STORIES	±85 FT/7 STORIES*
BUILD-TO LINE	N/A	N/A
MAXIMUM BUILDING COVERAGE	60%	±50%
MAXIMUM LOT COVERAGE	85%	±80%
MINIMUM YARD REQUIREMENTS		
FRONT	20 FT MIN, 93 FT MAX	±20 FT
SIDE (ADJACENT TO RESIDENTIAL)	25 FT	N/A
SIDE (NOT ADJACENT TO RESIDENTIAL)	0-10 FT	±4 FT*
REAR (ADJACENT TO RESIDENTIAL)	25 FT	±10 FT*
REAR (NOT ADJACENT TO RESIDENTIAL)	0-10 FT	N/A
BULK PLANE REQUIREMENTS		
FRONT	N/A	N/A
SIDE (NOT ADJACENT TO RESIDENTIAL)	N/A	N/A
REAR (ADJACENT TO RESIDENTIAL)	45'	±20*
MAXIMUM FLOOR AREA	N/A	N/A

* SEE SPECIAL EXCEPTIONS REQUESTED, THIS SHEET.

VICINITY MAP

SCALE: 1"=2000'



PRELIMINARY OUTFALL ANALYSIS NARRATIVE

SEE SHEET P-0302 FOR ADDITIONAL INFORMATION.

- THE EXISTING NORTHERN PORTION OF THE SITE DRAINS TO THE EXISTING PIPED STORM SEWER SYSTEM IN FAIRFAX BOULEVARD. THE RECEIVING STORM SEWER SYSTEM CONTINUES DOWNSTREAM TO THE WEST BEFORE CROSSING NORTH OVER FAIRFAX BOULEVARD AND OUTFALLING TO THE NORTH FORK OF ACCOTINK CREEK, WHICH CONTINUES TO FLOW TO THE EAST.
- THE SOUTHERN PORTION OF THE EXISTING SITE DRAINS TO AN EXISTING STORM SEWER JUNCTION AT THE SOUTHEAST CORNER OF THE SITE THAT DAYLIGHTS INTO A RIP-RAP CHANNEL AND DRAINS INTO ACCOTINK CREEK, WHICH CONTINUES TO FLOW TO THE EAST.
- AFTER THE PROPOSED REDEVELOPMENT, SITE RUNOFF WILL CONTINUE TO DRAIN TO THE SAME TWO OUTFALLS. RUNOFF FROM THE NORTHERN SECTION OF THE PROPOSED BUILDING AND THE WESTERN DRIVE AISLE WILL BE TREATED AND DETAINED IN AN ON-SITE SWM FACILITY BEFORE IT IS DISCHARGED INTO THE STORM SEWER SYSTEM IN FAIRFAX BOULEVARD (OUTFALL 1). RUNOFF FROM THE SOUTHERN SECTION OF THE PROPOSED BUILDING, AND SOUTHERN AND EASTERN PORTIONS OF THE DRIVE AISLES, WILL BE DIRECTED TO THE PROPOSED STORMWATER BMP FACILITIES ON SITE. IT IS ANTICIPATED THAT A SWM DETENTION FACILITY WILL BE PROVIDED WITHIN THE GARAGE LEVELS OF THE PROPOSED BUILDING. STORMWATER RELEASED FROM THIS DETENTION FACILITY WILL BE PIPED TO ONSITE STORM SEWER THAT CONVEYS RUNOFF TO THE EXISTING STORM SEWER SYSTEM DESCRIBED ABOVE (OUTFALL 2). DUE TO THE PRESENCE OF A NATURAL STORMWATER CONVEYANCE SYSTEM WITHIN 100X THE SITE AREA OF EACH OUTFALL, THE ENERGY BALANCE EQUATION WILL BE USED TO DETERMINE THE ALLOWABLE PEAK RELEASE FOR THE 1-YEAR, 24-HOUR STORM. THE PROPOSED SWM SYSTEMS WILL REDUCE SITE PEAK RUNOFF RATES FOR THE 1, 2, AND 10-YEAR STORMS TO BELOW PRE-DEVELOPMENT LEVELS AND WILL OTHERWISE BE DESIGNED TO COMPLY WITH APPLICABLE PROVISIONS OF THE CITY'S STORMWATER MANAGEMENT ORDINANCE.
- BASED ON A PRELIMINARY REVIEW OF THE OUTFALL PATHS DESCRIBED ABOVE, AND THE INTENTION TO RELEASE PEAK FLOW RATES FOR THE APPLICABLE DESIGN STORMS BELOW PREDEVELOPMENT ALLOWABLE LEVELS, IT IS THE EXPECTATION OF THE SUBMITTING ENGINEER THAT THE OUTFALL WILL BE DETERMINED TO BE ADEQUATE WITHIN THE LIMITS OF ANALYSIS. FINAL DETERMINATION OF ADEQUACY AND FINAL STORMWATER MANAGEMENT DESIGN WILL BE PROVIDED AT TIME OF SITE PLAN.

PRELIMINARY STORMWATER MANAGEMENT & BMP NARRATIVE

SEE SHEET P-0302 FOR ADDITIONAL INFORMATION.

- THE EXISTING SITE CURRENTLY SERVES AS AN EXISTING OFFICE BUILDING WITH DRIVE AISLES, SURFACE PARKING, AND STRUCTURED GARAGE PARKING. THE EXISTING PROPERTY HAS SEVERAL STORMWATER MANAGEMENT FACILITIES THAT WILL BE REMOVED AND NO LONGER USED. THE PROPOSED REDEVELOPMENT PROJECT WILL DEMOLISH THE EXISTING BUILDING AND PARKING STRUCTURES, AND CONSTRUCT A MULTIFAMILY RESIDENTIAL BUILDING WITH GROUND FLOOR RETAIL AND BELOW GRADE GARAGE PARKING. A NEW PRIVATE DRIVE AISLE WILL BE CONSTRUCTED AROUND THE BUILDING TO PROVIDE ACCESS THROUGH THE SITE. INTERPARCEL ACCESS CONNECTIONS WILL BE MAINTAINED TO THE EASTERN AND WESTERN PROPERTIES. OUTSIDE OF LAND DISTURBANCE NECESSARY TO DISCONNECT AND INSTALL NEW UTILITIES, THE SITE CONDITIONS OF ELEVATION AND COVER WITHIN THE ONSITE R.P.A. LIMITS WILL REMAIN CONSISTENT WITH EXISTING. THIS WILL RESULT IN A SMALL INCREASE IN OVERALL IMPERVIOUS AREA WITHIN THE PROPOSED LIMITS OF DISTURBANCE, AS ESTIMATED BELOW:

PRE-DEVELOPMENT		POST-DEVELOPMENT
PERVIOUS AREA: ±0.64 AC		PERVIOUS AREA: ±0.40 AC
IMPERVIOUS AREA: ±2.15 AC		IMPERVIOUS AREA: ±2.38 AC
TOTAL: ±2.79 AC		TOTAL: ±2.79 AC

THE STORMWATER MANAGEMENT NECESSARY TO PREVENT AN INCREASE IN PEAK RUNOFF RATES FOR THE 1, 2, AND 10-YEAR STORMS WILL BE ACCOMPLISHED WITH UNDERGROUND DETENTION FACILITIES & POTENTIAL RUNOFF REDUCTION BMPs. THE STORMWATER MANAGEMENT SYSTEMS WILL DISCHARGE INTO THE EXISTING STORM SEWER SYSTEMS AS DESCRIBED IN THE OUTFALL NARRATIVE ABOVE. FINAL DESIGN TO BE DETERMINED AT TIME OF SITE PLAN.
- BMPs WILL BE PROVIDED IN ACCORDANCE WITH THE VIRGINIA RUNOFF REDUCTION METHOD THROUGH THE USE OF ONSITE UNDERGROUND MANUFACTURED BMP FACILITIES IN CONJUNCTION WITH THE PLANNED STORMWATER DETENTION STRUCTURES. TO PROVIDE ADDITIONAL RUNOFF REDUCTION, THE PROJECT WILL EXPLORE THE USE OF GREEN ROOF AND/OR ON-STRUCTURE BIoretention PLANTERS. FINAL SWM/BMP FACILITY SELECTION AND DESIGN TO BE PROVIDED AT TIME OF SITE PLAN.
- THE PROPOSED SWM/BMP FACILITIES WILL BE PRIVATELY OWNED AND MAINTAINED.
- THIS STORMWATER MANAGEMENT & BMP ANALYSIS IS PRELIMINARY AND SUBJECT TO CHANGE WITH FINAL ENGINEERING AT TIME OF SITE PLAN.

SHEET INDEX

P-0101	COVER SHEET
P-0201	EXISTING CONDITIONS PLAN
P-0301	REZONING - SPECIAL USE PLAT - SPECIAL EXCEPTION PLAT
P-0302	PRELIMINARY UTILITY AND GRADING PLAN
P-0401	PRELIMINARY LANDSCAPE PLAN
P-0402	LANDSCAPE CALCULATIONS AND PLANT SCHEDULE
P-0403	EXISTING VEGETATION AND PRESERVATION PLAN
P-0404	TREE INVENTORY
P-0601	FIRE SERVICE PLAN
P-0602	SIGHT DISTANCE PLAN AND PROFILE
P-0603	CIRCULATION PLAN
P-0604	LOADING TURNING MOVEMENTS
A.001	CONCEPTUAL FLOOR PLANS
A.002	CONCEPTUAL FLOOR PLANS
A.003	CONCEPTUAL ELEVATIONS
A.004	CONCEPTUAL SECTION AND VIEWS

LEVEL	TOTAL AREA (GSF)	RESIDENTIAL (GSF)	TOTAL UNITS	LOBBY & AMENITY (GSF)	COMMERCIAL /RETAIL (GSF)	LOADING (GSF)	PARKING (GSF)	PARKING ACCESS (GSF)	PARKING SPACES
TOTAL	372,562	337,136	334	13,131	18,520	1,845	152,477	1,930	414

NOTE: FINAL SQUARE FOOTAGE AND UNIT COUNT SUBJECT TO CHANGE AT TIME OF FINAL SITE PLAN.

UNIT TYPE	UNITS (%)	TOTAL UNITS (QTY) / AREA	PARKING RATE	PARKING SPACES REQUIRED	PARKING SPACES PROVIDED
STUDIO	15%	50	1.1 SPACES PER ROOM	55	
1 BED	45%	148	1.1 SPACES PER ROOM	163	
1 BED + DEN	10%	34	1.1 SPACES PER ROOM	38	
2 BED	30%	102	1.35 SPACES PER ROOM	138	
RETAIL		18,520	SHARED WITH RESIDENTIAL	0	
TOTAL	100%	334		394	414

NOTES:

- PARKING REDUCTION REQUESTED WITH THIS APPLICATION.
- FINAL UNIT COUNT SUBJECT TO CHANGE AT TIME OF FINAL SITE PLAN.

WALTER L. PHILLIPS
INCORPORATED
DATE: 5/24/24 REV: 7/23/24

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CHECKED: AV
DRAWN: MH
DATE: 5/24/24 REV: 7/23/24

REVISION APPROVED BY

NO.	DESCRIPTION	DATE	REV.	BY	APPROVED	DATE

COVER SHEET

GENERALIZED DEVELOPMENT PLAN

10201 FAIRFAX BOULEVARD

CITY OF FAIRFAX, VIRGINIA

File No. FN-06 Tax Map No. 57-2-02-034 Job No. 23-025 Cadd Dwg. File: Q:\sdsproj\23025\dwg\planning\GDP\23025P-0101.dwg

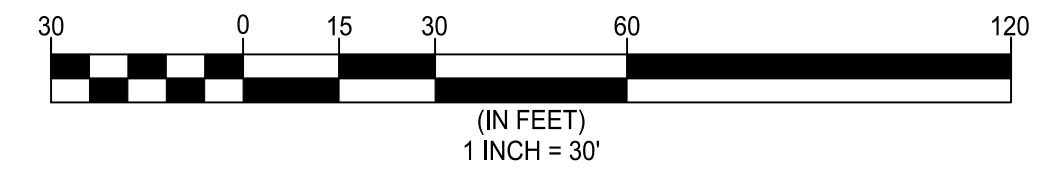
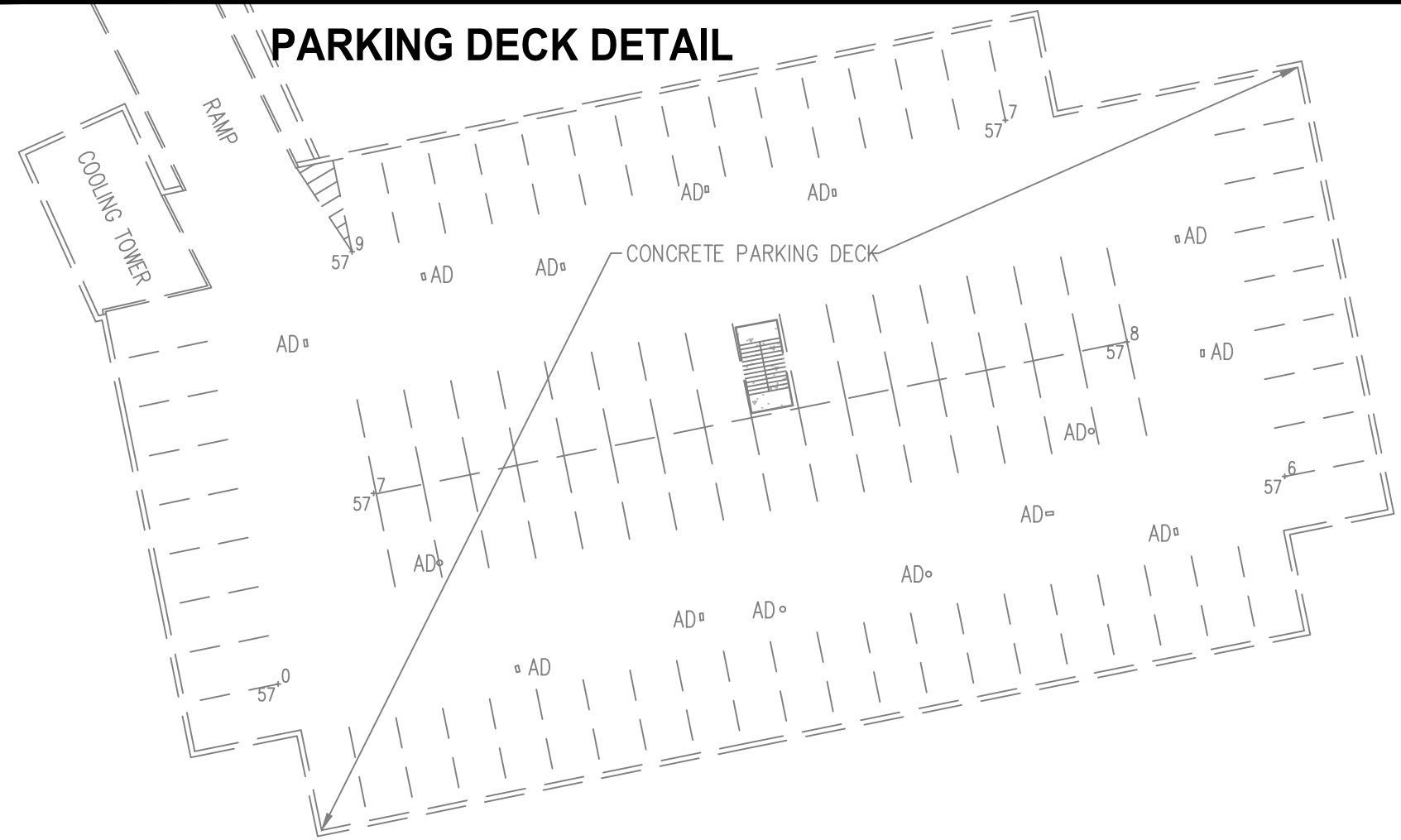
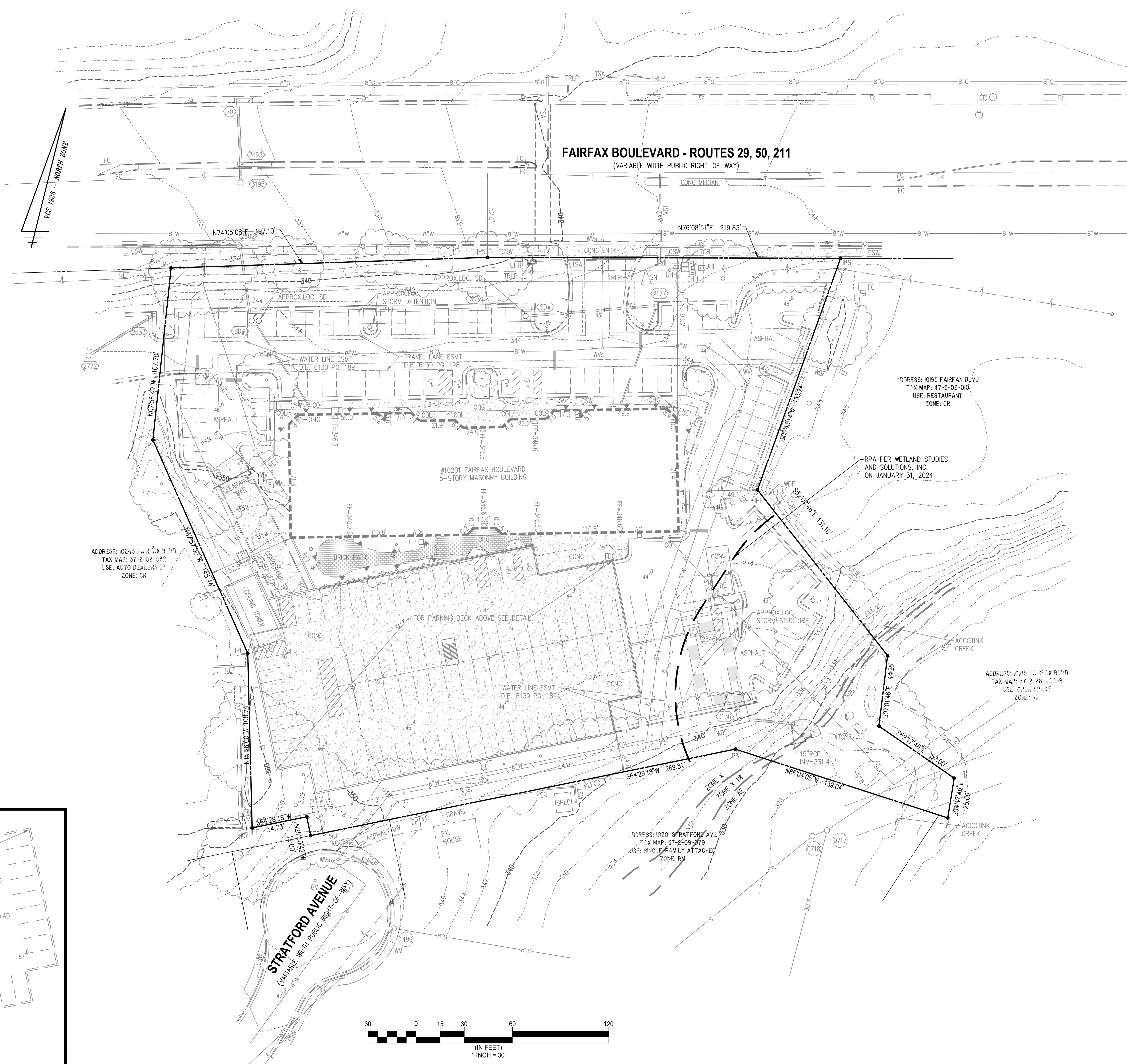
SHEET: P-0101

LEGEND

- AC..... AIR CONDITIONER
- AD..... AREA DRAIN
- APPROX. LOC..... APPROXIMATE LOCATION
- CLF..... CHAINLINK FENCE
- CMP..... CORRUGATED METAL PIPE
- CO..... CLEANOUT
- COL..... COLUMN
- CONC..... CONCRETE
- CSW..... CONCRETE SIDEWALK
- DB..... DEED BOOK
- DE..... DUMPSTER ENCLOSURE
- DW..... DRIVEWAY
- EG..... EDGE OF GRAVEL
- EHH..... ELECTRIC HANDHOLE
- EM..... ELECTRIC METER
- EP..... EDGE OF PAVEMENT
- ESMT..... EASEMENT
- FC..... HEADER CURB
- FDC..... FIRE DEPARTMENT CONNECTION
- FF..... FIRST/FINISH FLOOR ELEVATION
- INV..... INVERT
- IPF..... IRON PIN FOUND (PROPERTY CORNER)
- IPS..... IRON PIN SET (PROPERTY CORNER)
- LSW..... LANDSCAPING WALL
- N/F..... NOW OR FORMERLY
- OH..... OVERHANG
- PLF..... PLASTIC FENCE
- PG..... PAGE
- RCP..... REINFORCED CONCRETE PIPE
- RET..... RETAINING WALL
- RPA..... RESOURCE PROTECTION AREA
- SD..... STORM SEWER STRUCTURE
- SMH..... SANITARY SEWER STRUCTURE
- SN..... SIGN
- SQ. FT..... SQUARE FEET
- TCB..... TRAFFIC CONTROL BOX
- TRLP..... TRAFFIC LIGHT/SIGNAL POLE
- TSA..... TRAFFIC SIGNAL ARM
- UHH..... UTILITY HAND HOLE
- WDF..... WOODEN FENCE
- WM..... WATER METER
- WV..... WATER VALVE
- △..... FIRE HYDRANT
- ◇..... DOORWAY/ENTRANCE
- UTILITY POLE
- ☆..... LIGHT POLE
- ▽..... GROUND LIGHT
- X—..... FENCE
- >..... GUY WIRE
- S—..... OVERHEAD WIRE(S)
- S—..... UNDERGROUND SANITARY LINE
- SL—..... UNDERGROUND SANITARY LATERAL LINE
- W—..... UNDERGROUND STORM SEWER LINE
- W—..... UNDERGROUND WATER LINE
- TREE
- LIMITS OF TREE CANOPY/VEGETATION
- CURB AND GUTTER
- BOLLARD
- ELECTRIC TRANSFORMER
- SPOT ELEVATION
- SIGN
- TELECOMMUNICATIONS MANHOLE
- RESERVED FOR DISABLED

STORM SEWER AS-BUILTS

SD 4000		
MANHOLE TOP =		343.28
15"RCP IN (SD 2177) =		337.84
72"CMP OUT (SD 4003) =		333.84
SD 4001		
CURB INLET TOP =		343.29
15"RCP OUT (SOUTH) =		338.40
SD 4003		
MANHOLE TOP =		344.40
8"PVC IN (S. EAST) =		339.95
72"CMP IN (SD 4000) =		333.36
WIER WALL TOP =		339.52
7"ORFICE =		333.34
15"RCP OUT (SD 2502) =		333.27
SD 2502		
CURB INLET TOP =		332.80
15"RCP IN (SD 4003) =		327.70
15"RCP OUT (WEST) =		327.62
SD 3195		
MANHOLE TOP =		333.37
INACCESSIBLE - IN TRAVEL LANE		
SD 3193		
CURB INLET TOP =		333.73
18"RCP IN (SD 3195) =		328.01
18"RCP OUT (NORTH) =		326.03
SD 4005		
MANHOLE TOP =		242.84
8"CMP IN (GARAGE) =		237.91
CENTERLINE DTP =		232.34
SD 3136		
MANHOLE TOP =		340.20
72"CMP IN (SD 4005) =		332.29
15"RCP OUT (S.EAST) =		332.35
SD 2633		
CURB INLET TOP =		345.52
15"RCP OUT (SD 2772) =		341.52
SD 2772		
MANHOLE TOP =		346.75
CENTERLINE INVERT =		332.85
SD 2177		
CURB INLET TOP =		343.71
8"PVC IN (SOUTH) =		339.17
15"RCP OUT (WEST) =		339.10

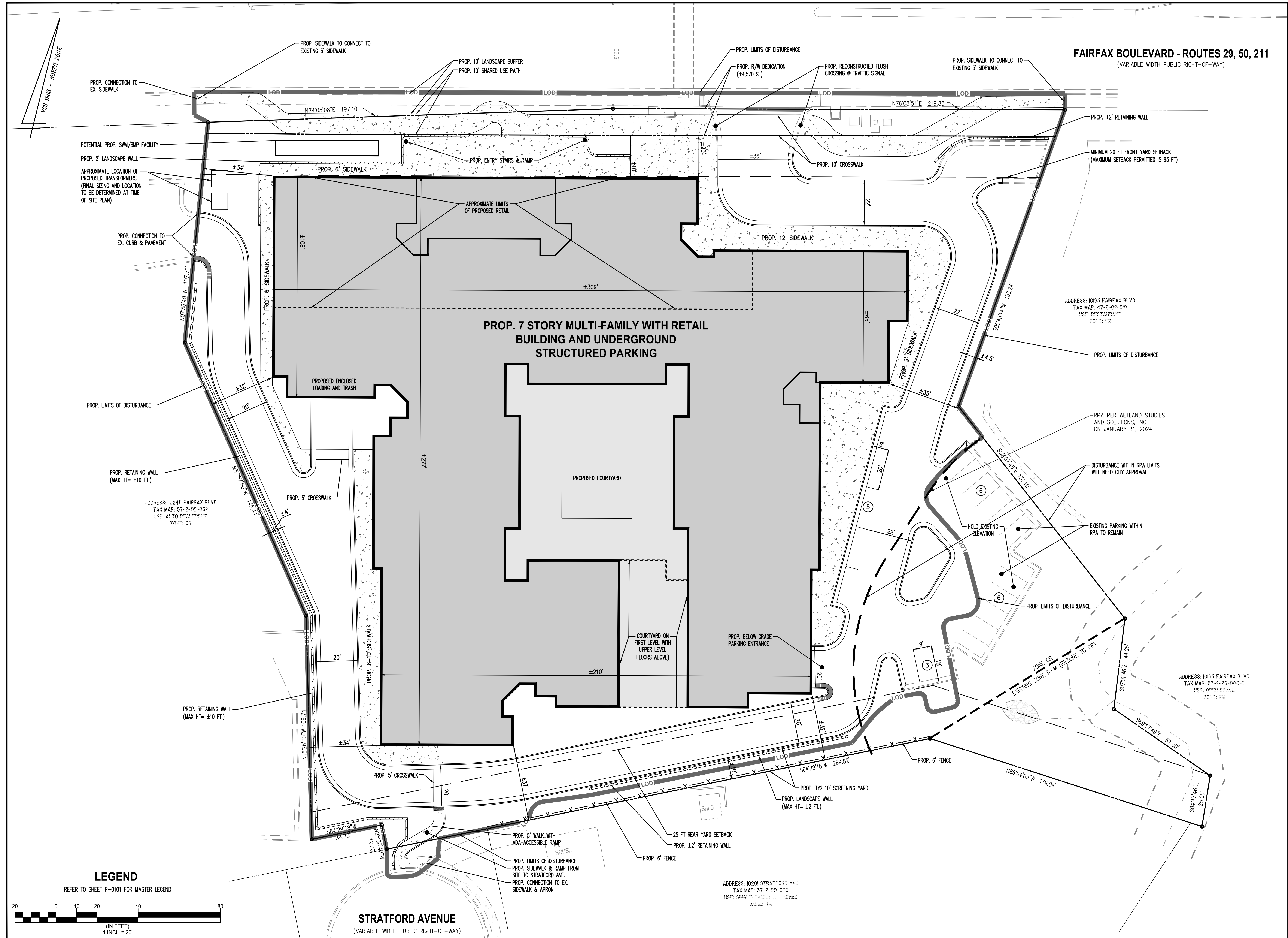


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ESTABLISHED 1945
 IN CORP. ORATED
 DATE: 5/24/24 REV: 7/23/24
 SCALE: 1" = 30'

REVISION APPROVED BY		DATE	
NO.	DESCRIPTION	DATE	APPROVED

EXISTING CONDITIONS PLAN
GENERALIZED DEVELOPMENT PLAN
10201 FAIRFAX BOULEVARD
 CITY OF FAIRFAX, VIRGINIA



FAIRFAX BOULEVARD - ROUTES 29, 50, 211
(VARIABLE WIDTH PUBLIC RIGHT-OF-WAY)

PROP. 7 STORY MULTI-FAMILY WITH RETAIL BUILDING AND UNDERGROUND STRUCTURED PARKING

REZONING - SPECIAL USE PLAT - SPECIAL EXCEPTION PLAT

GENERALIZED DEVELOPMENT PLAN

10201 FAIRFAX BOULEVARD

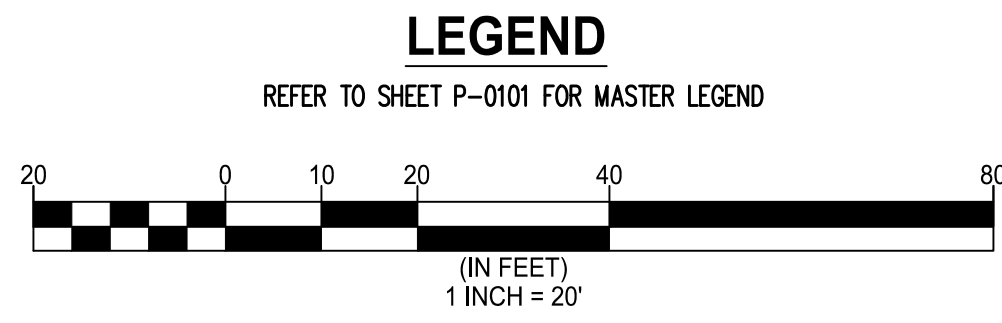
CITY OF FAIRFAX, VIRGINIA

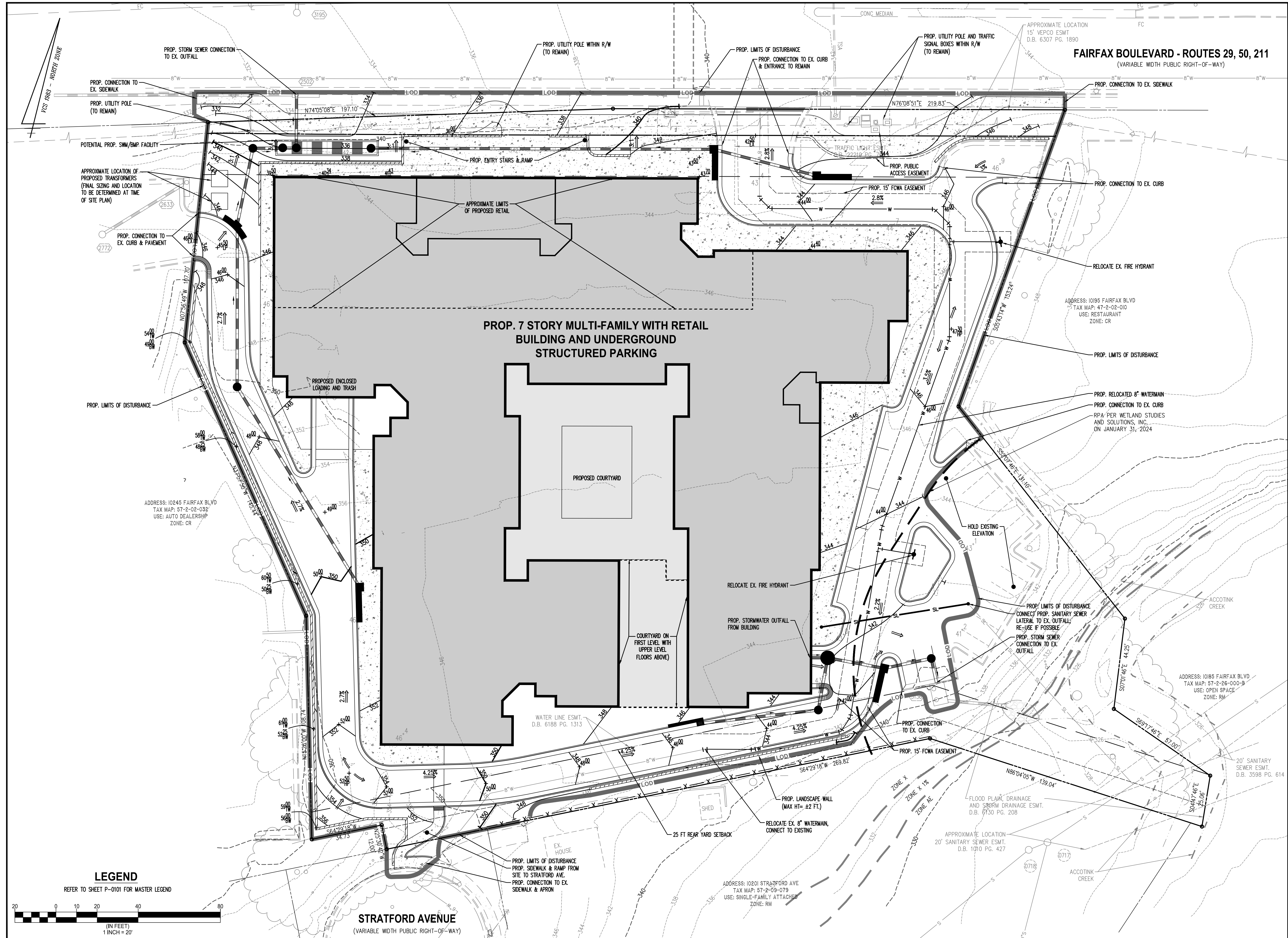
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WALTER L. PHILLIPS
INCORPORATED
ESTABLISHED 1945
DATE: 5/23/24 REV: 7/23/24
SCALE: 1" = 20'
DRAWN: IMH
CHECKED: AV



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REVISION APPROVED BY





PRELIMINARY UTILITY AND GRADING PLAN

GENERALIZED DEVELOPMENT PLAN

10201 FAIRFAX BOULEVARD

CITY OF FAIRFAX, VIRGINIA

WALTER L. PHILLIPS
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PROFESSIONAL SEAL
WALTER L. PHILLIPS
ARCHITECT
Lic. No. 041851
7/23/24

DATE: 5/23/24 REV: 7/23/24
SCALE: 1" = 20'
DRAWN: IMH
CHECKED: AV

Address: 10245 FAIRFAX BLVD
TAX MAP: 57-2-02-032
USE: AUTO DEALERSHIP
ZONE: CR

Address: 10195 FAIRFAX BLVD
TAX MAP: 47-2-02-010
USE: RESTAURANT
ZONE: CR

Address: 10185 FAIRFAX BLVD
TAX MAP: 57-2-26-000-B
USE: OPEN SPACE
ZONE: RM

Address: 10201 STRATFORD AVE
TAX MAP: 57-2-09-079
USE: SINGLE-FAMILY ATTACHED
ZONE: RM

Address: 10177 FAIRFAX BLVD
TAX MAP: 57-2-26-000-B
USE: OPEN SPACE
ZONE: RM

Address: 10170 FAIRFAX BLVD
TAX MAP: 57-2-26-000-B
USE: OPEN SPACE
ZONE: RM

Address: 10165 FAIRFAX BLVD
TAX MAP: 57-2-26-000-B
USE: OPEN SPACE
ZONE: RM

Address: 10155 FAIRFAX BLVD
TAX MAP: 57-2-26-000-B
USE: OPEN SPACE
ZONE: RM

Address: 10145 FAIRFAX BLVD
TAX MAP: 57-2-26-000-B
USE: OPEN SPACE
ZONE: RM

Address: 10135 FAIRFAX BLVD
TAX MAP: 57-2-26-000-B
USE: OPEN SPACE
ZONE: RM

Address: 10125 FAIRFAX BLVD
TAX MAP: 57-2-26-000-B
USE: OPEN SPACE
ZONE: RM

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TAX MAP: 57-2-26-000-B
USE: OPEN SPACE
ZONE: RM

Address: 10105 FAIRFAX BLVD
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USE: OPEN SPACE
ZONE: RM

Address: 10095 FAIRFAX BLVD
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USE: OPEN SPACE
ZONE: RM

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USE: OPEN SPACE
ZONE: RM

Address: 10075 FAIRFAX BLVD
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ZONE: RM

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ZONE: RM

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TAX MAP: 57-2-26-000-B
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ZONE: RM

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ZONE: RM

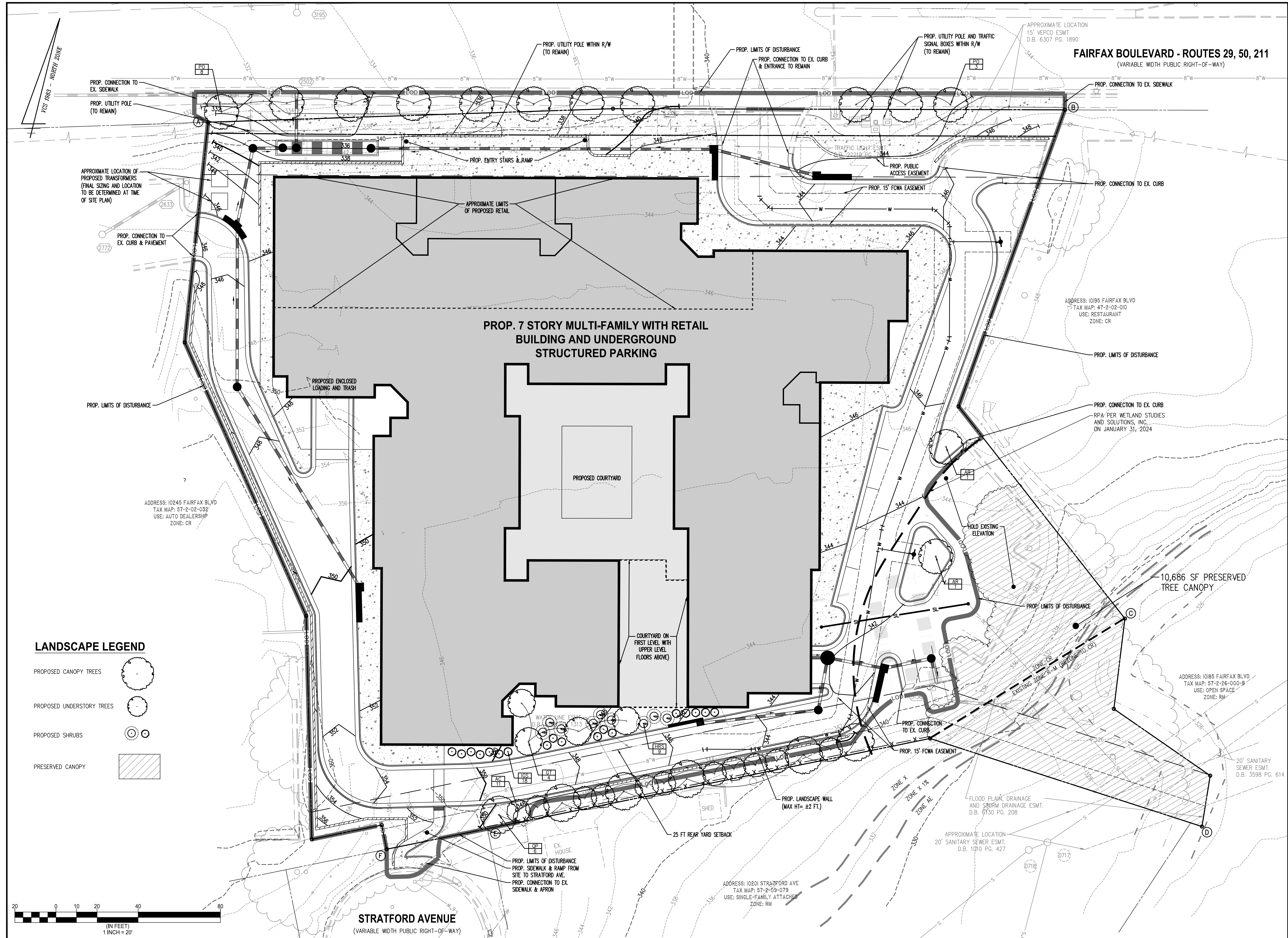
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ZONE: RM

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USE: OPEN SPACE
ZONE: RM


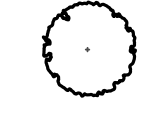
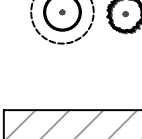

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USE: OPEN SPACE
ZONE: RM

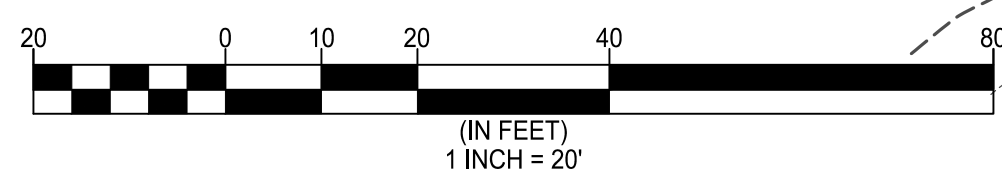
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TAX MAP: 57-2-26-000-B
USE: OPEN SPACE
ZONE: RM

Address: 10001 FAIRFAX BLVD
TAX MAP: 57-2-26-000-B
USE: OPEN SPACE
ZONE: RM



LANDSCAPE LEGEND

- PROPOSED CANOPY TREES 
- PROPOSED UNDERSTORY TREES 
- PROPOSED SHRUBS 
- PRESERVED CANOPY 



FAIRFAX BOULEVARD - ROUTES 29, 50, 211
(VARIABLE WIDTH PUBLIC RIGHT-OF-WAY)

PROP. 7 STORY MULTI-FAMILY WITH RETAIL BUILDING AND UNDERGROUND STRUCTURED PARKING

Engineers • Surveyors • Planners
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INCORPORATED ESTABLISHED 1945

DATE: 5/23/24 REV: 7/23/24

10201 FAIRFAX BOULEVARD
CITY OF FAIRFAX, VIRGINIA

PRELIMINARY LANDSCAPE PLAN
GENERALIZED DEVELOPMENT PLAN
10201 FAIRFAX BOULEVARD

DATE: 7/23/24

REVISION APPROVED BY

NO.	DESCRIPTION	DATE	REV. BY	APPROVED	DATE

10,686 SF PRESERVED TREE CANOPY

20' SANITARY SEWER ESMT. D.B. 3598 PG. 614

File No. FN-06 Tax Map No. 57-2-02-034 Job No. 23-025 Cadd Dwg. File: Q:\sdsproj\23025\dwg\planning\GDP\23025P-0401.dwg

SHEET: P-0401

REQUIRED STREET TREES (CR)

BOUNDARY	LENGTH	REQUIRED CANOPY TREES			TOTAL TREES	
		TREES PER 40'	REQUIRED	PROPOSED	EXISTING	TOTAL
A TO B	416.92	1	10	11	0	11
TOTALS	416.92		10	11	0	11

REQUIRED PLANTINGS TRANSITIONAL YARDS (CR)

BOUNDARY	ZONE TYPE	LENGTH	MINIMUM YARD WIDTH	TY TYPE	REQUIRED			TOTAL		TOTAL		TOTAL	
					CANOPY TREES PER 100'	UNDERSTORY TREES PER 100'	SHRUBS PER 100'	CANOPY TREES	UNDERSTORY TREES	PROPOSED YARD WIDTH	PROPOSED CANOPY TREES	EXISTING CANOPY TREES	PROPOSED UNDERSTORY TREES
D TO E	TY2	358.86	10'	RM	3	3	0	11	11	10'	5	5	11
Totals		358.86						11	11		5	5	11

6" WALL OR FENCE

TREE COVER CALCULATIONS

SITE AREA	SQFT	130,547.00
PERCENT REQUIRED FOR ZONE CR	10%	
TREE COVER REQUIRED	13,054.70	

TREE COVER PROVIDED (PLANTED)

#	TYPE OF TREE	COVER SQFT	TOTAL
	CANOPY TREES	250	-
16	CANOPY TREES	200	3,200
15	UNDERSTORY TREES	100	1,500

TOTAL TREE COVERAGE PROVIDED	4,700
TOTAL EXISTING TREE COVERAGE TO REMAIN	10,686
TOTAL TREE COVERAGE PROVIDED	15,386

NOTE: ANY CHANGES TO PLANT SPECIES TYPE, QUANTITIES AND LOCATIONS IS SUBJECT TO APPROVAL OF THE CITY'S URBAN FORESTER.

CANOPY TREES

KEY	BOTANICAL NAME	COMMON NAME	QTY	CAL.	HT.	COMMENTS	CANOPY UNIT (SF)	CREDIT TOTAL (SF)
PO	Platanus occidentalis	sycamore	11	2"-2.5"	N/A	B&B, full specimen	200	2,200
AR	Acer rubrum	red maple	2	2"-2.5"	N/A	B&B, full specimen	200	400
QP	Quercus phellos	willow oak	6	2"-2.5"	N/A	B&B, full specimen	200	1,200
TOTAL TREES							19	3,800

UNDERSTORY TREES

KEY	BOTANICAL NAME	COMMON NAME	QTY	CAL.	HT.	COMMENTS	CANOPY UNIT (SF)	CREDIT TOTAL (SF)
AC	Amelanchier candaensis	serviceberry	11	2"-2.5"	N/A	B&B, full specimen	100	1,100
GT	Gleditsia triacanthos inermis	thornless honeylocust	4	2"-2.5"	N/A	B&B, full specimen	150	600
TOTAL TREES							15	1,700

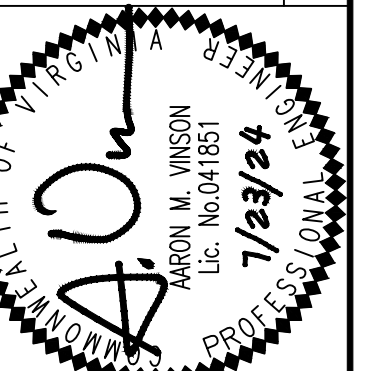
SHRUBS

KEY	BOTANICAL NAME	COMMON NAME	QTY	HT.	COMMENTS
IGS	Ilex glabra 'Shamrock'	shamrock inkberry	18	18"-24"	#3 cont, full vigorous, well-rooted & established
HRS	Hydrangea quercifolia 'Ruby Slippers'	rubby slippers oakleaf hydrangea	9	36"-48"	#3 cont, full vigorous, well-rooted & established
TOTAL SHRUBS					27

LANDSCAPE CALCULATIONS AND PLANT SCHEDULE

**GENERALIZED DEVELOPMENT PLAN
10201 FAIRFAX BOULEVARD
CITY OF FAIRFAX, VIRGINIA**

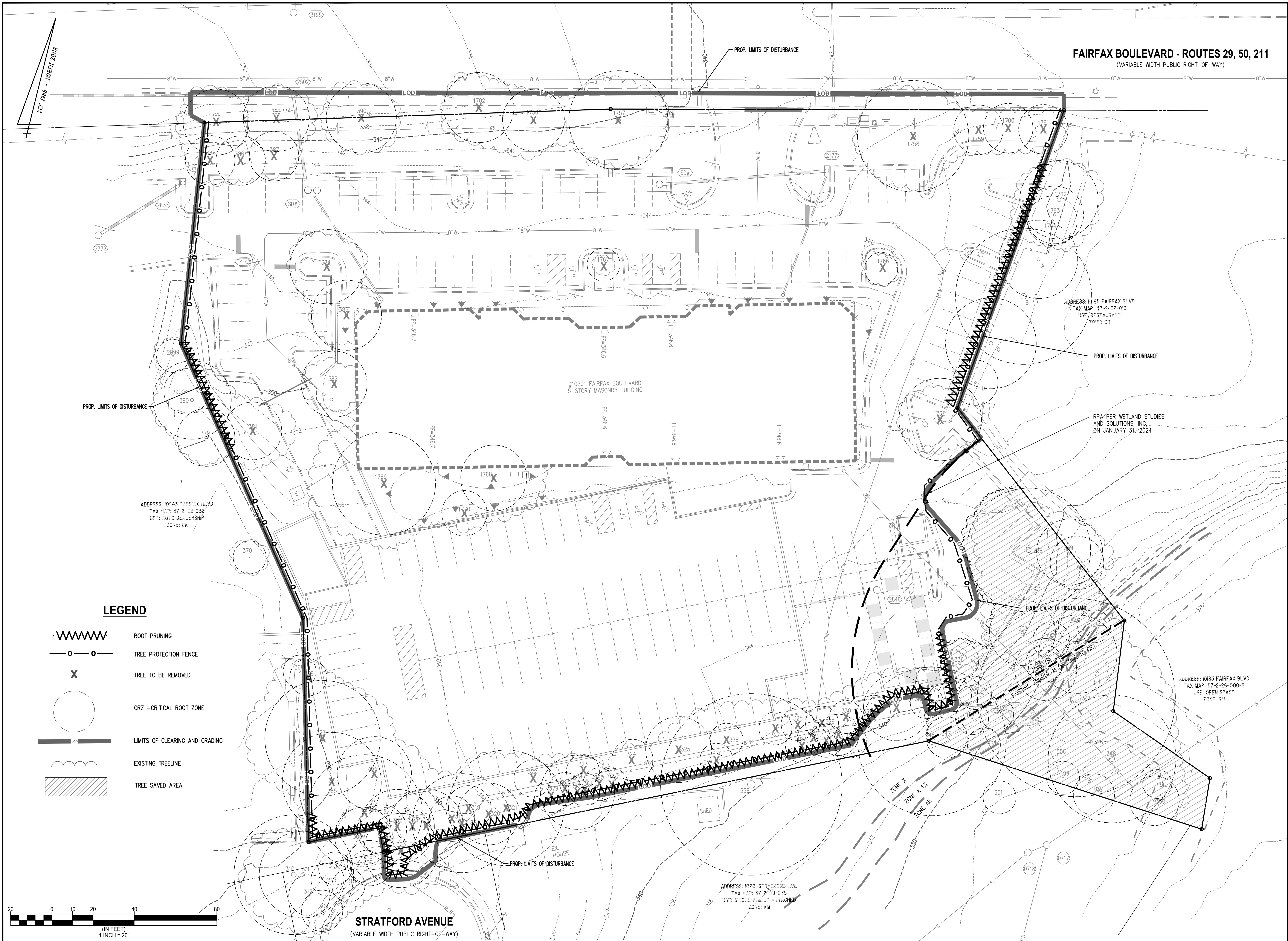
NO.	DESCRIPTION	REVISION APPROVED BY		DATE
		REV. BY	APPROVED	



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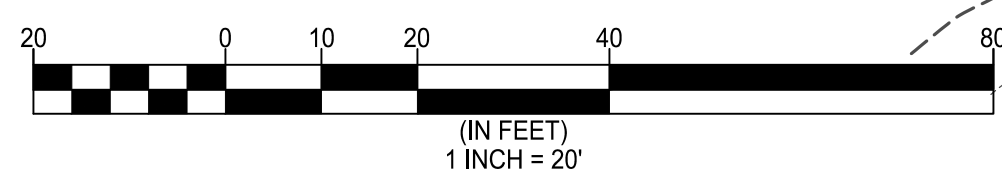
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CHECKED: AV



FAIRFAX BOULEVARD - ROUTES 29, 50, 211
(VARIABLE WIDTH PUBLIC RIGHT-OF-WAY)

- LEGEND**
- ROOT PRUNING
 - TREE PROTECTION FENCE
 - TREE TO BE REMOVED
 - CRZ - CRITICAL ROOT ZONE
 - LIMITS OF CLEARING AND GRADING
 - EXISTING TREELINE
 - TREE SAVED AREA



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SCALE: 1" = 20'

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EXISTING VEGETATION AND PRESERVATION PLAN

GENERALIZED DEVELOPMENT PLAN

10201 FAIRFAX BOULEVARD

CITY OF FAIRFAX, VIRGINIA

City of Fairfax Tree Inventory Table with columns: Tree #, Botanical Name, Common Name, Size (DBH), Critical Root Zone (CRZ), Species Rating, Condition, Activities, Notes.

City of Fairfax Tree Inventory Table with columns: Tree #, Botanical Name, Common Name, Size (DBH), Critical Root Zone (CRZ), Species Rating, Condition, Activities, Notes.

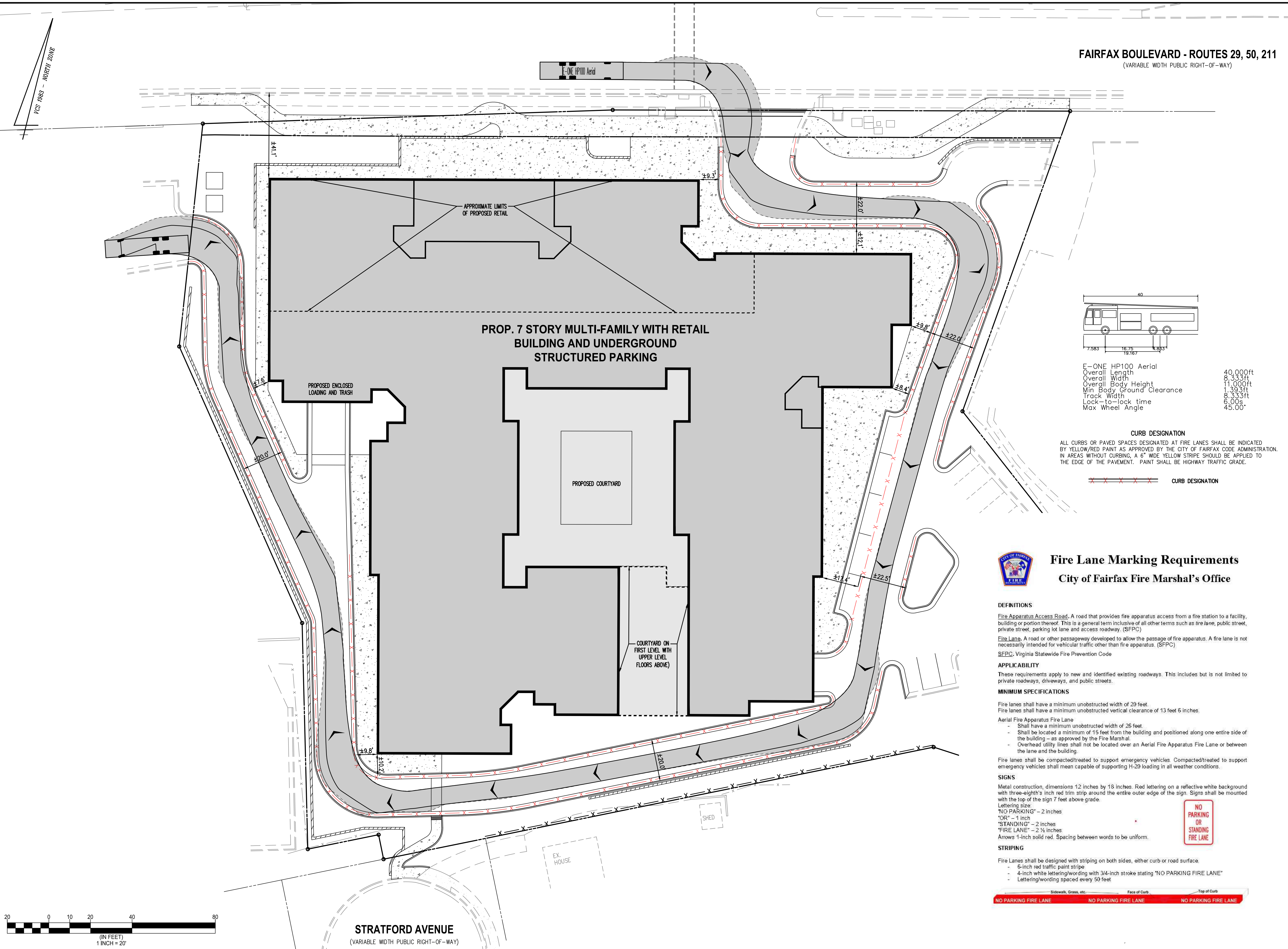
City of Fairfax Tree Inventory Table with columns: Tree #, Botanical Name, Common Name, Size (DBH), Critical Root Zone (CRZ), Species Rating, Condition, Activities, Notes.

DBH = Diameter at Breast Height (measured 4.5 feet above ground)
CRZ = Critical Root Zone - As determined by the corresponding jurisdiction
CRZ values for trees with multiple stems were calculated based on methods outlined in the 9th edition of the Guide for Plant Appraisal, published by the I.S.A.
Shared trees shall not be removed without written permission from adjacent property owners.
Offsite trees were assessed without trespassing. Measurements are approximate.

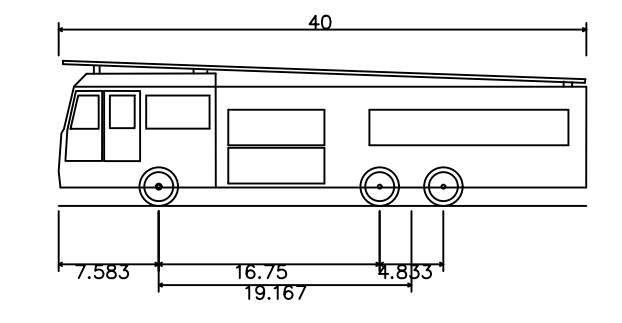
Professional seal for Walter L. Phillips, Landscape Architect, No. 041851, State of Virginia, dated 7/29/24.

Revision table with columns: No., Description, Date, Rev., Approved By.

TREE INVENTORY
GENERALIZED DEVELOPMENT PLAN
10201 FAIRFAX BOULEVARD
CITY OF FAIRFAX, VIRGINIA



FAIRFAX BOULEVARD - ROUTES 29, 50, 211
(VARIABLE WIDTH PUBLIC RIGHT-OF-WAY)



E-ONE HP100 Aerial
Overall Length 40.000ft
Overall Width 8.333ft
Overall Body Height 11.000ft
Min Body Ground Clearance 13.93ft
Track Width 8.333ft
Lock-to-lock time 6.00s
Max Wheel Angle 45.00°

CURB DESIGNATION
ALL CURBS OR PAVED SPACES DESIGNATED AT FIRE LANES SHALL BE INDICATED BY YELLOW/RED PAINT AS APPROVED BY THE CITY OF FAIRFAX CODE ADMINISTRATION. IN AREAS WITHOUT CURBING, A 6" WIDE YELLOW STRIPE SHOULD BE APPLIED TO THE EDGE OF THE PAVEMENT. PAINT SHALL BE HIGHWAY TRAFFIC GRADE.



Fire Lane Marking Requirements
City of Fairfax Fire Marshal's Office

DEFINITIONS
Fire Apparatus Access Road. A road that provides fire apparatus access from a fire station to a facility, building or portion thereof. This is a general term inclusive of all other terms such as *fire lane*, public street, private street, parking lot lane and access roadway. (SFPC)
Fire Lane. A road or other passageway developed to allow the passage of fire apparatus. A fire lane is not necessarily intended for vehicular traffic other than fire apparatus. (SFPC)
SEPC, Virginia Statewide Fire Prevention Code

APPLICABILITY
These requirements apply to new and identified existing roadways. This includes but is not limited to private roadways, driveways, and public streets.

MINIMUM SPECIFICATIONS
Fire lanes shall have a minimum unobstructed width of 20 feet.
Fire lanes shall have a minimum unobstructed vertical clearance of 13 feet 6 inches.

Aerial Fire Apparatus Fire Lane
- Shall have a minimum unobstructed width of 25 feet.
- Shall be located a minimum of 15 feet from the building and positioned along one entire side of the building - as approved by the Fire Marshal.
- Overhead utility lines shall not be located over an Aerial Fire Apparatus Fire Lane or between the lane and the building.

Fire lanes shall be compacted/treated to support emergency vehicles. Compacted/treated to support emergency vehicles shall mean capable of supporting H-20 loading in all weather conditions.

SIGNS
Metal construction, dimensions 12 inches by 18 inches. Red lettering on a reflective white background with three-eighths inch red trim strip around the entire outer edge of the sign. Signs shall be mounted with the top of the sign 7 feet above grade.
Lettering size:
"NO PARKING" - 2 inches
"OR" - 1 inch
"STANDING" - 2 inches
"FIRE LANE" - 2 1/2 inches
Arrows 1-inch solid red. Spacing between words to be uniform.

STRIPING
Fire Lanes shall be designed with striping on both sides, either curb or road surface.
- 6-inch red traffic paint stripe
- 4-inch white lettering/wording with 3/4-inch stroke stating "NO PARKING FIRE LANE"
- Lettering/wording spaced every 50 feet



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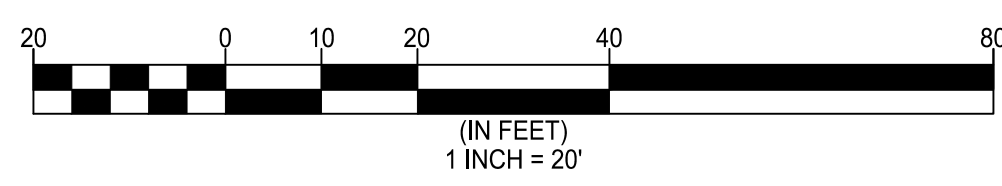
FIRE SERVICE PLAN

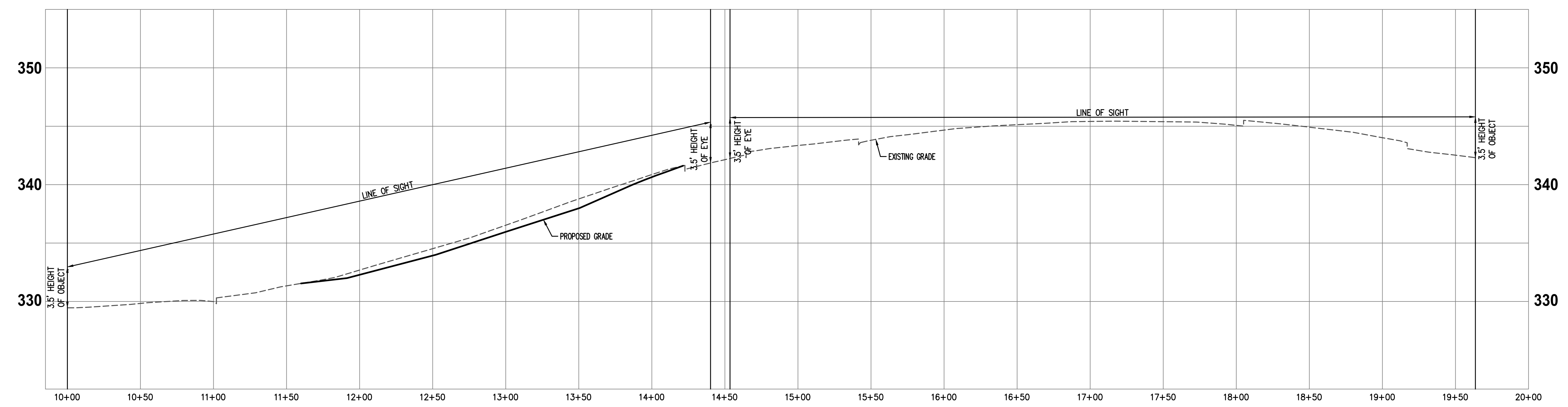
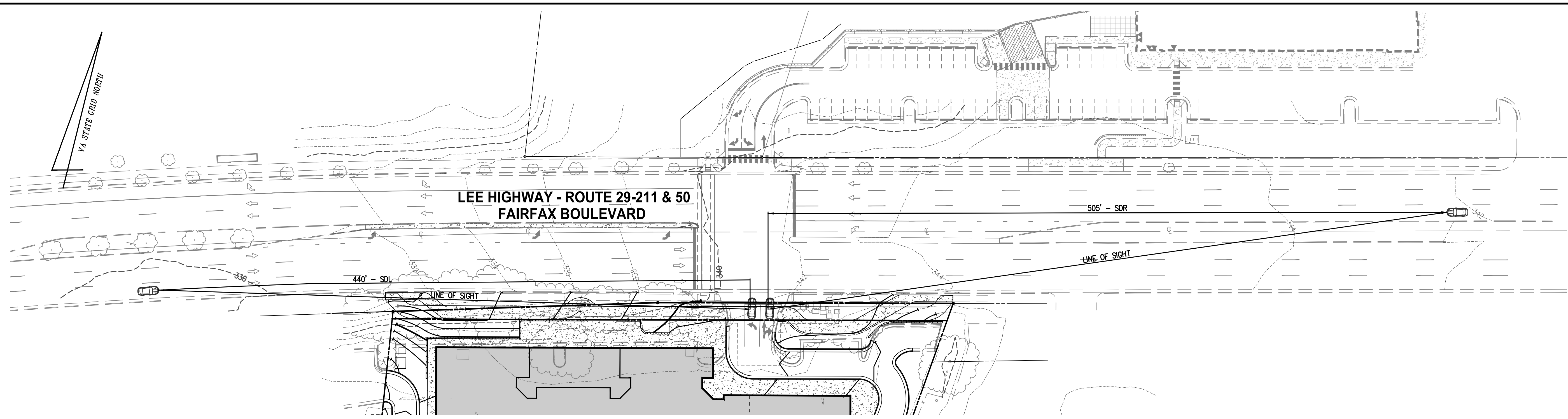
GENERALIZED DEVELOPMENT PLAN

10201 FAIRFAX BOULEVARD

CITY OF FAIRFAX, VIRGINIA

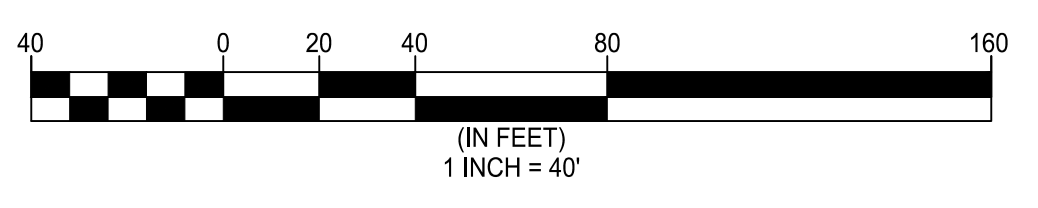
SHEET: P-0601





ENTRANCE PROFILE LEE HIGHWAY - ROUTE 28-211 & 50 / FAIRFAX BOULEVARD

SCALE: HOR. 1" = 40'
 VERT. 1" = 5'
 SPEED LIMIT = 35 MPH
 SIGHT DISTANCE LEFT (SDL) = 440' SIGHT DISTANCE RIGHT (SDR) = 505'



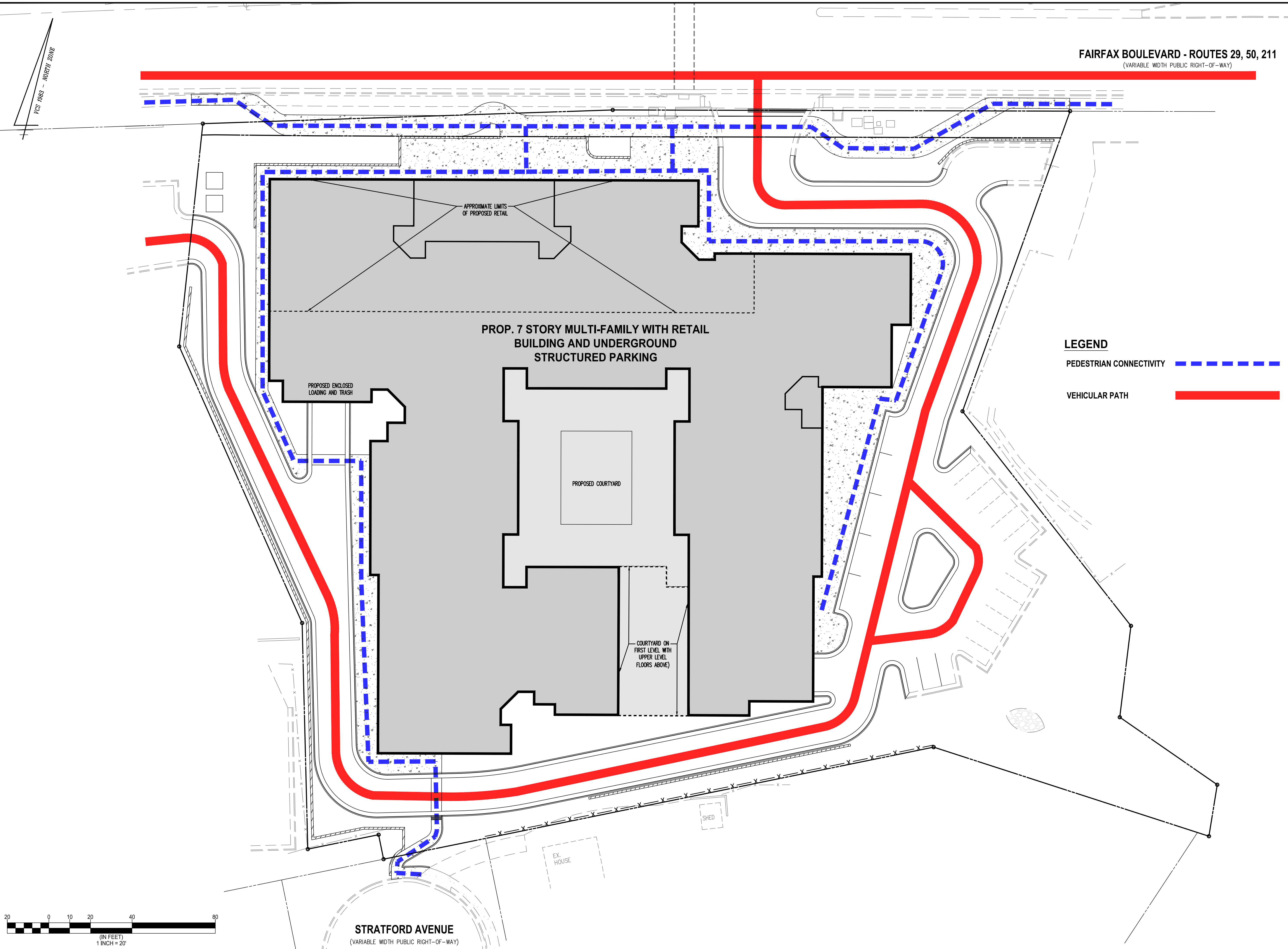
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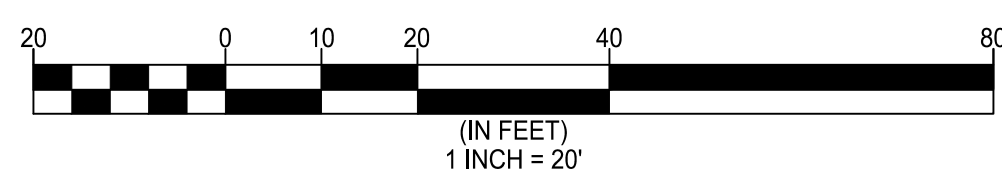
SIGHT DISTANCE PLAN AND PROFILE
GENERALIZED DEVELOPMENT PLAN
10201 FAIRFAX BOULEVARD
 CITY OF FAIRFAX, VIRGINIA



FAIRFAX BOULEVARD - ROUTES 29, 50, 211
 (VARIABLE WIDTH PUBLIC RIGHT-OF-WAY)

**PROP. 7 STORY MULTI-FAMILY WITH RETAIL
 BUILDING AND UNDERGROUND
 STRUCTURED PARKING**

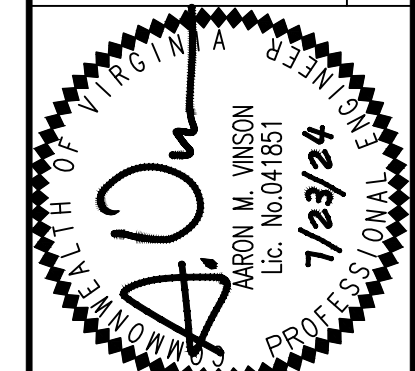
LEGEND
 PEDESTRIAN CONNECTIVITY 
 VEHICULAR PATH 



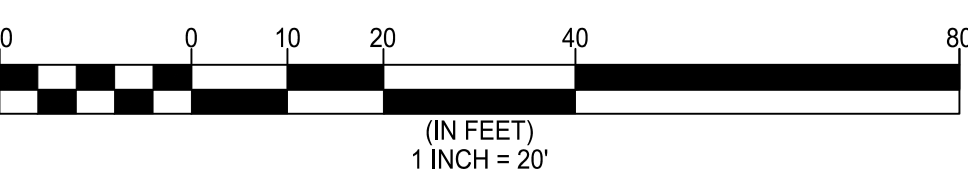
STRATFORD AVENUE
 (VARIABLE WIDTH PUBLIC RIGHT-OF-WAY)

CIRCULATION PLAN
GENERALIZED DEVELOPMENT PLAN
10201 FAIRFAX BOULEVARD
 CITY OF FAIRFAX, VIRGINIA

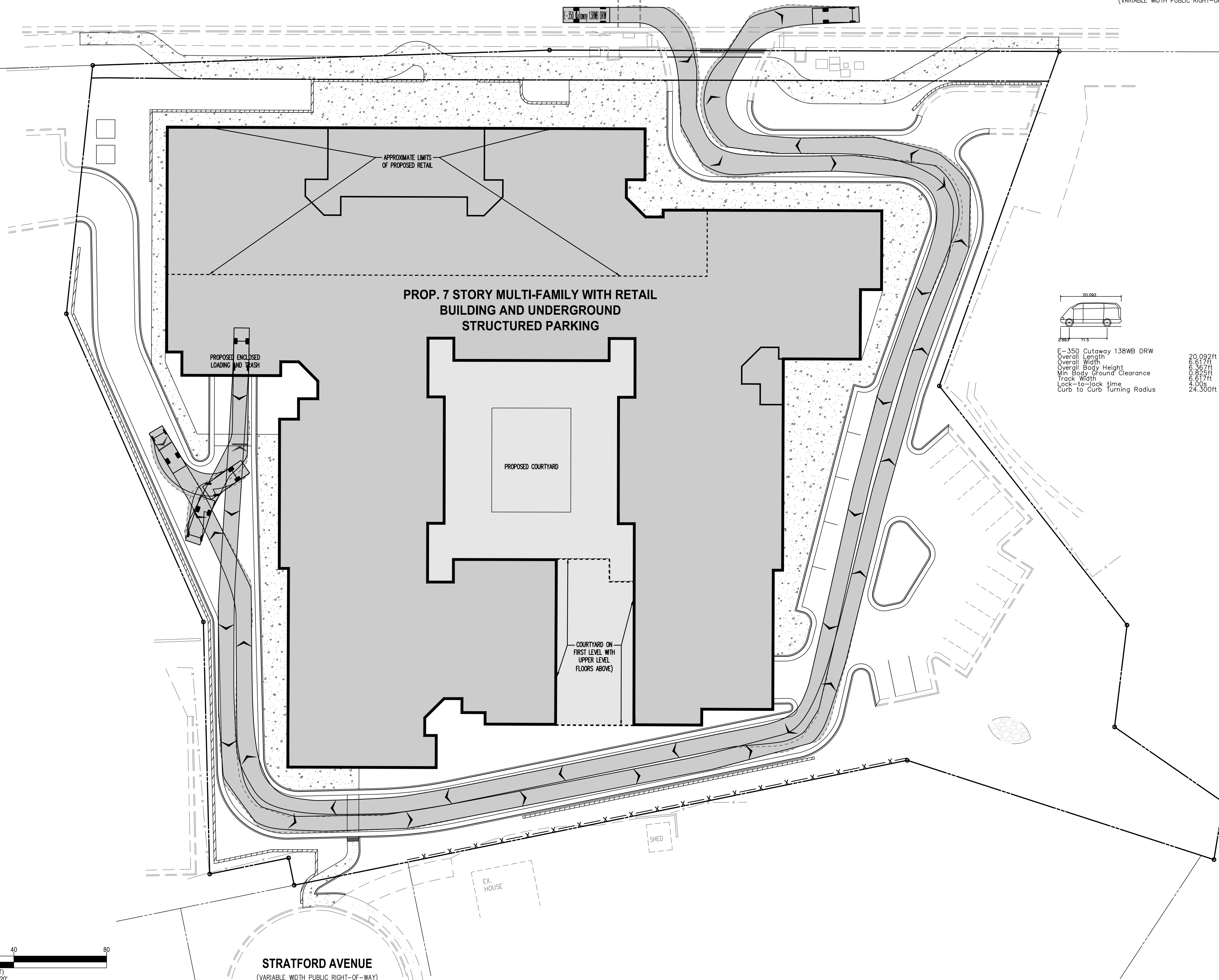
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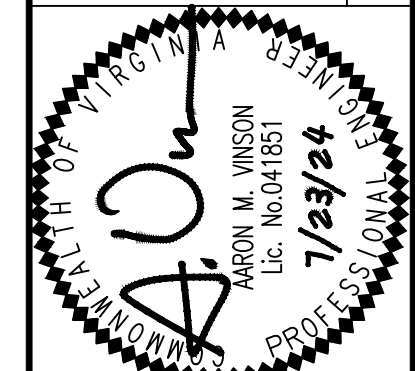
FAIRFAX BOULEVARD - ROUTES 29, 50, 211
(VARIABLE WIDTH PUBLIC RIGHT-OF-WAY)



E-350 Cutaway 138WB DRW	20.092ft
Overall Length	8.617ft
Overall Width	6.362ft
Overall Body Height	0.825ft
Min. Body Ground Clearance	6.617ft
Track Width	4.008
Lock-to-lock time	24.500ft
Curb to Curb Turning Radius	

LOADING TURNING MOVEMENTS
GENERALIZED DEVELOPMENT PLAN
10201 FAIRFAX BOULEVARD
CITY OF FAIRFAX, VIRGINIA

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SCALE: 1" = 20'

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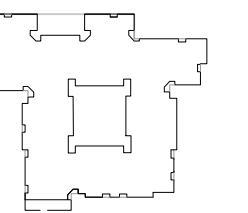
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10201 FAIRFAX BLVD. GENERALIZED DEVELOPMENT PLAN

CITY OF FAIRFAX, VA
BAILEY'S STAR LLC

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COMPLETE KEY PLAN



REVISIONS

NO	DATE	DESCRIPTION

ISSUE	DESCRIPTION
DATE	GENERALIZED DEVELOPMENT PLAN
04.26.24	

PROJECT NUMBER 23036

DATE 05.03.24

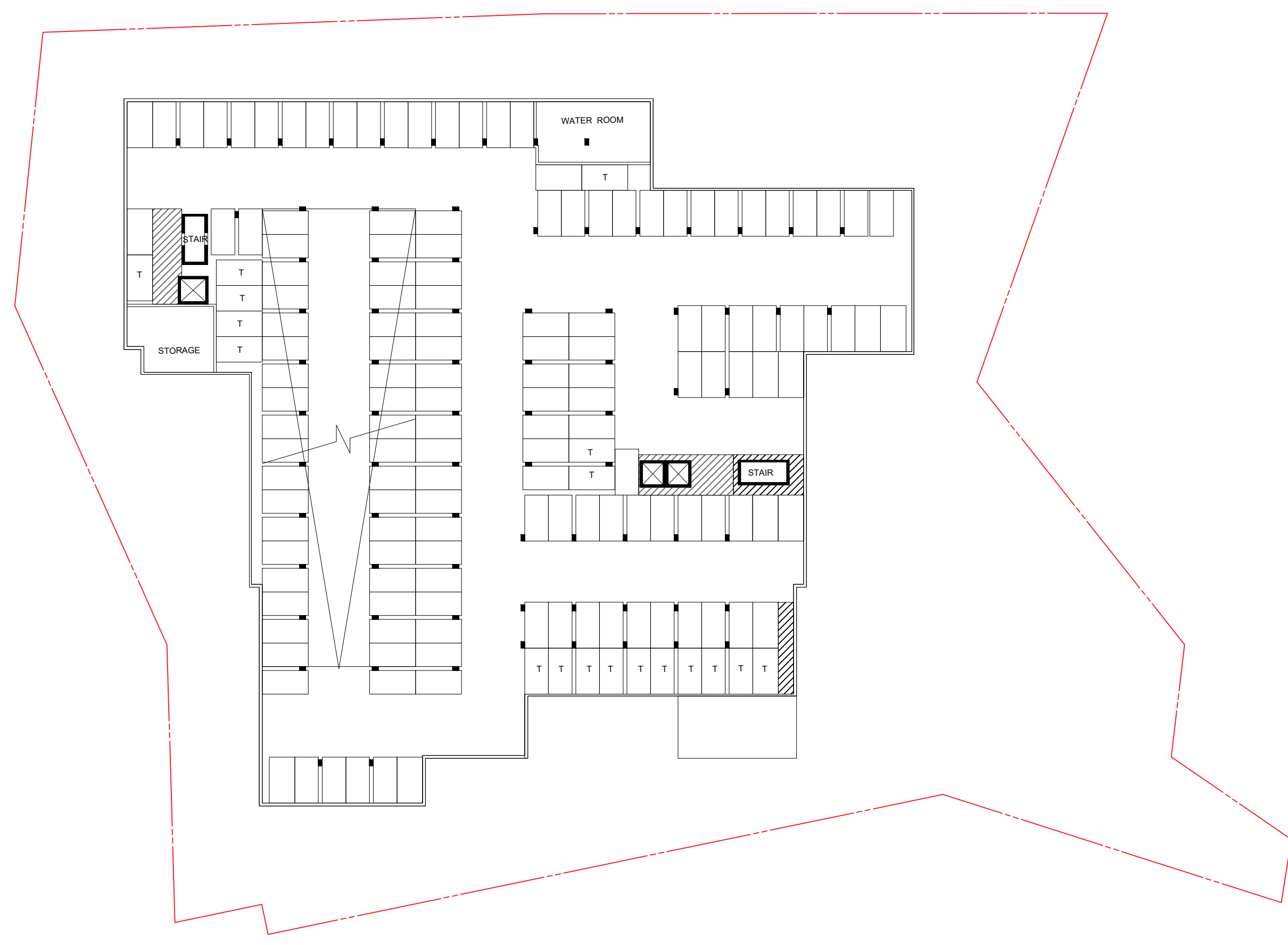
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DRAWING TITLE
CONCEPTUAL FLOOR PLANS

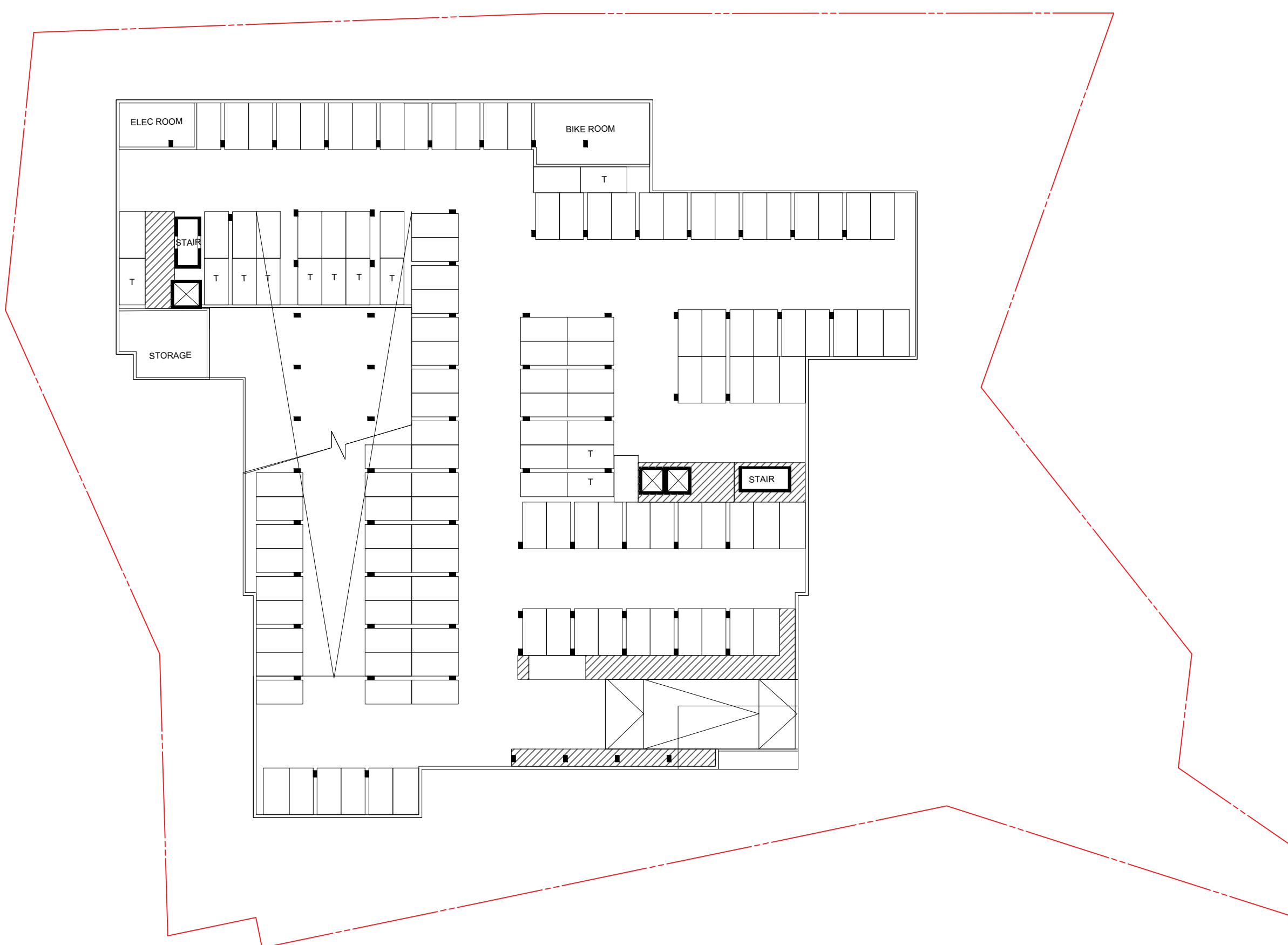
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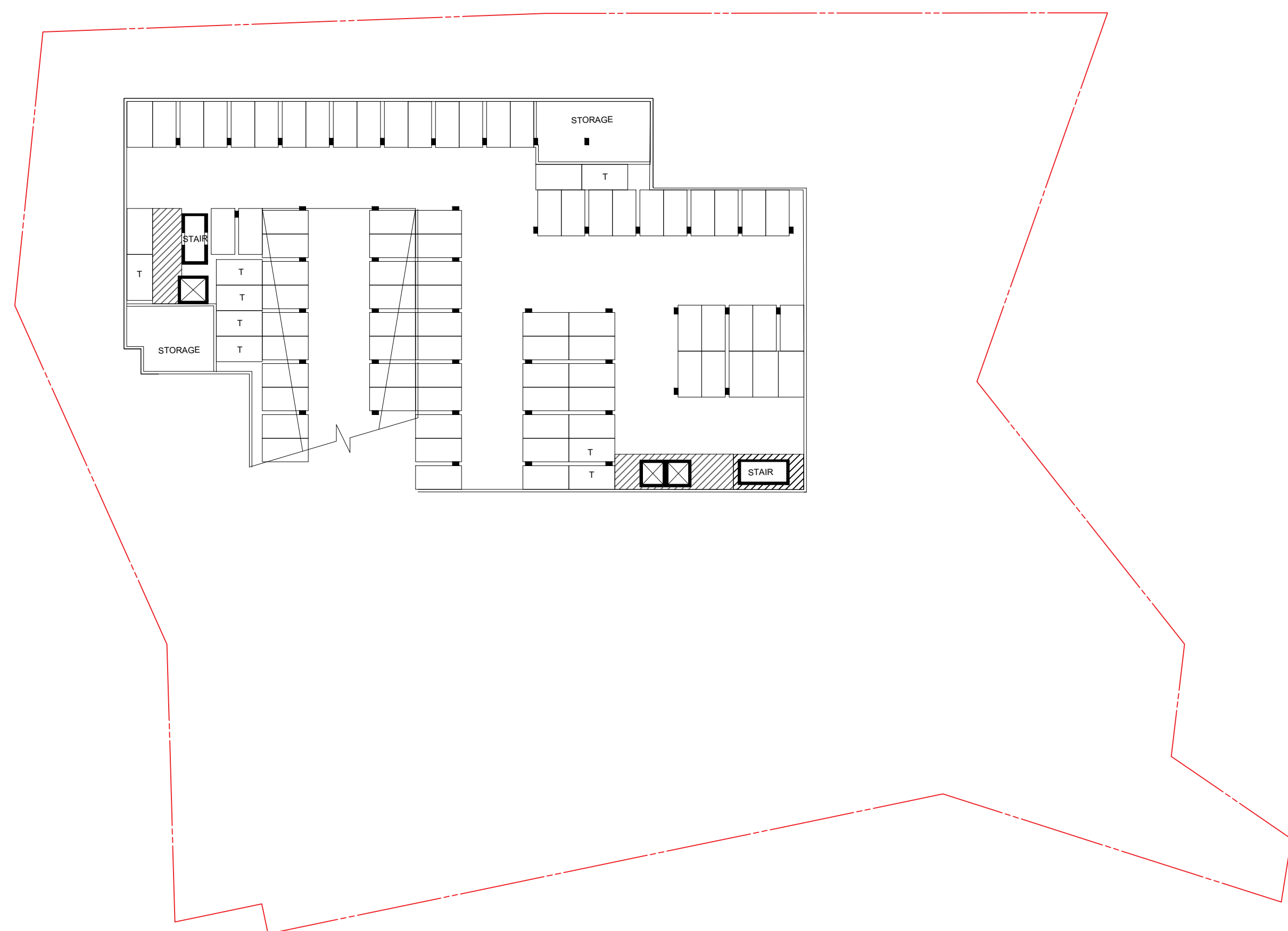
4 LEVEL 1 PLAN
A.001 SCALE: 1" = 40'-0"



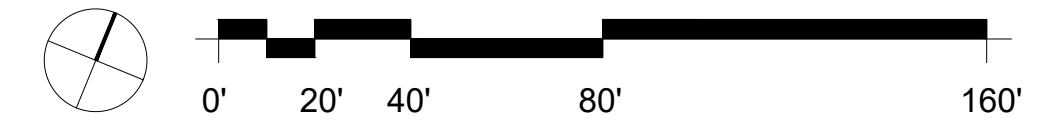
2 LEVEL P2 PLAN
A.001 SCALE: 1" = 40'-0"



3 LEVEL P1 PLAN
A.001 SCALE: 1" = 40'-0"

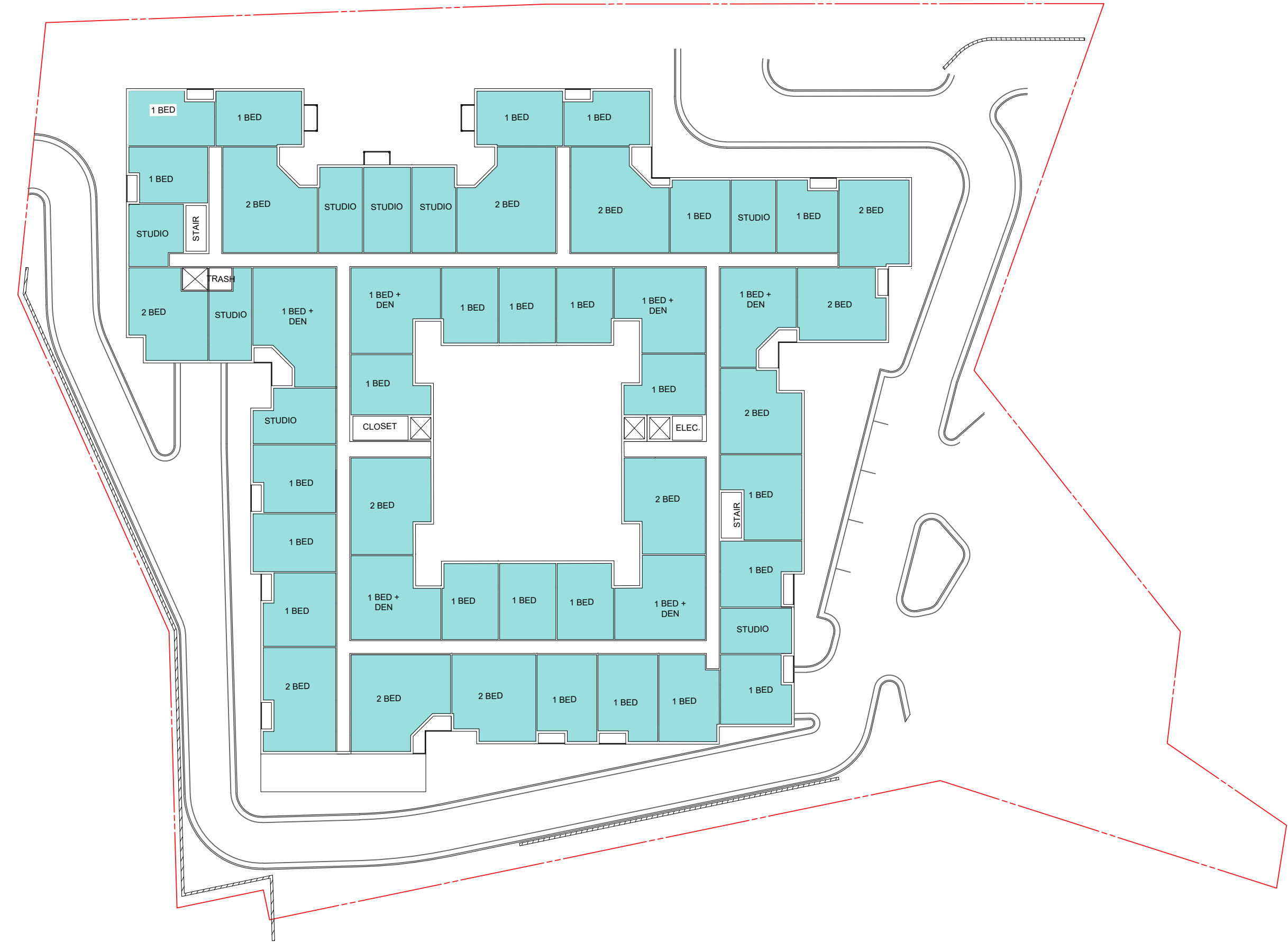


1 LEVEL P3 PLAN
A.001 SCALE: 1" = 40'-0"

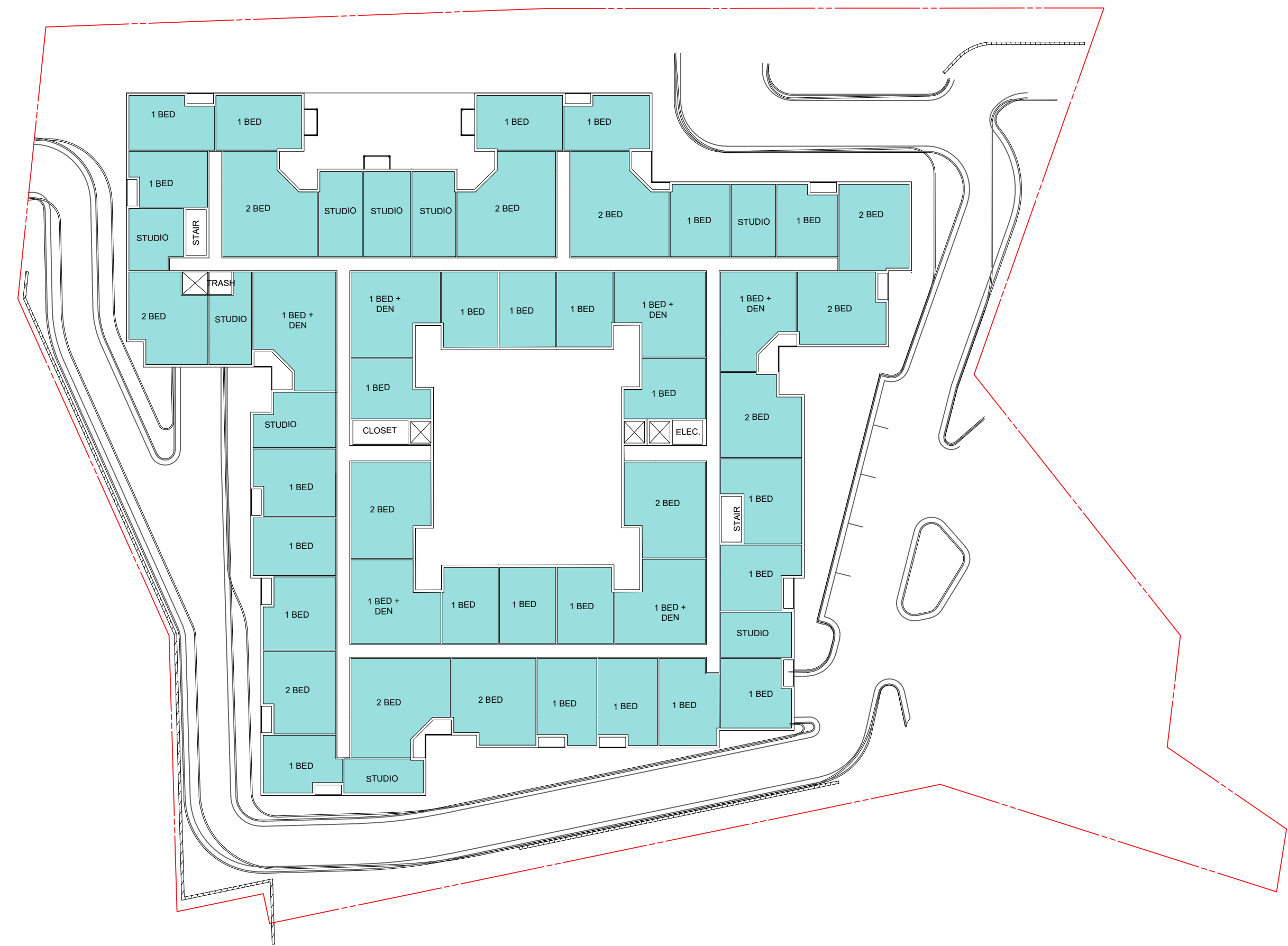


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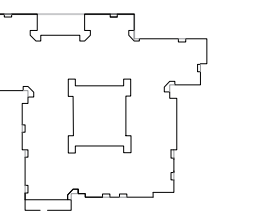
2 LEVEL 7 PLAN
A.002 SCALE: 1" = 40'-0"



1 TYPICAL PLAN (LEVEL 2 - LEVEL 6)
A.002 SCALE: 1" = 40'-0"



COMPLETE KEY PLAN



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DATE 05.03.24

SCALE 1" = 40'-0"

DRAWING TITLE
CONCEPTUAL FLOOR PLANS

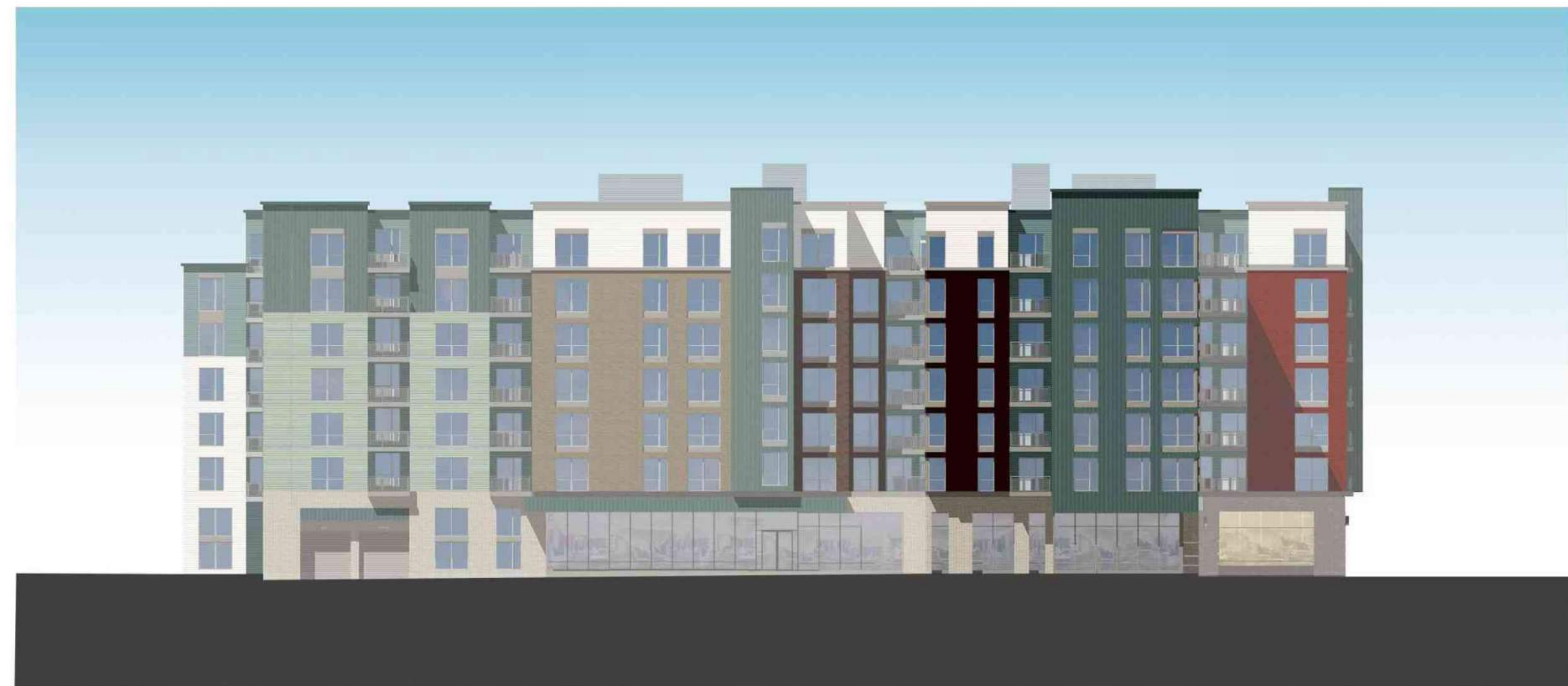
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4 WEST ELEVATION 4
 A.003 SCALE: 1" = 40'-0"



2 SOUTH ELEVATION 2
 A.003 SCALE: 1" = 40'-0"



3 EAST ELEVATION 3
 A.003 SCALE: 1" = 40'-0"

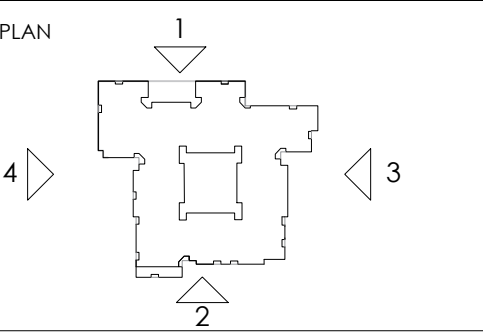


1 NORTH ELEVATION 1
 A.000 SCALE: 1" = 40'-0"

10201 FAIRFAX BLVD.
 GENERALIZED DEVELOPMENT
 PLAN
 CITY OF FAIRFAX, VA
 BAILEY'S STAR LLC

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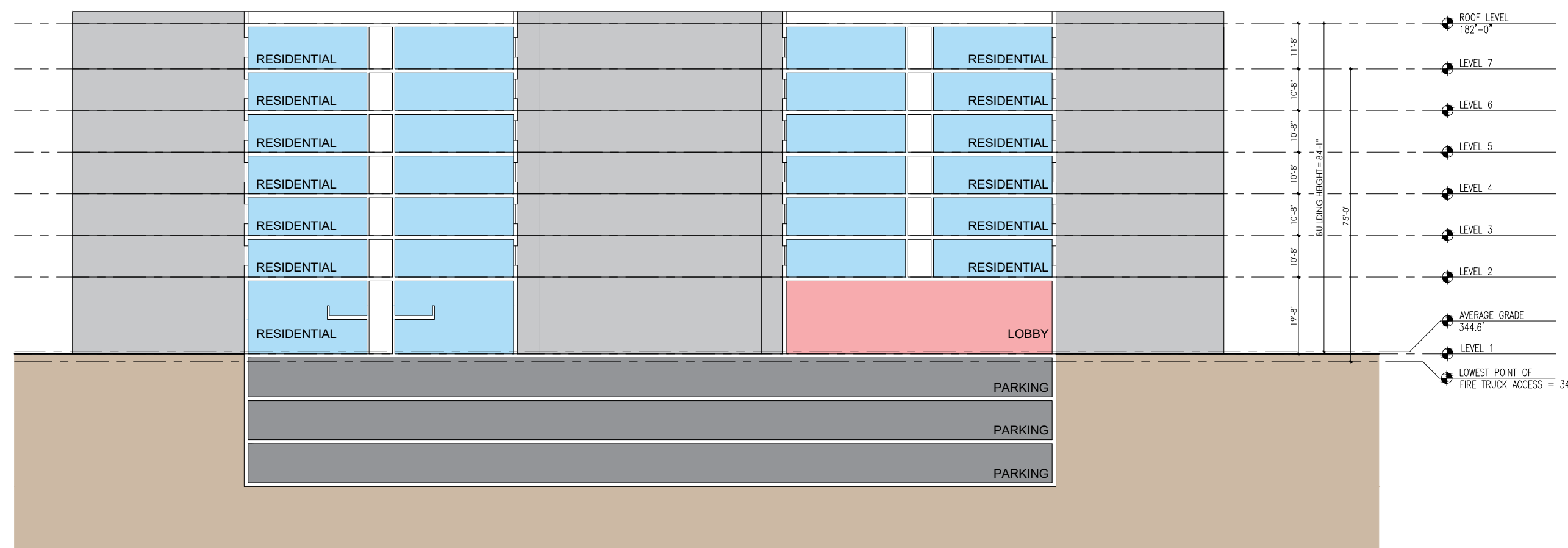
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 CONCEPTUAL ELEVATIONS

DRAWING NUMBER **A.003**

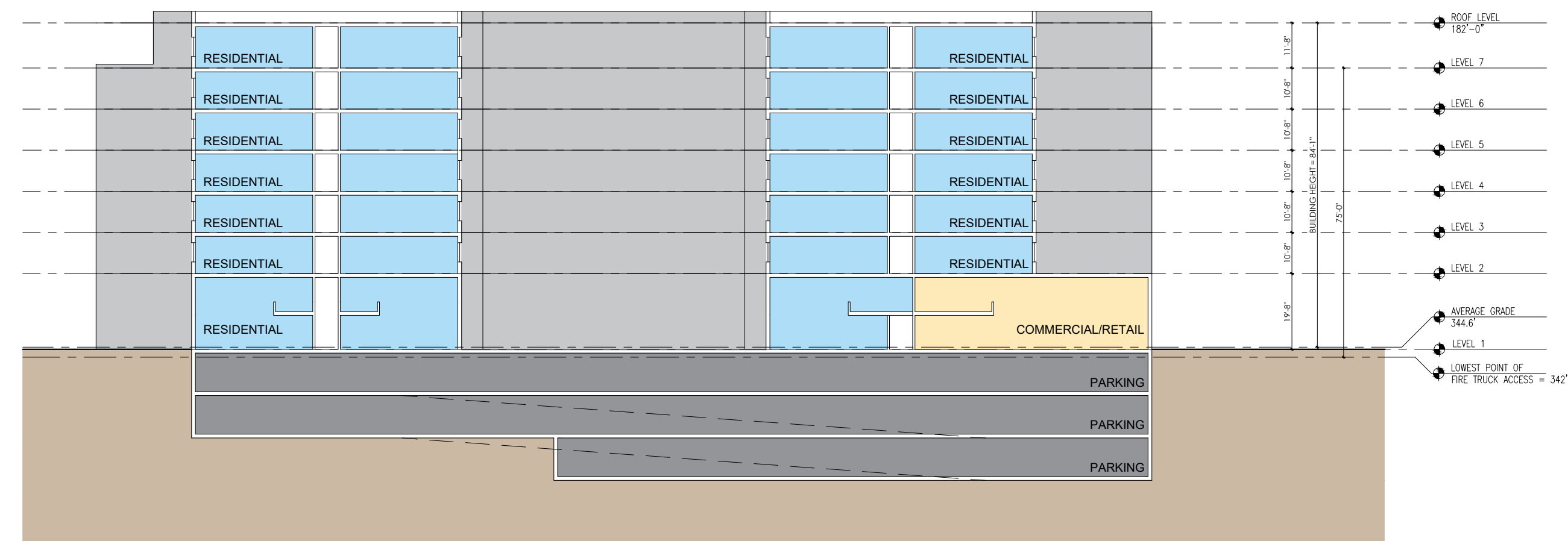




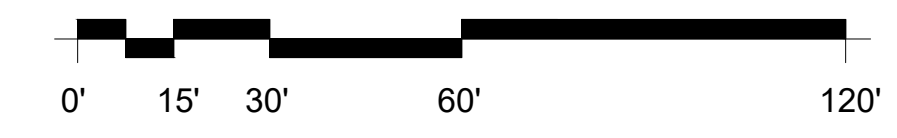
3 VIEW FROM NORTHWEST
A.004



2 SECTION B - EAST WEST
A.004 SCALE: 1" = 30'-0"



1 SECTION A - NORTH SOUTH
A.004 SCALE: 1" = 30'-0"

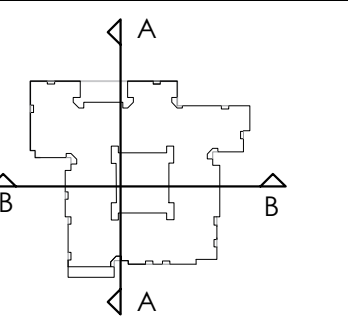


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CITY OF FAIRFAX, VA
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COMPLETE KEY PLAN



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PROJECT NUMBER 23036

DATE 05.03.24

SCALE 1" = 30'-0"

DRAWING TITLE
CONCEPTUAL SECTIONS AND VIEWS

DRAWING NUMBER
A.004